

GROUND FLOOR PLAN
Demolitions & Removals



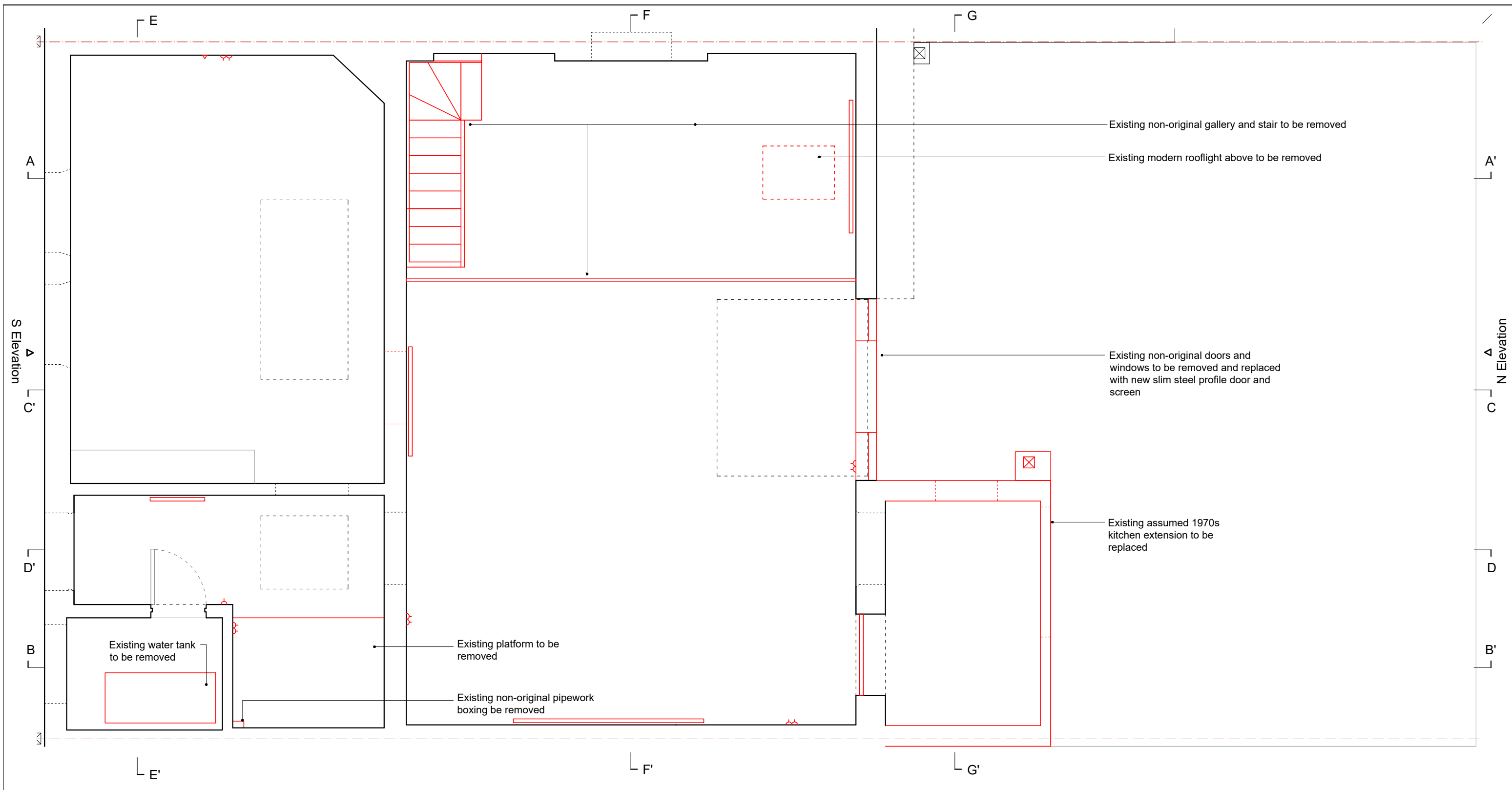
KEY
--- Items for demolition / removal

NOTES

- Existing roof to be insulated with sheep's wool.
Existing roof slates to be lifted, set aside and re-fixed.
Damaged slates to be replaced.
Roof structure to be inspected and repaired as required.
- Existing brickwork to be repointed and repaired as required
- Where required, lime based plaster to be applied to internal walls and ceilings
- Internal walls and ceilings to be repainted with microporous paint
- Existing paneled internal doors to be adjusted to accommodate new floor level
- Non-original internal door ironmongery to be replaced
- Non-original skirtings and picture rails to be removed
- Existing original architraves, skirtings and pictures rails to be repaired as required
Architraves, skirtings and pictures rails to be reinstated in facsimile where required
- Floor finishes to be removed throughout. All existing floor finishes are non-original
- New timber floor and low profile underfloor heating to be laid over existing original floor boards
Existing original floor boards to be retained and repaired as required
Where required, inspection holes to be cut out to ascertain original floor's condition
- All radiators to be removed
- Non-original electrical fittings to be replaced

P1	05-08-2022	Planning and Listed Building application submission
REV	DATE	AMENDMENT
JOHNSTON CAVE ASSOCIATES ARCHITECTS JCA		
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5PHS		
Ground Floor Plan Demolitions & Removals		
Planning	ISSUE	JOB 2606
LG	DRAWN	21-1
1:50	SCALE	
MAR 2022	DATE	REV P1

SCALES CORRECT WHEN PLOTTED AT A3



S Elevation

N Elevation

FIRST FLOOR PLAN
Demolitions & Removals



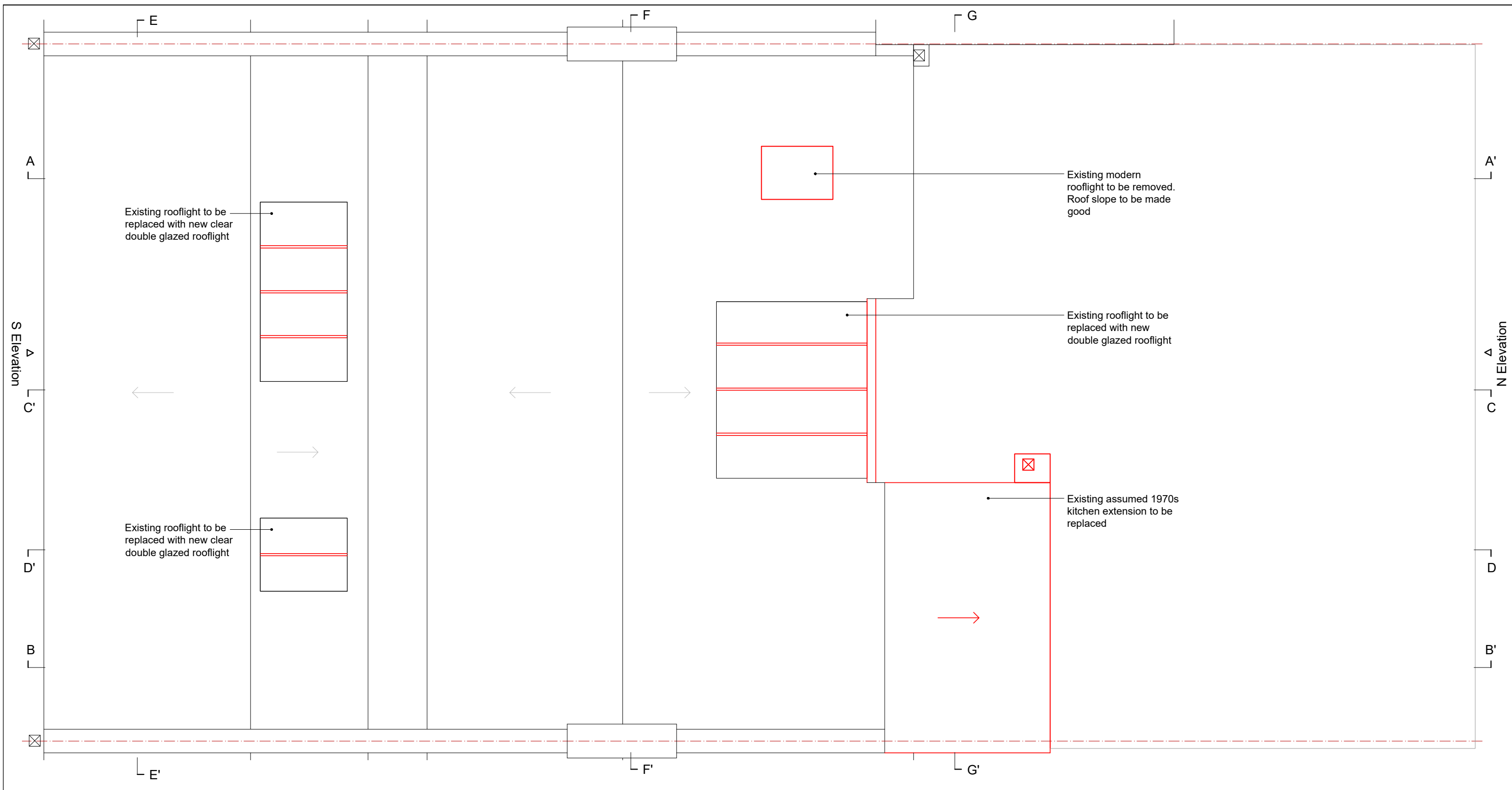
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5PHS		
First Floor Plan Demolitions & Removals		
Planning	ISSUE	JOB
LG	DRAWN	2606
1:50	SCALE	21-2
MAR 2022	DATE	REV
		P1

SCALES CORRECT WHEN PLOTTED AT A3



ROOF PLAN
Demolitions & Removals



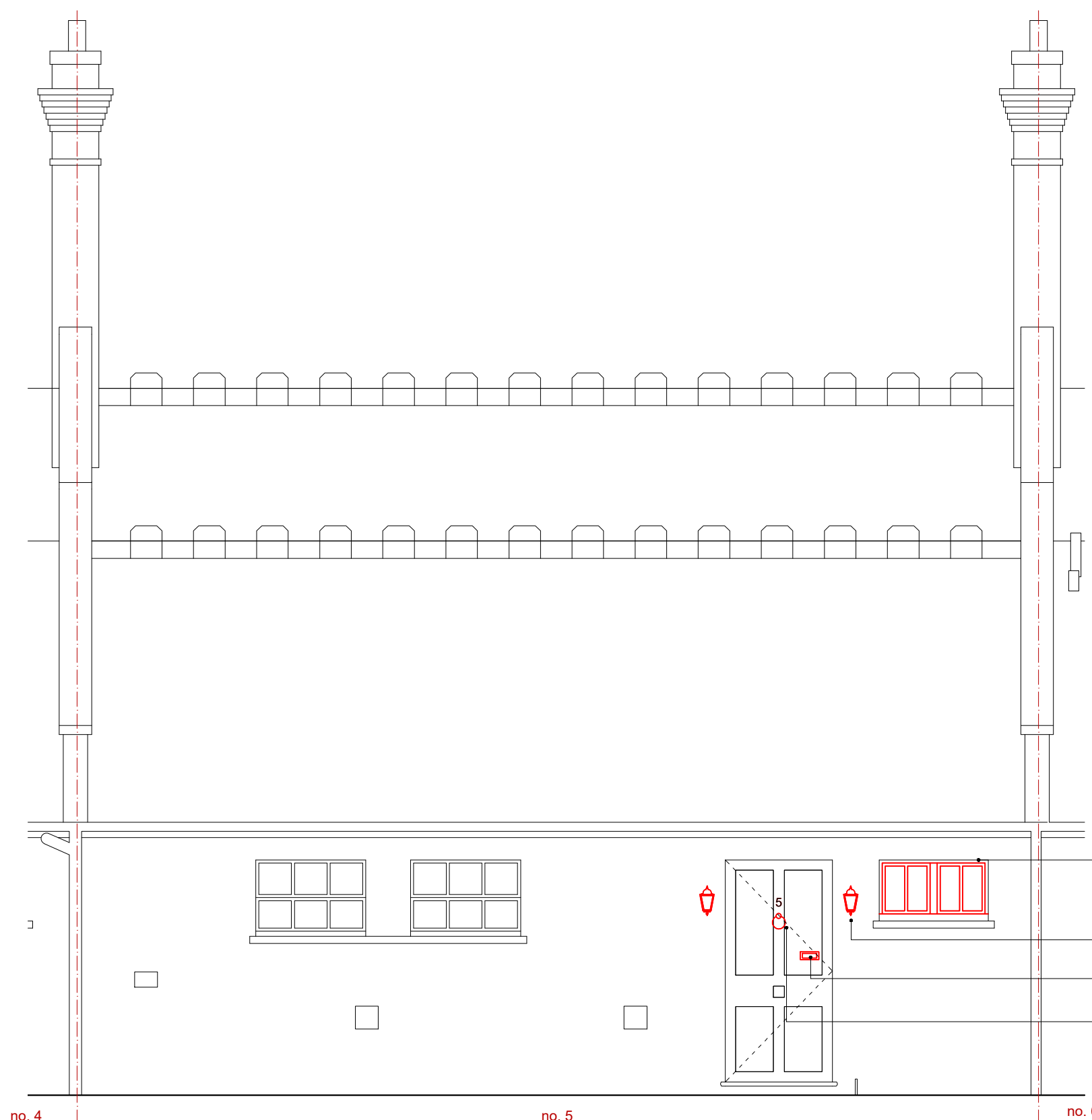
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Roof Plan		
Demolitions & Removals		
Planning	ISSUE	JOB
LG	DRAWN	2606
1:50	SCALE	21-3
MAR 2022	DATE	REV
		P1

SCALES CORRECT WHEN PLOTTED AT A3



Existing non-original window to be replaced with new top hung casement window to match original

Existing non-original wall lights to be removed

Existing non-original letter plate to be removed

Existing non-original door knocker to be removed

no. 4
no. 5
no. 6

SOUTH ELEVATION
Demolitions & Removals

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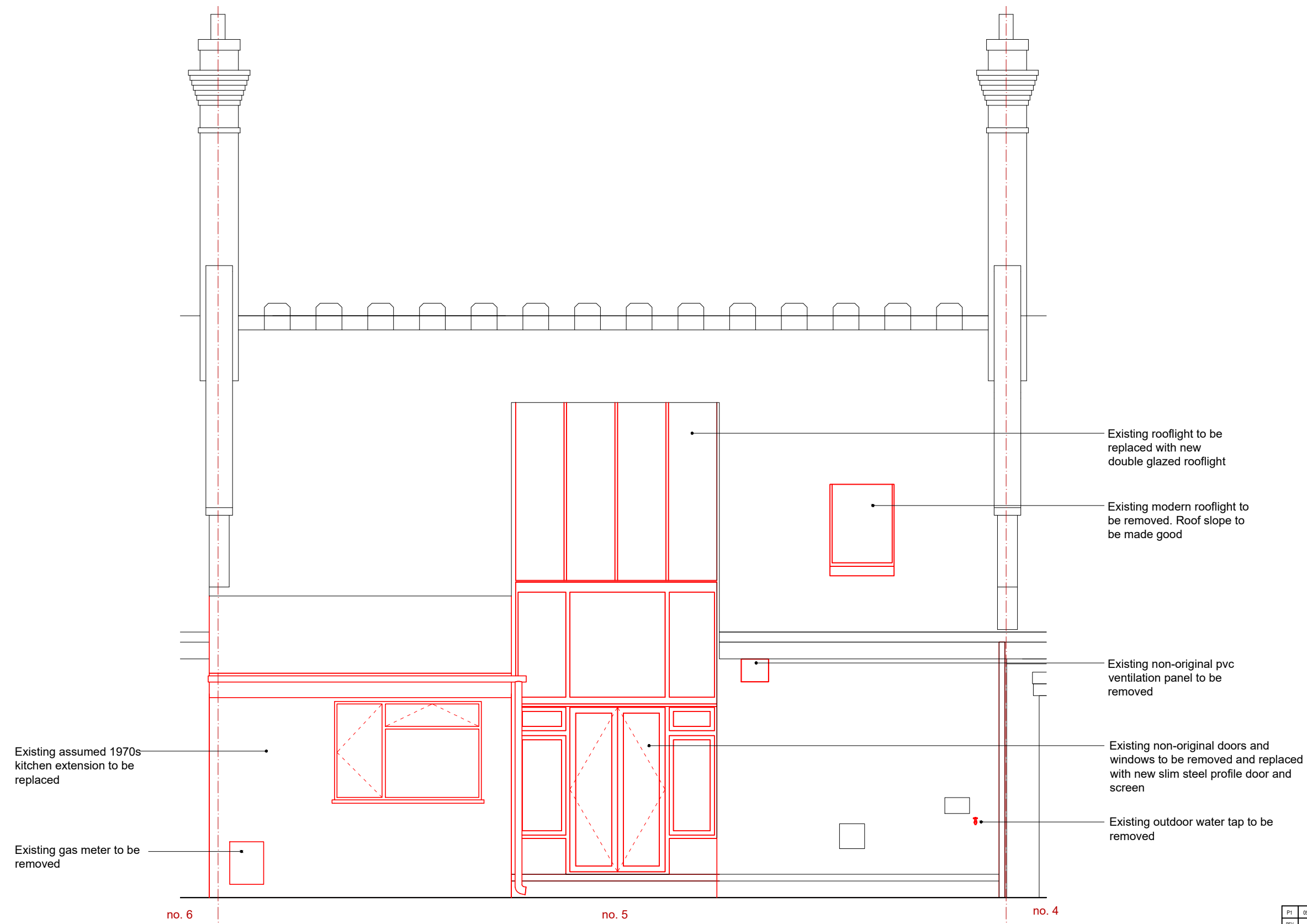
KEY

— Items for demolition / removal



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5PHS			
South Elevation Demolitions & Removals			
Planning	ISSUE	JOB	2606
LG	DRAWN	DWG/NO	21-4
1:50	SCALE	REV	P1
MAR 2022	DATE		

SCALES CORRECT WHEN PLOTTED AT A3



Existing assumed 1970s kitchen extension to be replaced

Existing gas meter to be removed

Existing rooflight to be replaced with new double glazed rooflight

Existing modern rooflight to be removed. Roof slope to be made good

Existing non-original pvc ventilation panel to be removed

Existing non-original doors and windows to be removed and replaced with new slim steel profile door and screen

Existing outdoor water tap to be removed

no. 6
no. 5
no. 4

NORTH ELEVATION
Demolitions & Removals

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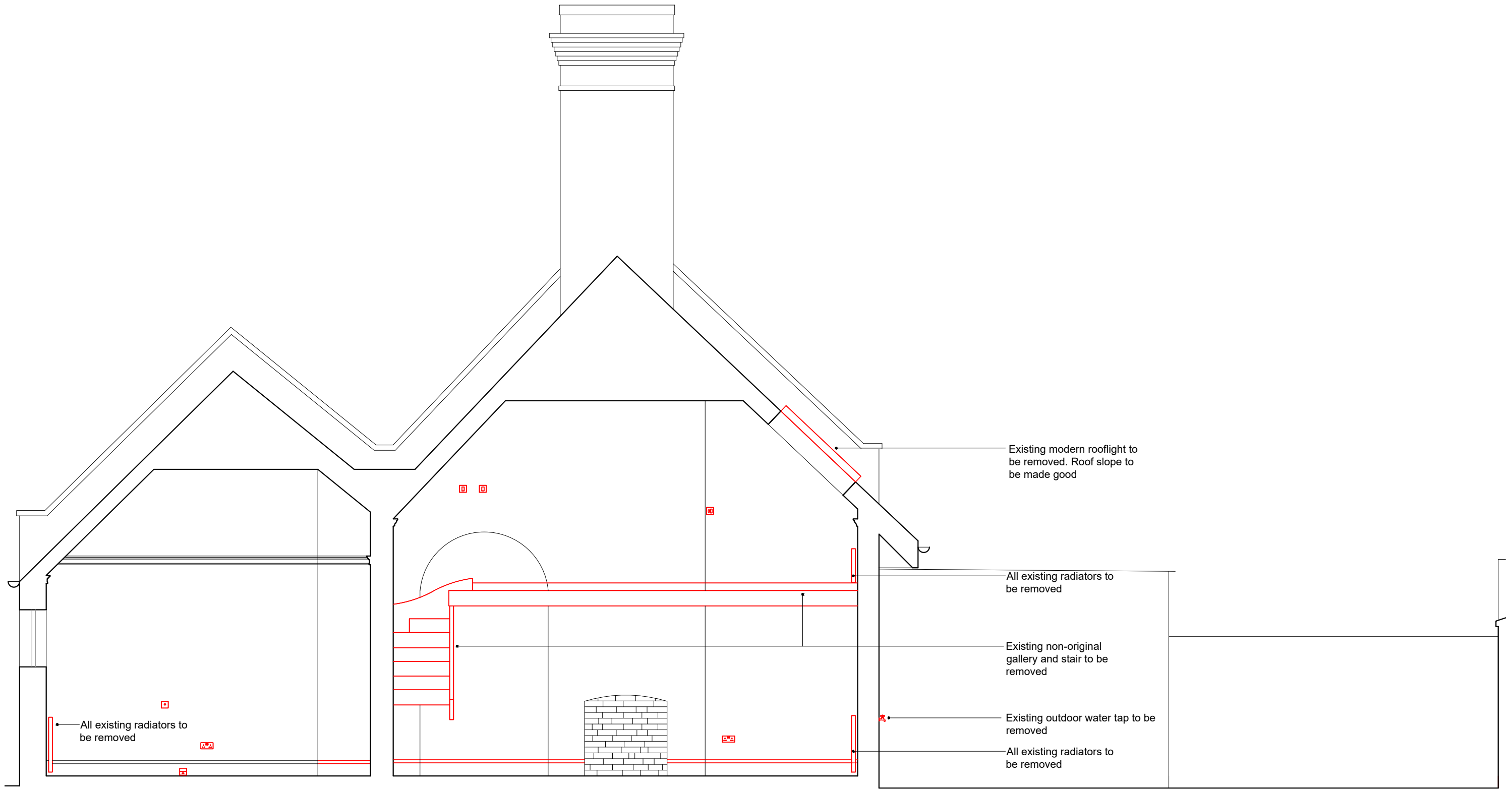
KEY

— Items for demolition / removal



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5PHS		
North Elevation Demolitions & Removals		
Planning	ISSUE	JOB 2606
LG	DRAWN	21-5
1:50	SCALE	
MAR 2022	DATE	REV P1

SCALES CORRECT WHEN PLOTTED AT A3



SECTION AA'
Demolitions & Removals



KEY
— Items for demolition / removal

NOTES

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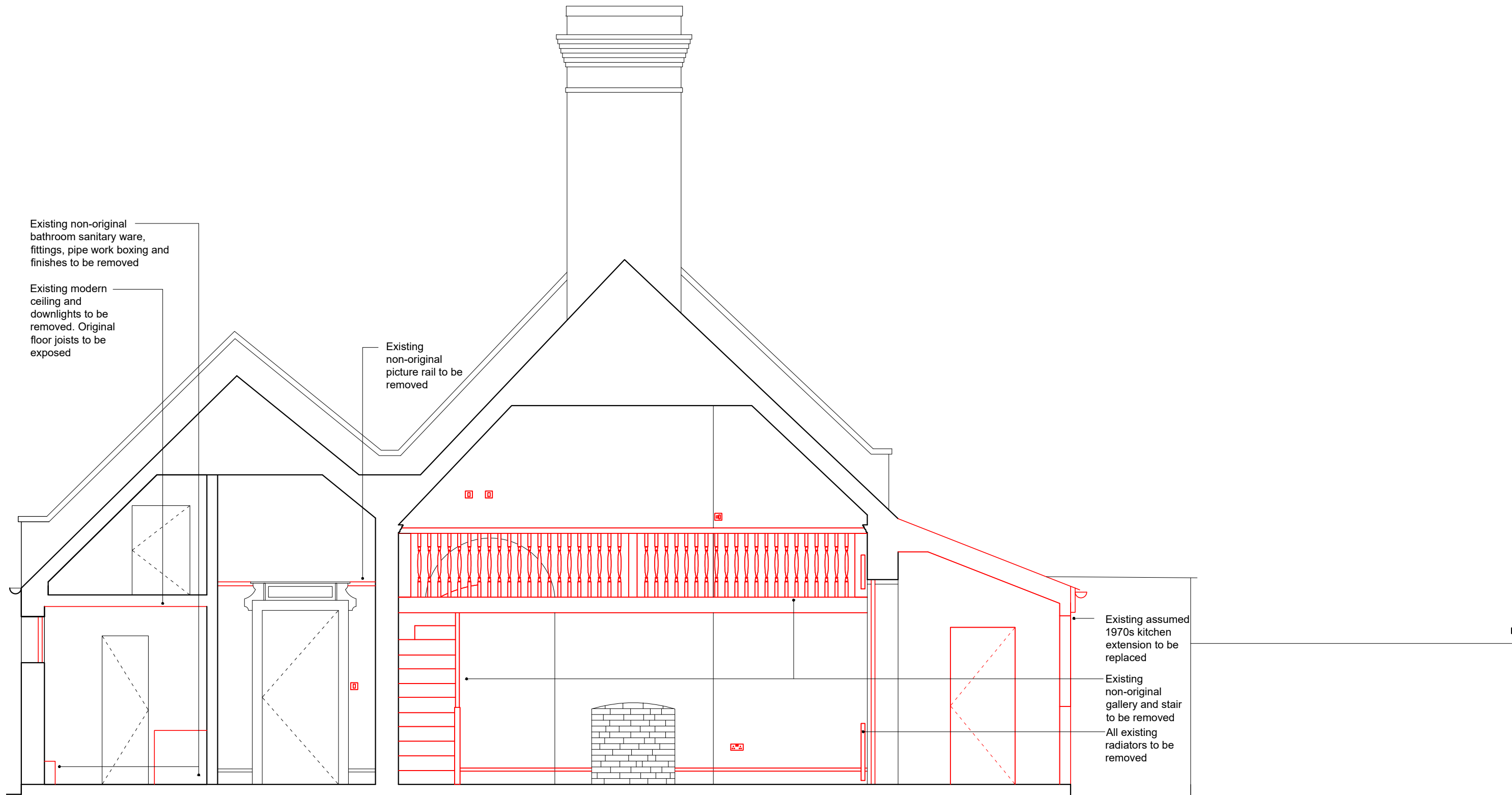
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5PHS			
Section AA' Demolitions & Removals			
Planning	ISSUE	JOB	2606
LG	DRAWN	DATE	21-6
1:50	SCALE	REV	P1
MAR 2022	DATE	REV	P1

SCALES CORRECT WHEN PLOTTED AT A3



SECTION BB'
Demolitions & Removals



KEY
— Items for demolition / removal

NOTES

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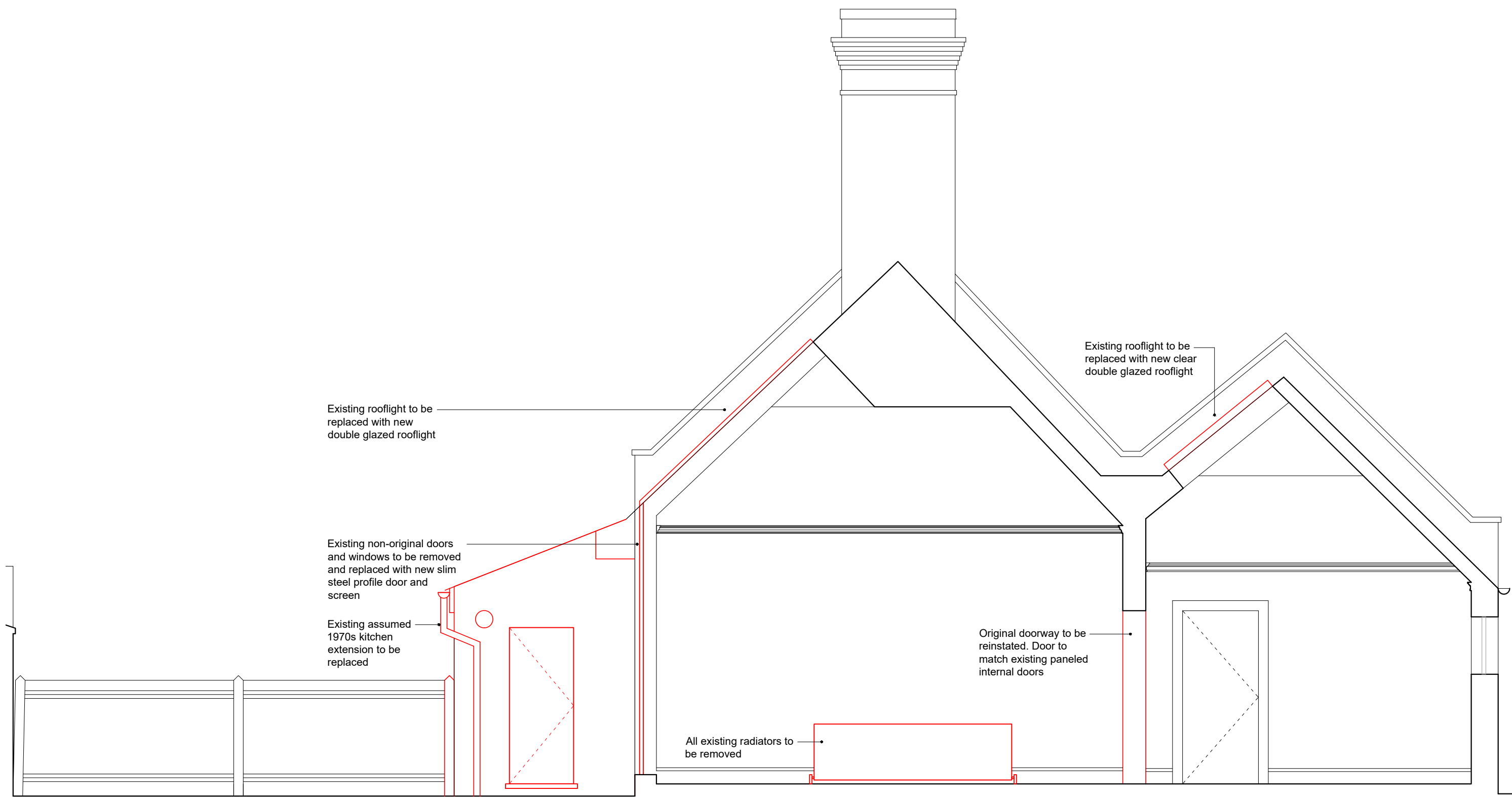
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5PHS			
Section BB' Demolitions & Removals			
Planning	ISSUE	JOB	2606
LG	DRAWN	DWG NO	21-7
1:50	SCALE	REV	P1
MAR 2022	DATE	REV	P1

SCALES CORRECT WHEN PLOTTED AT A3



Existing rooflight to be replaced with new double glazed rooflight

Existing rooflight to be replaced with new clear double glazed rooflight

Existing non-original doors and windows to be removed and replaced with new slim steel profile door and screen

Existing assumed 1970s kitchen extension to be replaced

Original doorway to be reinstated. Door to match existing paneled internal doors

All existing radiators to be removed

SECTION CC'
Demolitions & Removals



KEY

— Items for demolition / removal

NOTES

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P1	05-08-2022	Planning and Listed Building application submission
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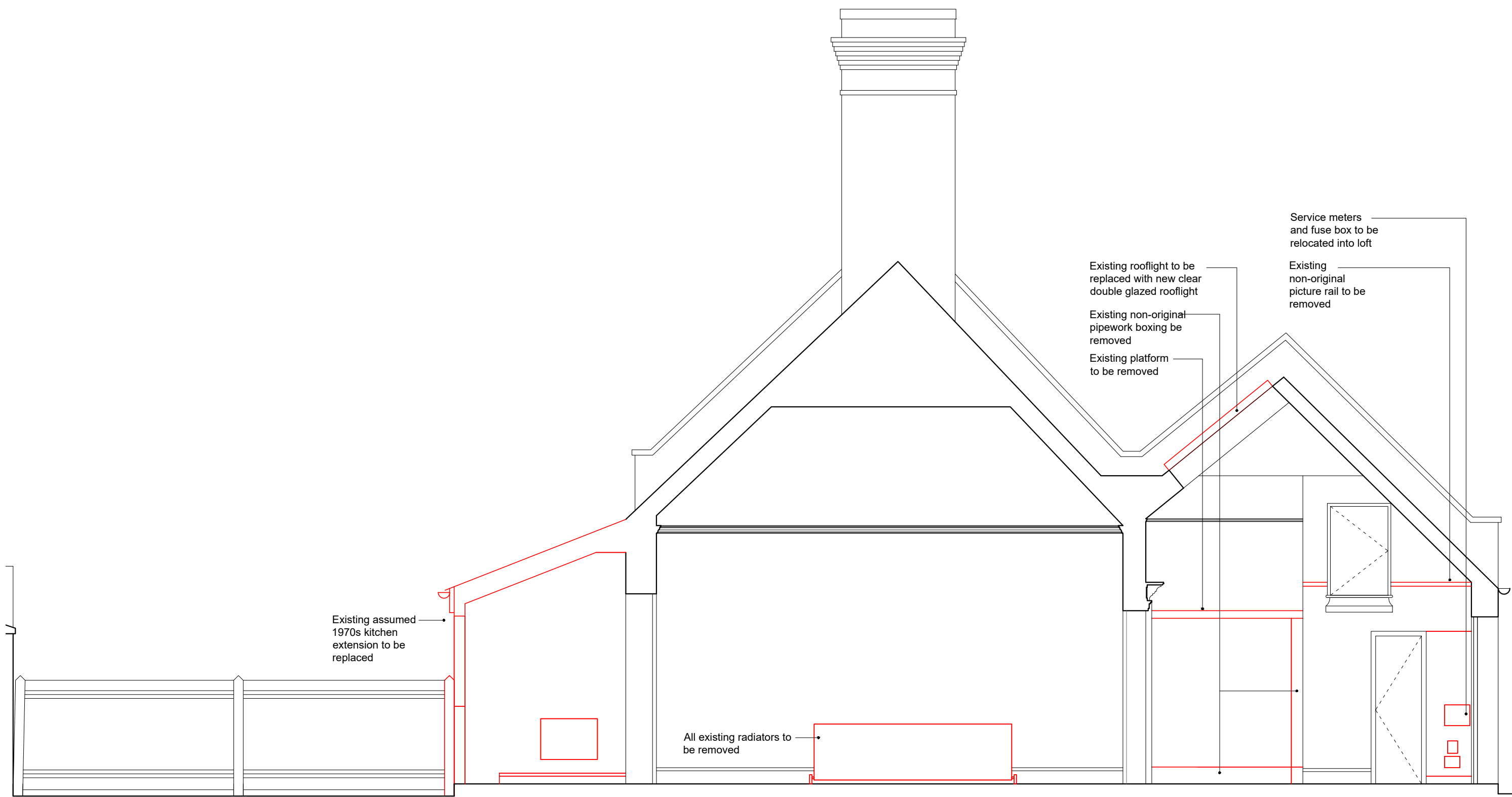
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5PHS
Section CC'
Demolitions & Removals

Planning	ISSUE	JOB	2606
LG	DRAWN	DATE	21-8
1:50	SCALE	REV	P1
MAR 2022	DATE		

SCALES CORRECT WHEN PLOTTED AT A3



Existing assumed 1970s kitchen extension to be replaced

All existing radiators to be removed

Existing rooflight to be replaced with new clear double glazed rooflight
 Existing non-original pipework boxing be removed
 Existing platform to be removed

Service meters and fuse box to be relocated into loft
 Existing non-original picture rail to be removed

SECTION DD'
Demolitions & Removals



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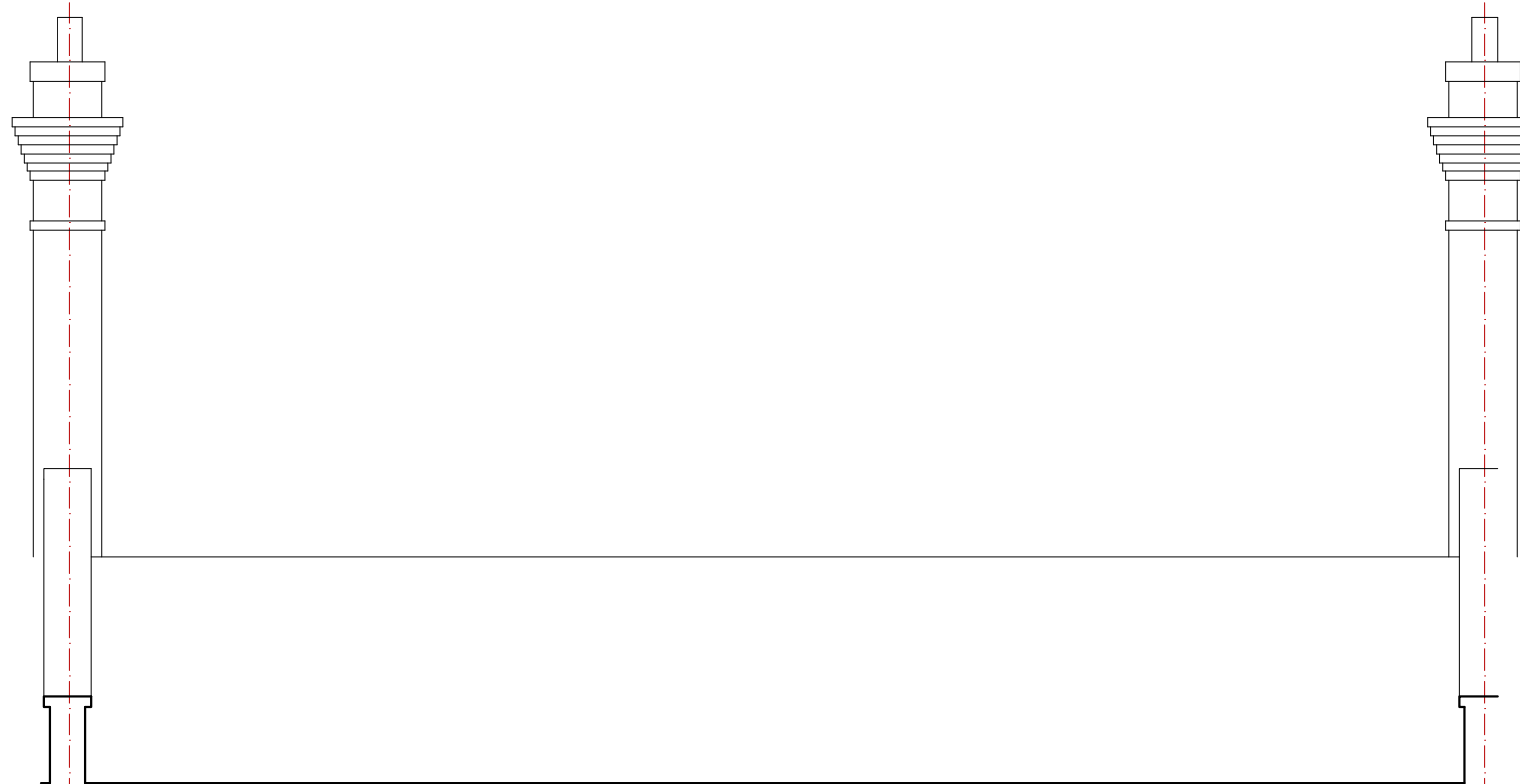
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5PHS			
Section DD' Demolitions & Removals			
Planning	ISSUE	JOB	2606
LG	DRAWN	SCALE	21-9
MAR 2022	DATE	REV	P1



SECTION EE'
Demolitions & Removals

- Existing cable trunking to be removed
- Existing non-original picture rail to be removed
- Existing modern ceiling and downlights to be removed. Original floor joists to be exposed
- Existing non-original pipework boxing be removed
- Existing non-original bathroom sanitary ware, fittings, pipe work boxing and finishes to be removed

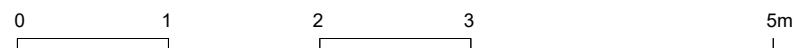
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SCALE 1:50



P1	05-08-2022	Planning and Listed Building application submission
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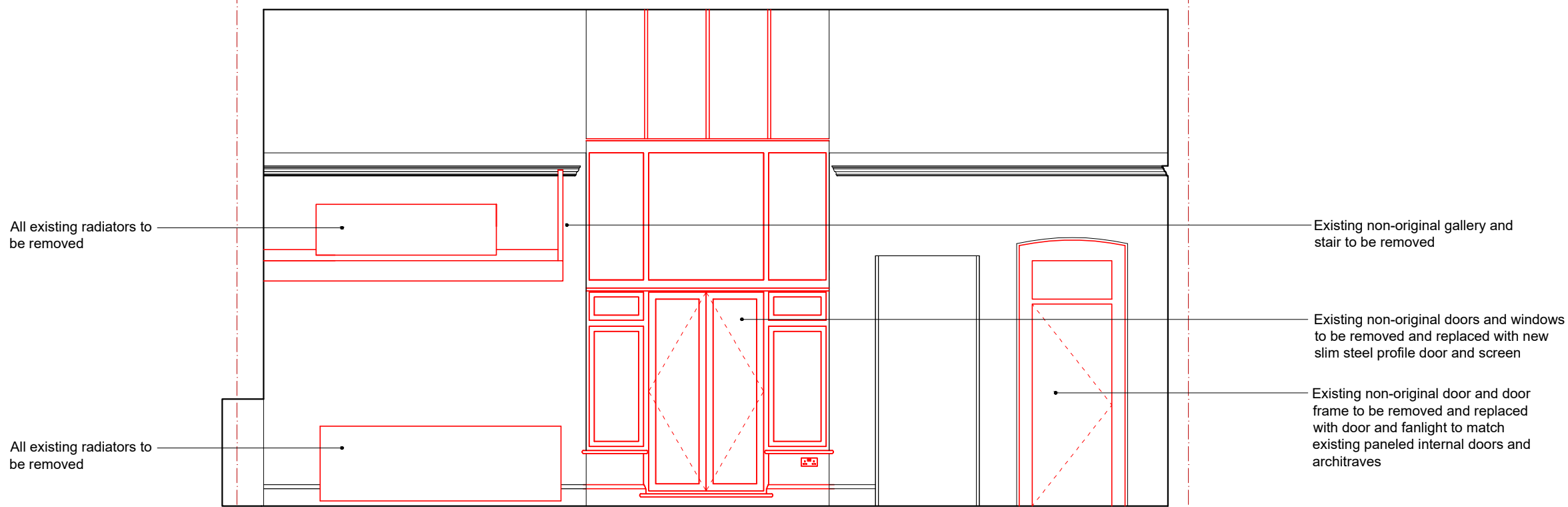
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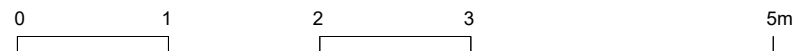
5PHS			
Section EE' Demolitions & Removals			
Planning	ISSUE	JOB	2606
LG	DRAWN	DWG/NO	21-10
1:50	SCALE	REV	P1
MAR 2022	DATE	REV	P1

SCALES CORRECT WHEN PLOTTED AT A3



SECTION FF'
Demolitions & Removals

SCALE 1:50



KEY

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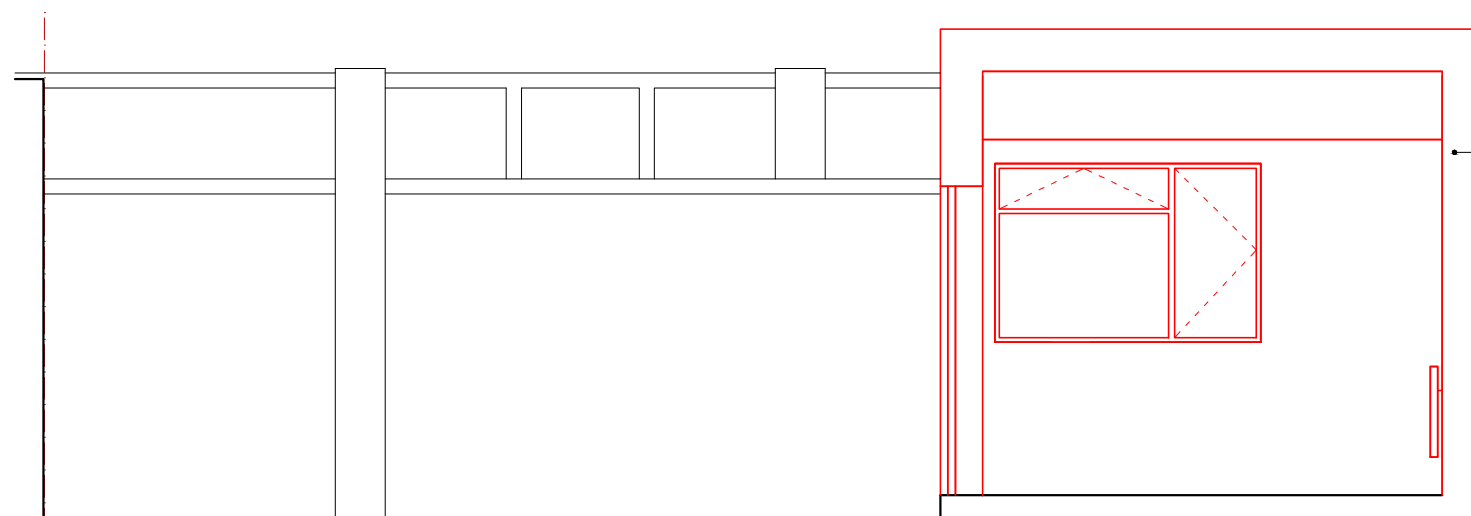
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5PHS
Section FF'
Demolitions & Removals

Planning	ISSUE	JOB	2606
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1:50	SCALE	REV	P1
MAR 2022	DATE		

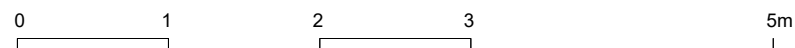
SCALES CORRECT WHEN PLOTTED AT A3



Existing assumed
1970s kitchen
extension to be
replaced

SECTION GG'
Demolitions & Removals

SCALE 1:50



KEY

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Section GG'
Demolitions & Removals

Planning	ISSUE	JOB	2606
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1:50	SCALE	REV	P1
MAR 2022	DATE		

SCALES CORRECT WHEN PLOTTED AT A3