

## 08 Plan Development

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# Plan Development

## 8.1 Existing Section Analysis

### Light Well

The lightwell brings minimal natural light into the building, and is in a bad state. This could be more appropriately used as office space.

### Main Core

The main core is small and inefficient. It obstructs clear movement throughout the building and is not user friendly. The lift is slow and squat, resulting in traffic jams around the cramped stairwell. There are many level changes.

### Facade

The Ground Floor facade has little engagement with the overall design and style of the building. It is incohesive and uninteresting for pedestrians and users.



### Roof

The building's roof is currently occupied by heavy plant, with the potential for an impressive roof

### Walls

The division of the building into separate areas hinders its use as a contemporary office space, hindering circulation and blocking out sunlight.

### 2nd Core

The 2nd core is redundant and takes up valuable floor space. It acts as the current fire escape, which would not be necessary if the main core was also designed as a fire route.

Existing Section

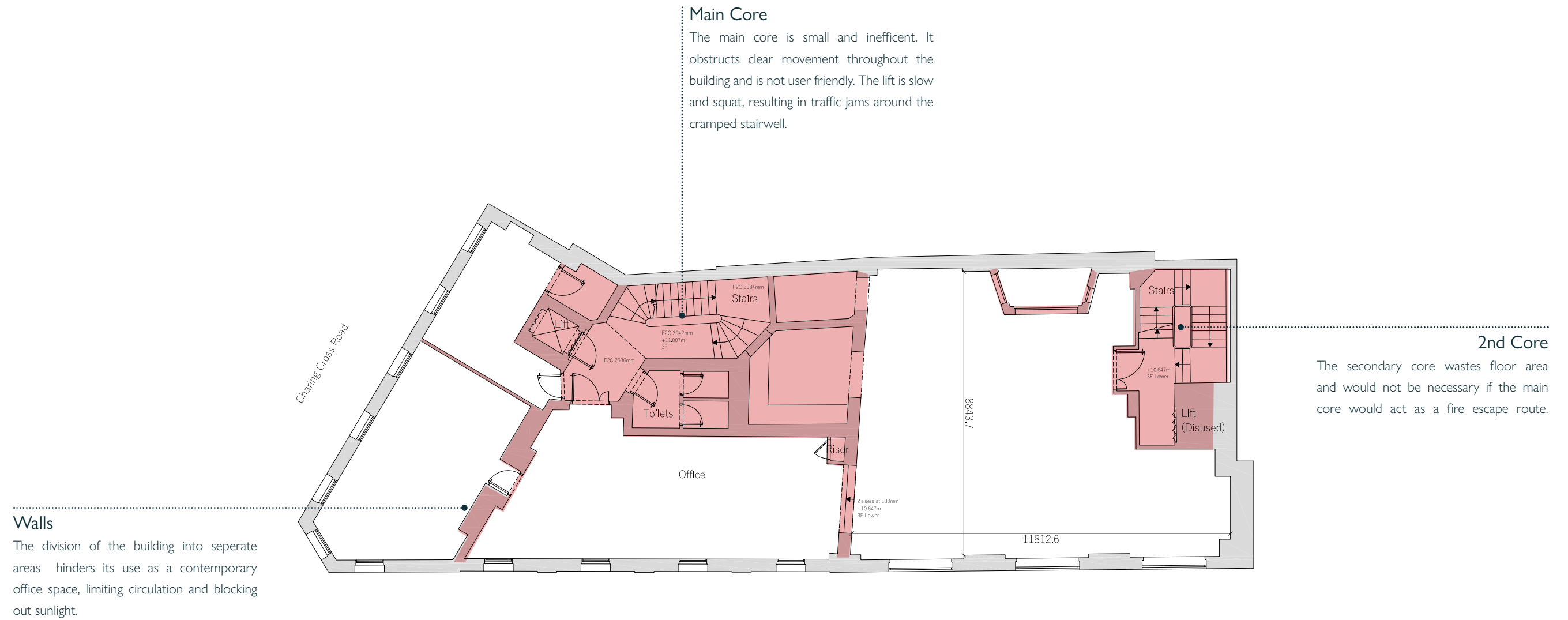
# Plan Development

## 8.2 Existing Ground Floor Plan Analysis



# Plan Development

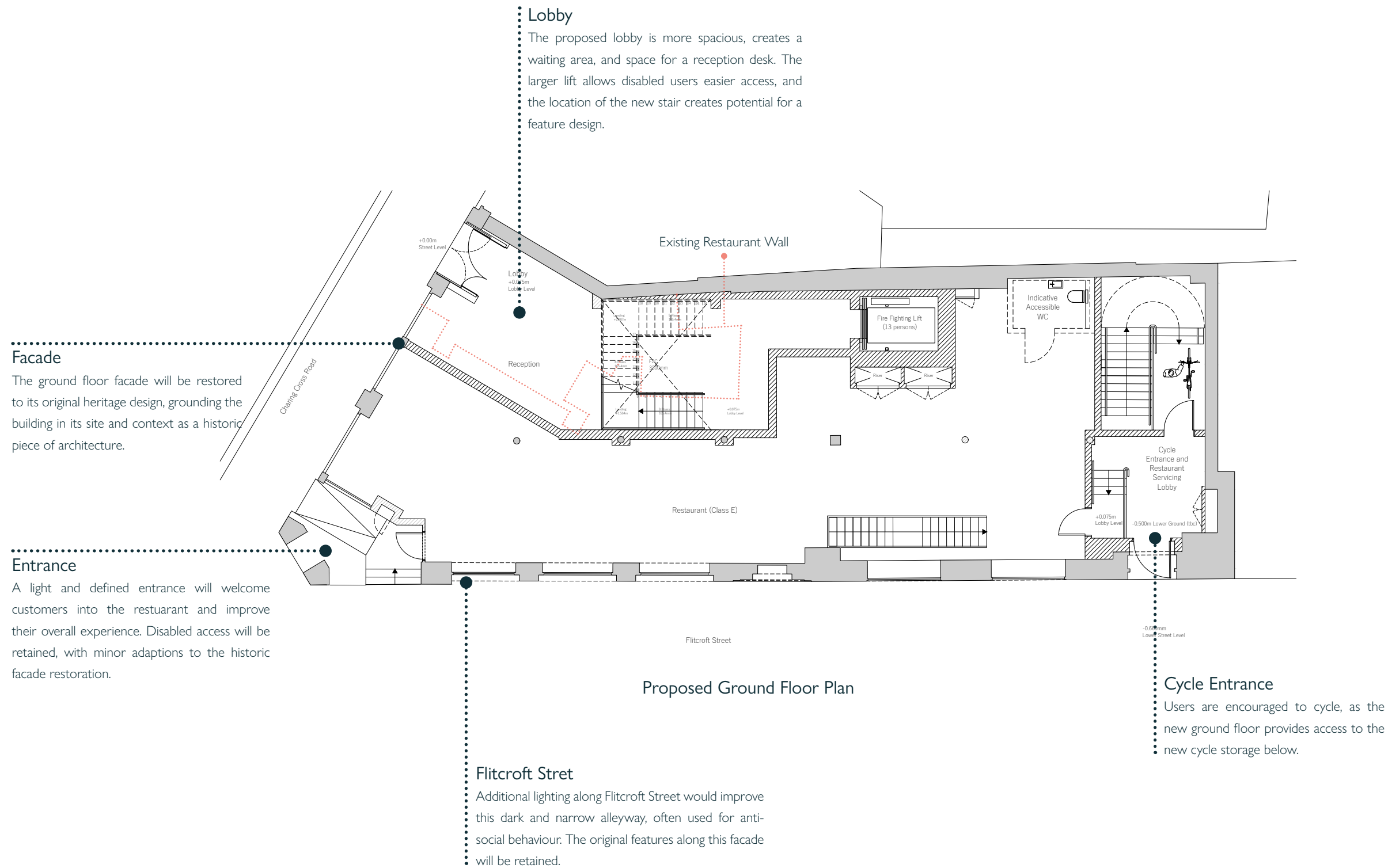
## 8.3 Existing Typical Floor Plan Analysis



Existing Third Floor Plan

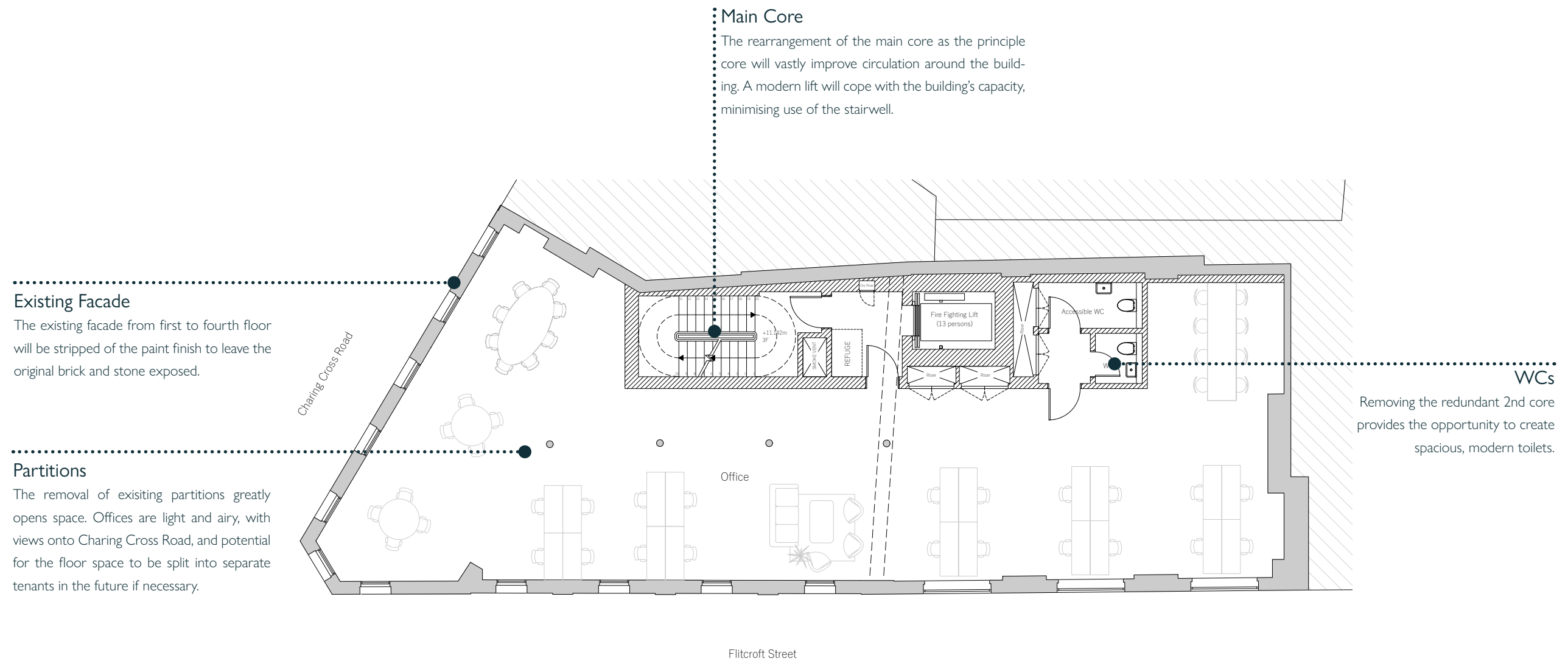
# Plan Development

## 8.4 Proposed Ground Floor Plan



# Plan Development

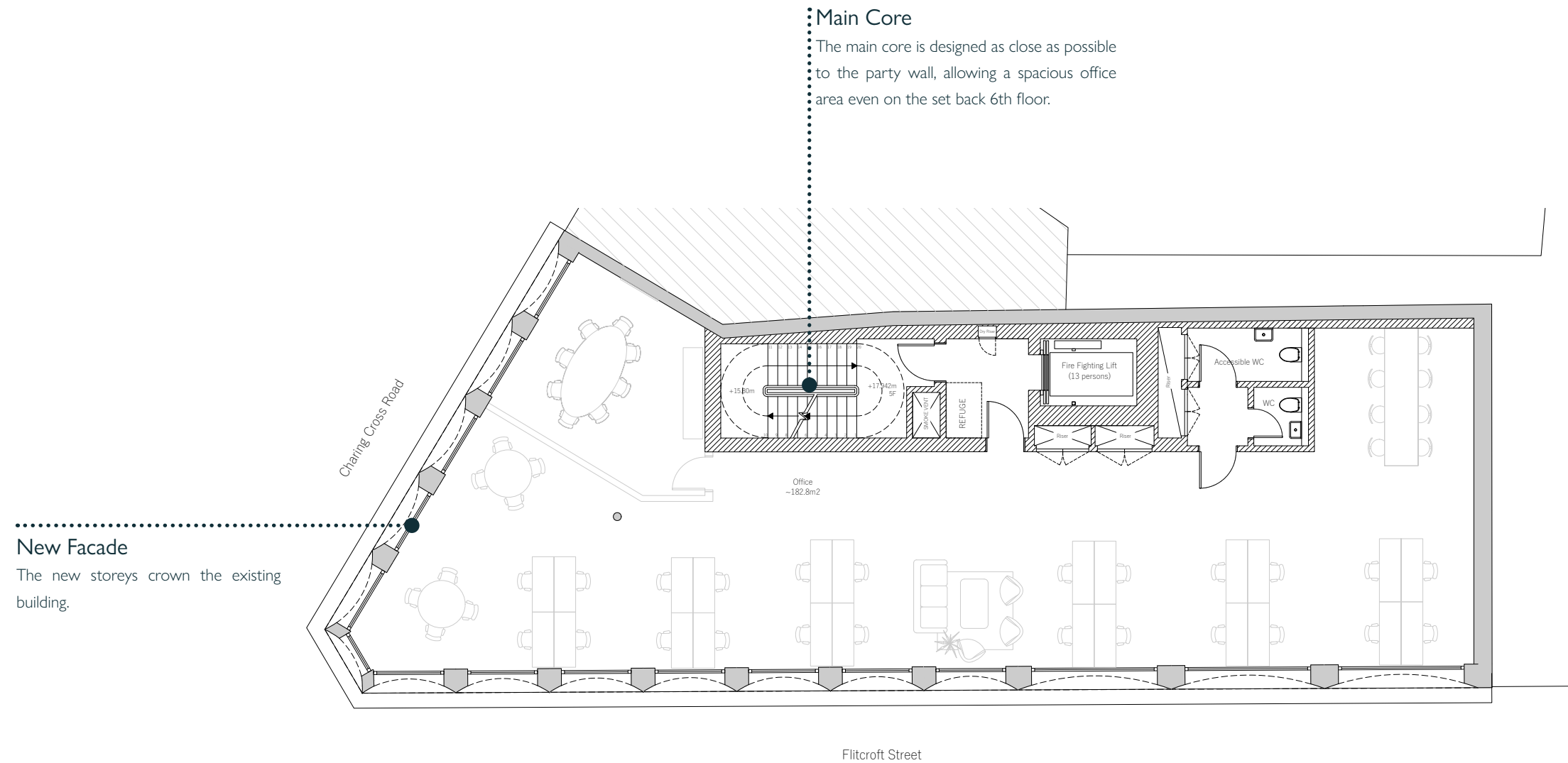
## 8.5 Proposed Typical Floor Plan



Proposed Third Floor Plan

# Plan Development

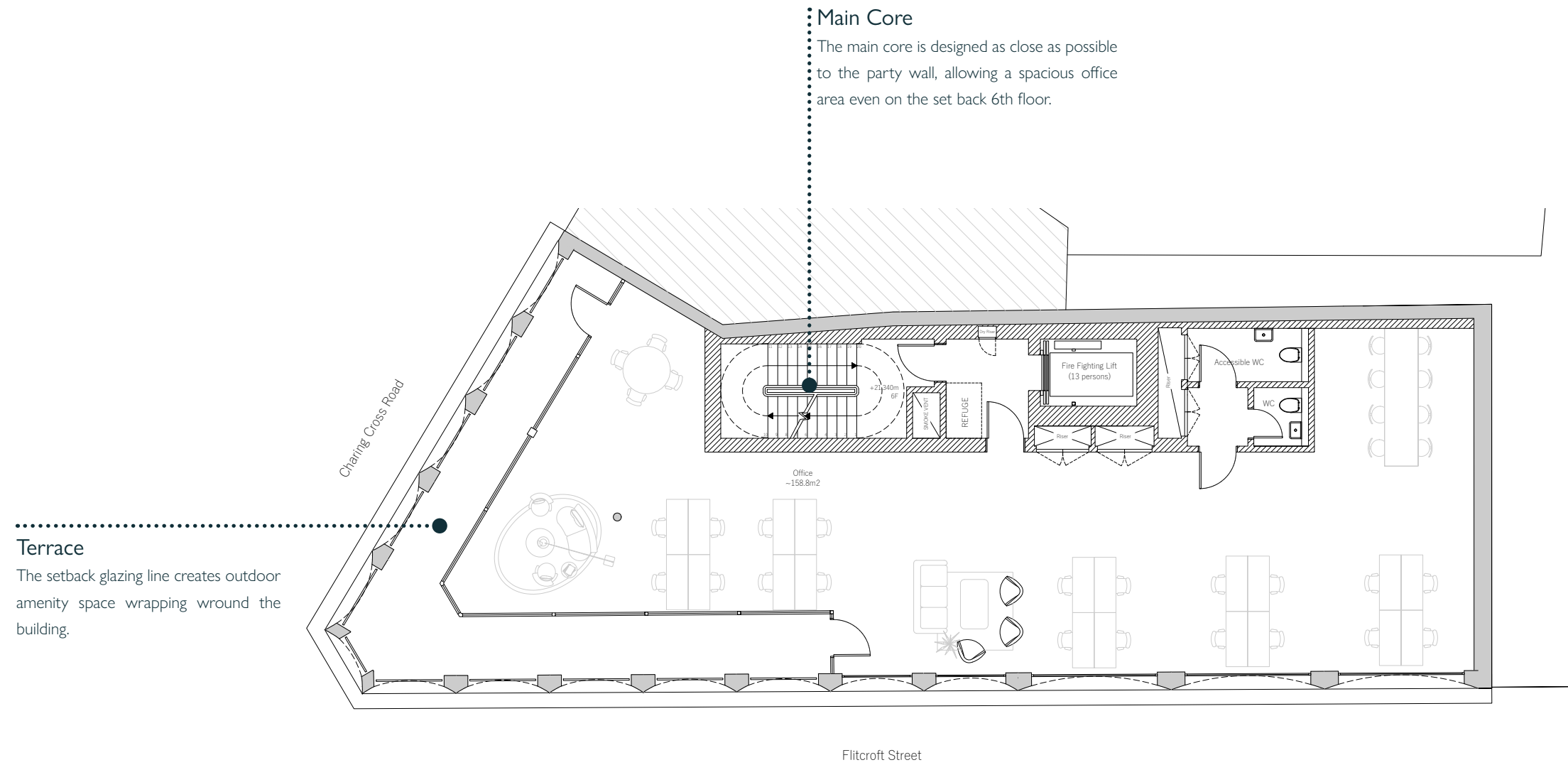
## 8.6 Proposed Fifth Floor Plan



Proposed Fifth Floor Plan

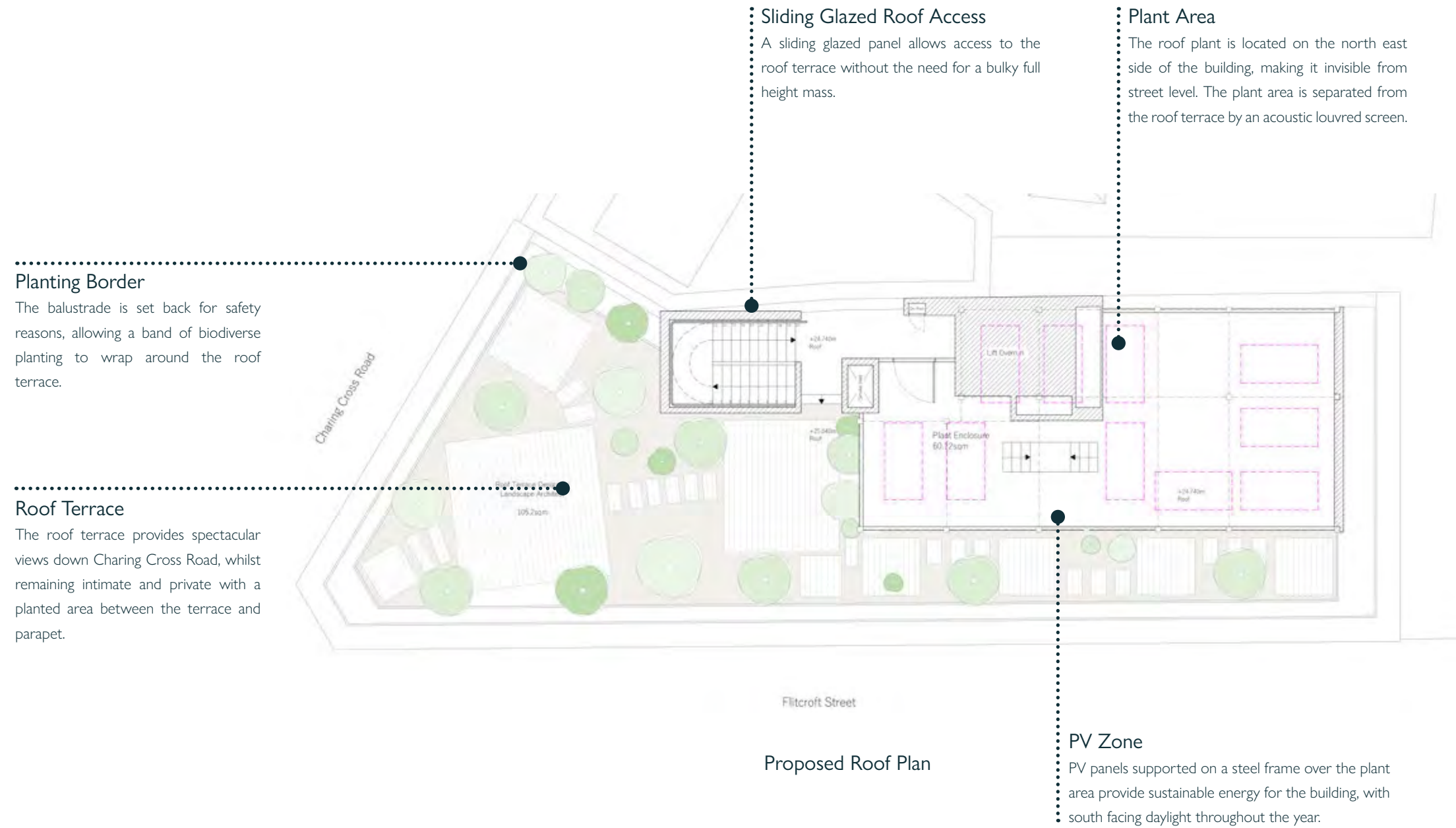
# Plan Development

## 8.7 Proposed Sixth Floor Plan

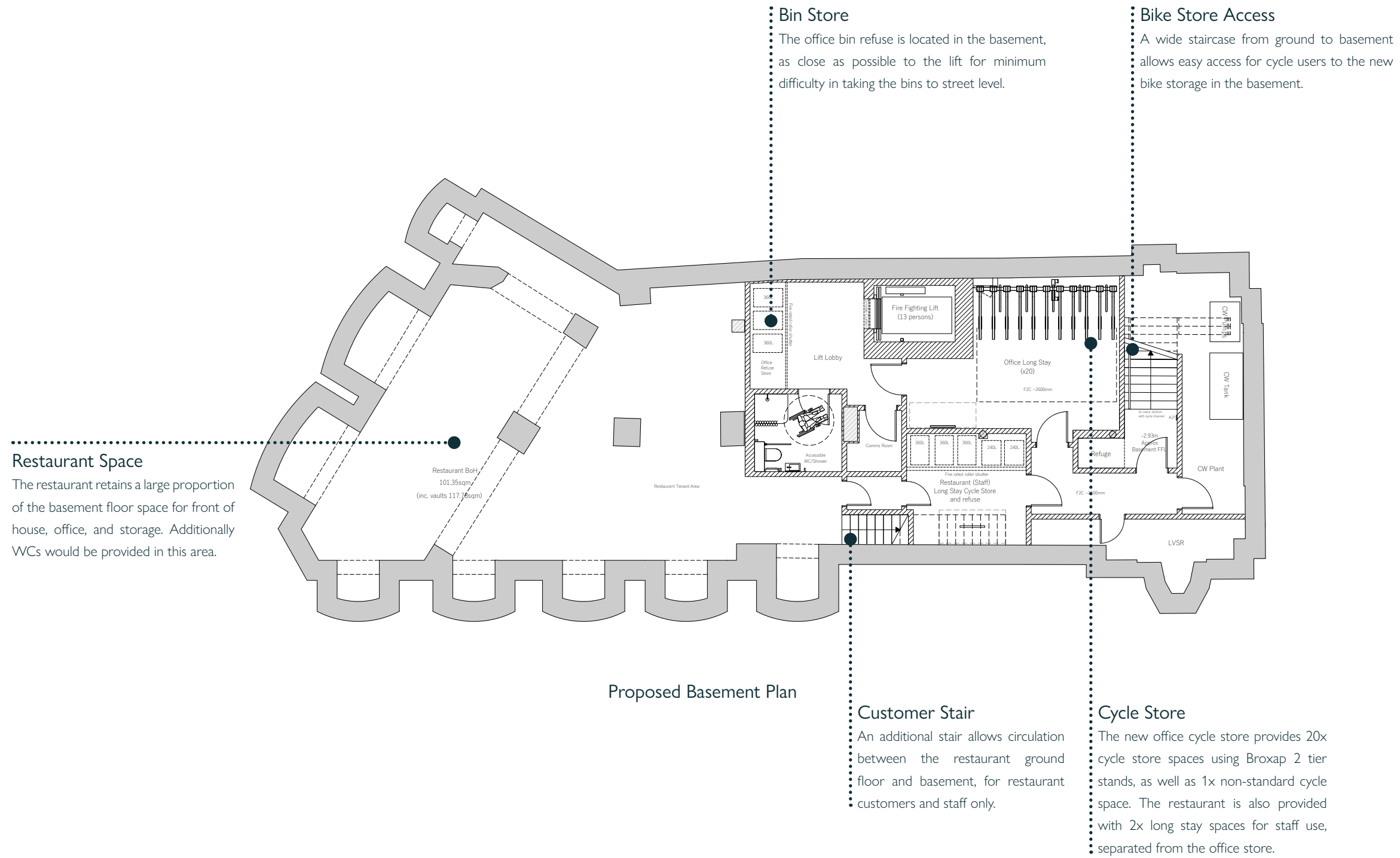


Proposed Sixth Floor Plan





8.9 Proposed Basement Plan



Proposed Basement Plan

## 09 Design Proposal

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PHOENIX

120

BUS LANE  
LOOK BOTH  
WAYS

STUBHUB RECEIPT

★★★★★  
LIFE OF THE SHOW  
BY ANDREW LLOYD WEBBER  
MUSIC BY PHILIP MILLER  
BOOKS BY PHILIP MILLER  
MUSIC BY PHILIP MILLER  
MUSIC BY PHILIP MILLER

TICKETS  
750+

STUBHUB  
BUY  
TICKETS

StubHub

StubHub

StubHub





maxx

120

COME FROM AWAY

PHOENIX

FOYLES





COME FROM AWAY  
A NEW MUSICAL

THEATRE

120

FRITZ

ONEWAY  
HIGH BOTH  
WAYS

COME FROM AWAY  
THEATRE ROYAL  
MANCHESTER  
SEPTEMBER 15TH - 19TH  
SEPTEMBER 20TH - 24TH  
SEPTEMBER 25TH - 29TH  
SEPTEMBER 30TH - OCTOBER 4TH





T-max

120

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BEST NEW MUSICAL

PHOENIX

ONE WAY

29



## 010 Planning Considerations

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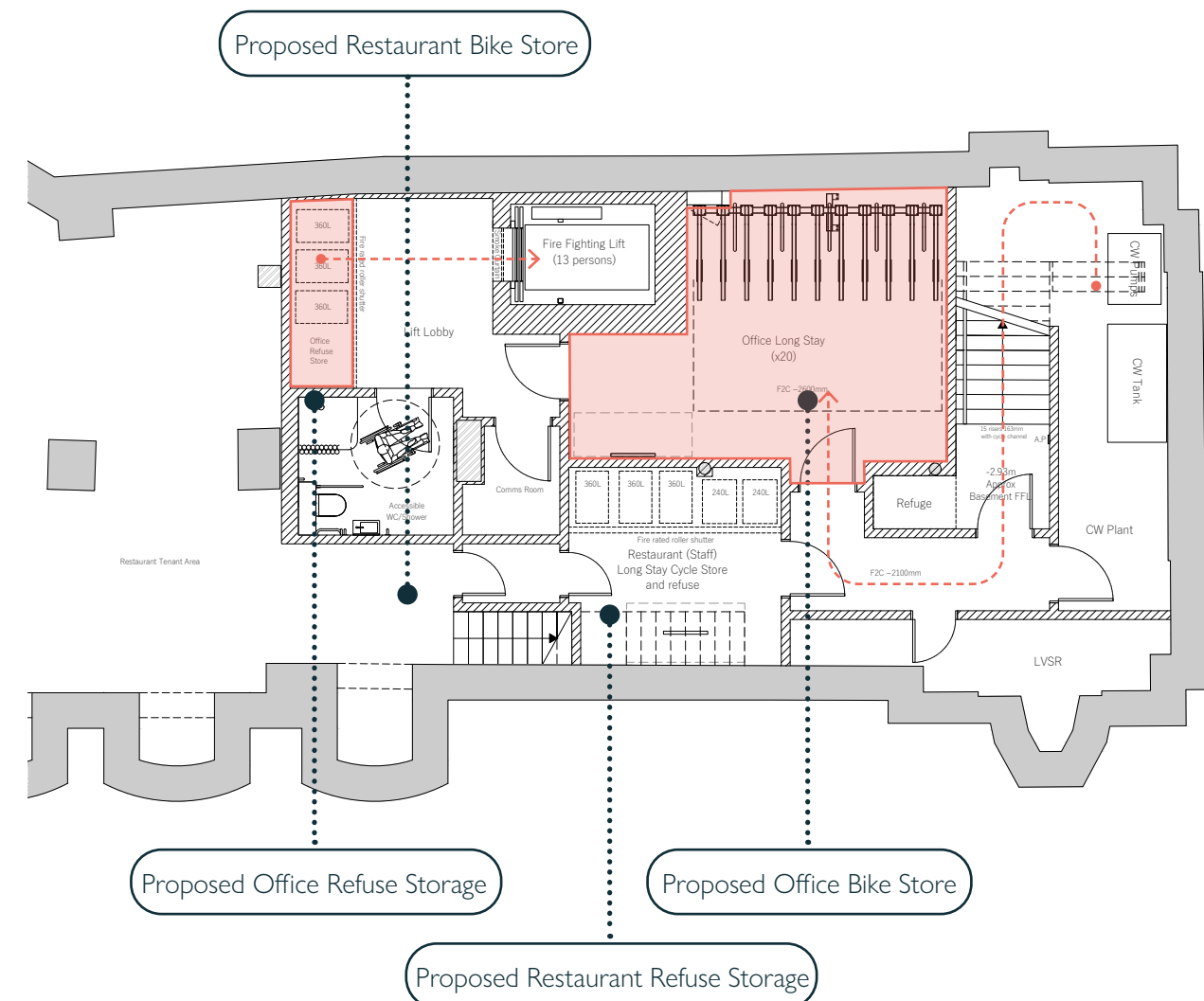
# Planning Considerations

## 10.1 Bike Storage and Bins

Camden Local Authority provided the following guidance on cycle store numbers.

- Long-stay cycle spaces should be separated from short-stay due to security concerns.
- Long-stay cycle spaces for the office and restaurant should be separated. Short-stay spaces can be combined.
- If space is restricted, we can accept a financial contribution for the short-stay spaces. A Sheffield stand for 2 short-stay cycle spaces is £255.
- 5% of the total number of cycle parking facilities should be allocated to non-standard cycles according to the London Plan and London Cycling Design Standards. These non-standard cycle parking spaces must be clearly signposted and/or identified with ground markings denoting they are for non-standard cycles.
- Route to cycle parking must be step-free (cycle wheeling ramp on stairs is acceptable) and well signposted.
- Should be within 50 metres of the building entrance.
- Supporting facilities such as lockers, changing facilities, a drying room and showers are recommended.
- All doors to the cycle parking area should be automated by a push button or pressure pad.

The intention is to supplement the short stay spaces with a payment in lieu due to spacial limitations of the existing building. It is also noted that there are numerous short stay cycle parking spaces in the vicinity, as well as Santander Bike Stations. Please refer to the Transport Statement for further information.



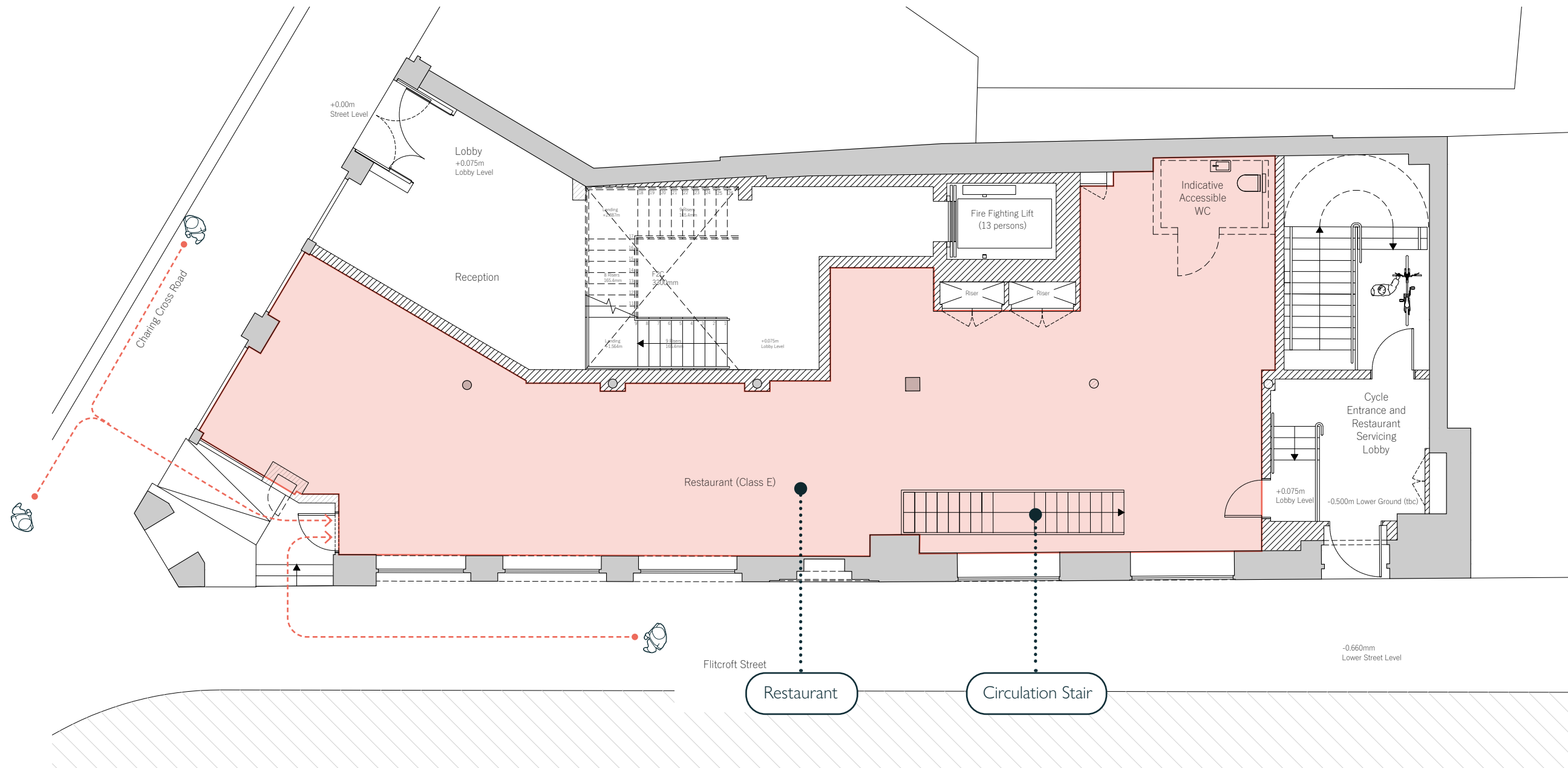
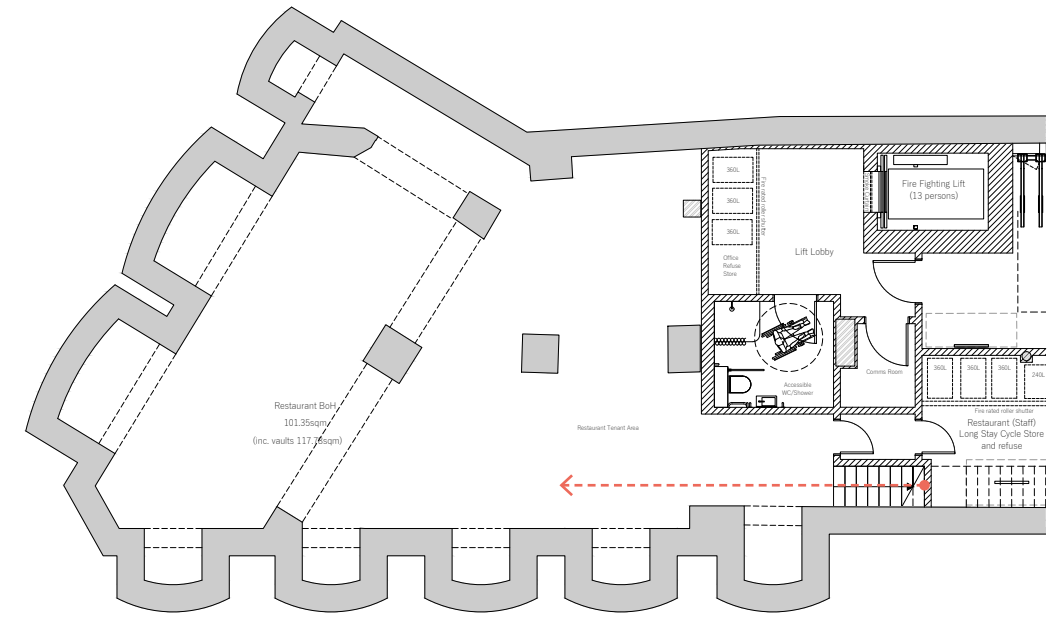
The proposed bike store is located in the basement, with access via a secondary entrance down Flitcroft Street. The basement is accessed down a wide staircase, and the store located close to the stair to minimise the distance needed to transport a bicycle inside the building.

The proposed bin refuse for the office area is located opposite the lift door in the basement. Access for moving the bins would be via the lift and through the lobby when necessary. Restaurant bin refuse is located separately.

# Planning Considerations

## 10.2 Ground Floor Use

The ground floor proposal retains the restaurant currently on site, but reducing the floor area to allow for a larger lobby for the office. Additionally, a new stair is introduced to allow potential circulation for restaurant customers into the basement restaurant area. The layout of the restaurant area (kitchen, BoH, storage, office, WCs) will be established by the tenant in a future application (if required).

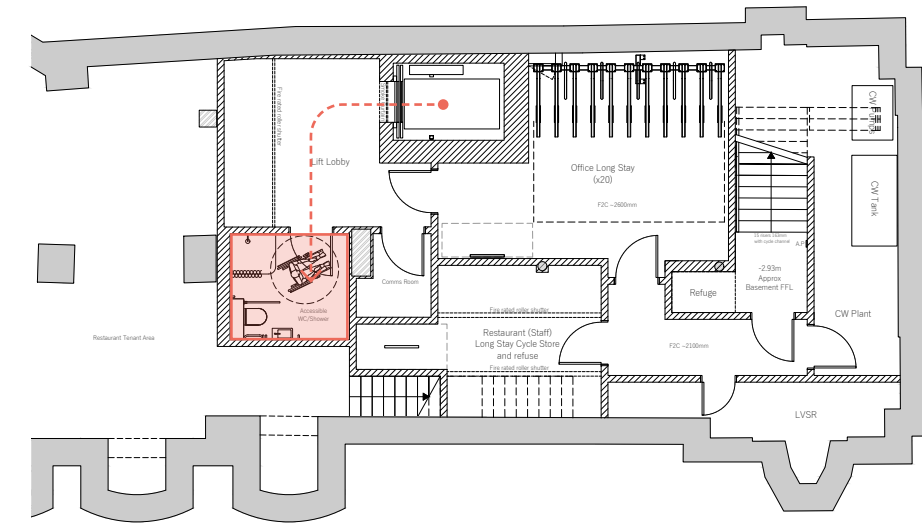


# Planning Considerations

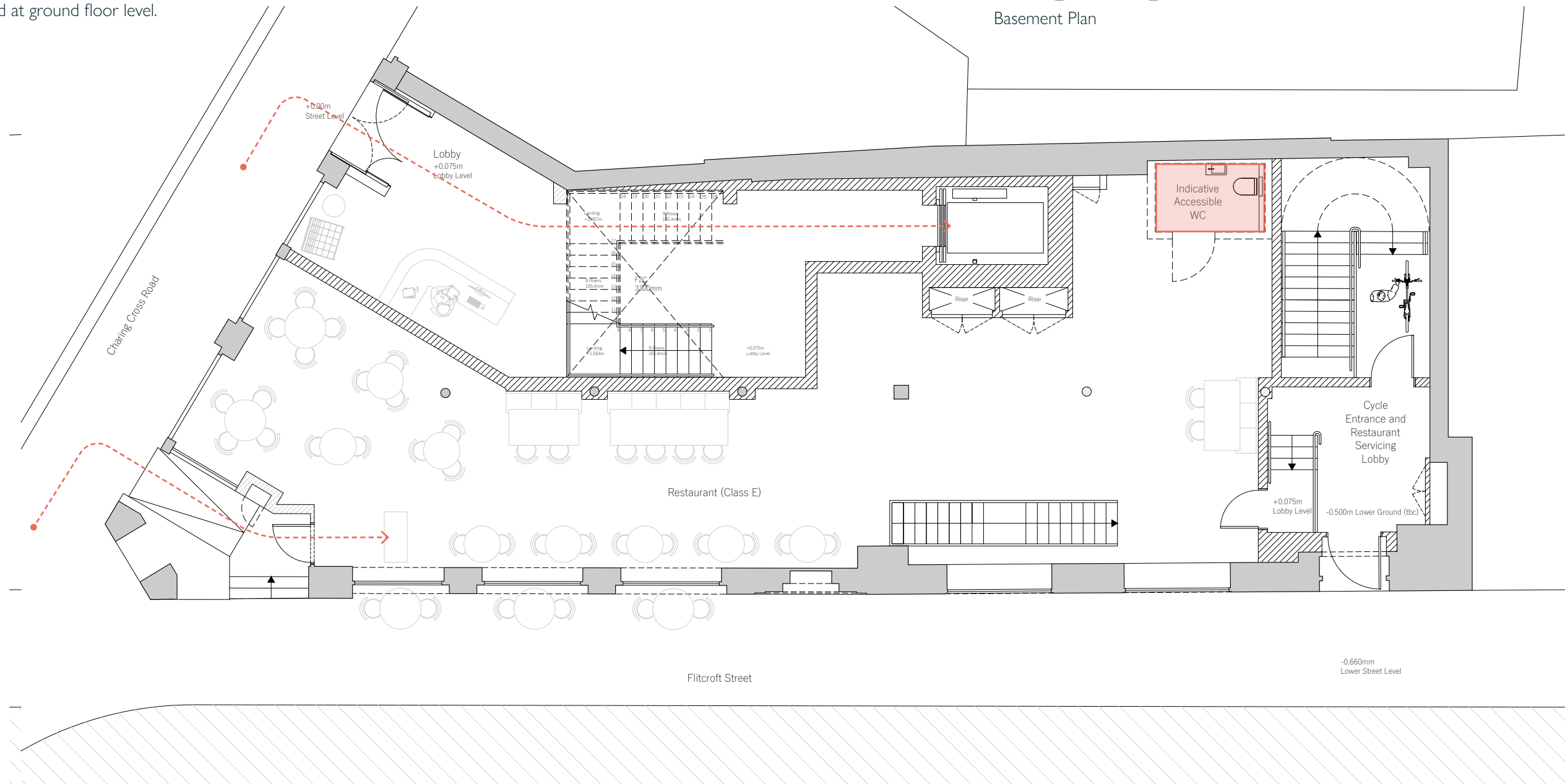
## 10.3 Inclusive Design

The design is fully accessible. The main office entrance is close to flush with the street level, allowing wheelchair users to easily enter the building. Access to the restaurant is via a ramp from Charing Cross Road as existing. The lift provides easy access to all floors from basement to 6th for an office wheelchair user.

Accessible toilet cubicles are available on each floor from Ground to 4th, and the basement provides an accessible shower cubicle accessible via the lift. An accessible WC will be provided for the restaurant customers at ground floor level, and disabled customers would be seated at ground floor level.



Basement Plan

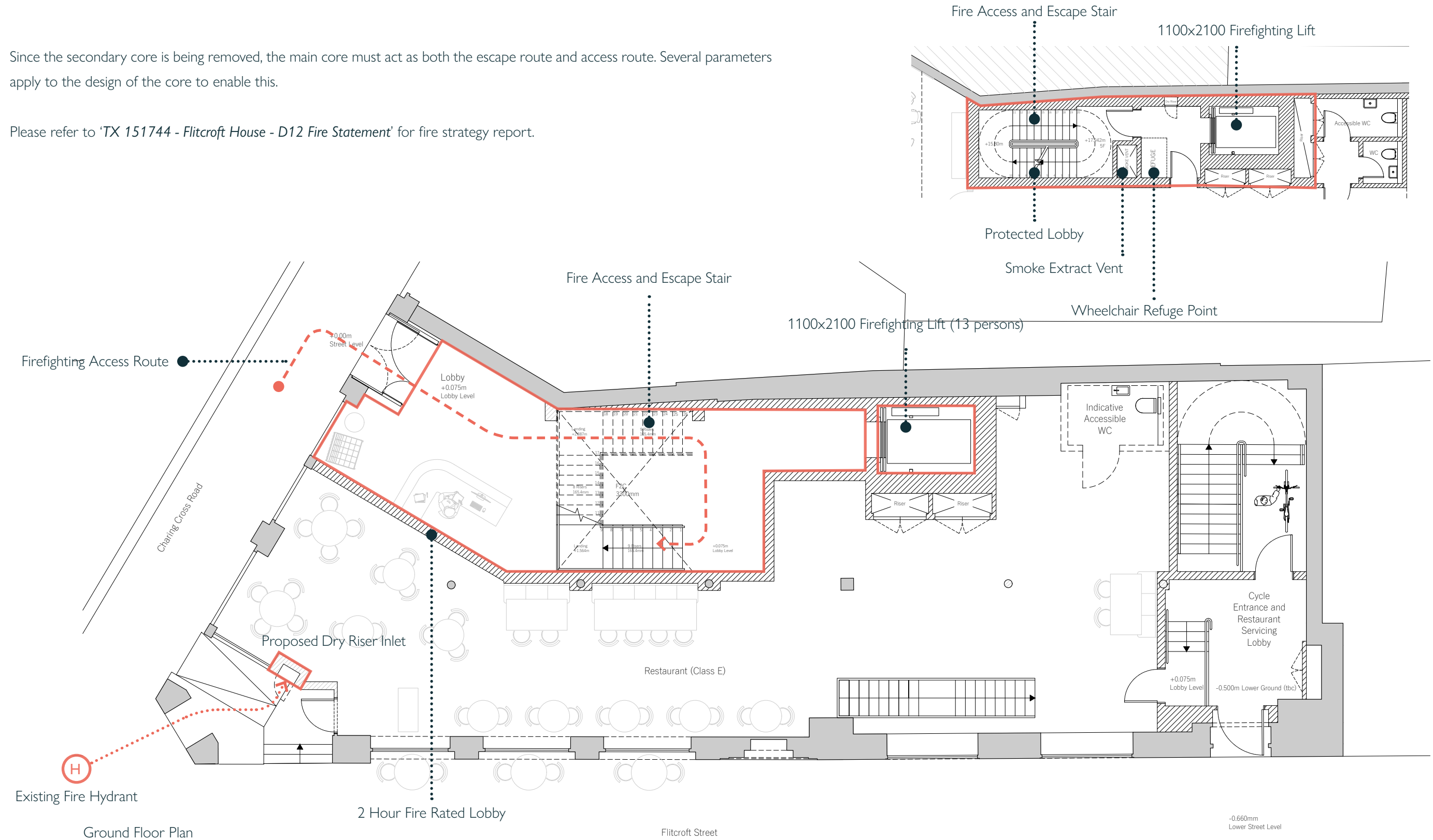


# Planning Considerations

## 10.4 Fire Safety

Since the secondary core is being removed, the main core must act as both the escape route and access route. Several parameters apply to the design of the core to enable this.

Please refer to 'TX 151744 - Flitcroft House - D12 Fire Statement' for fire strategy report.

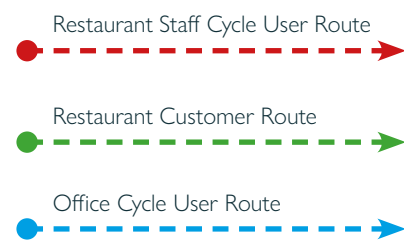
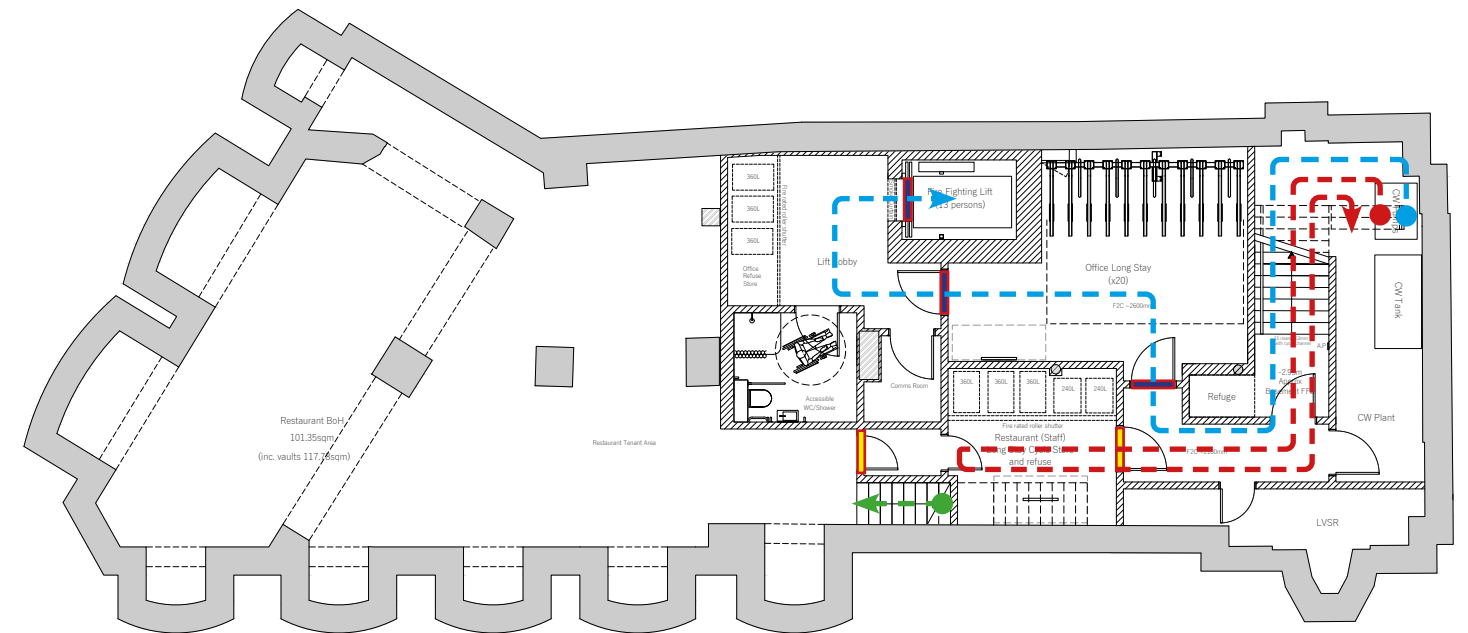
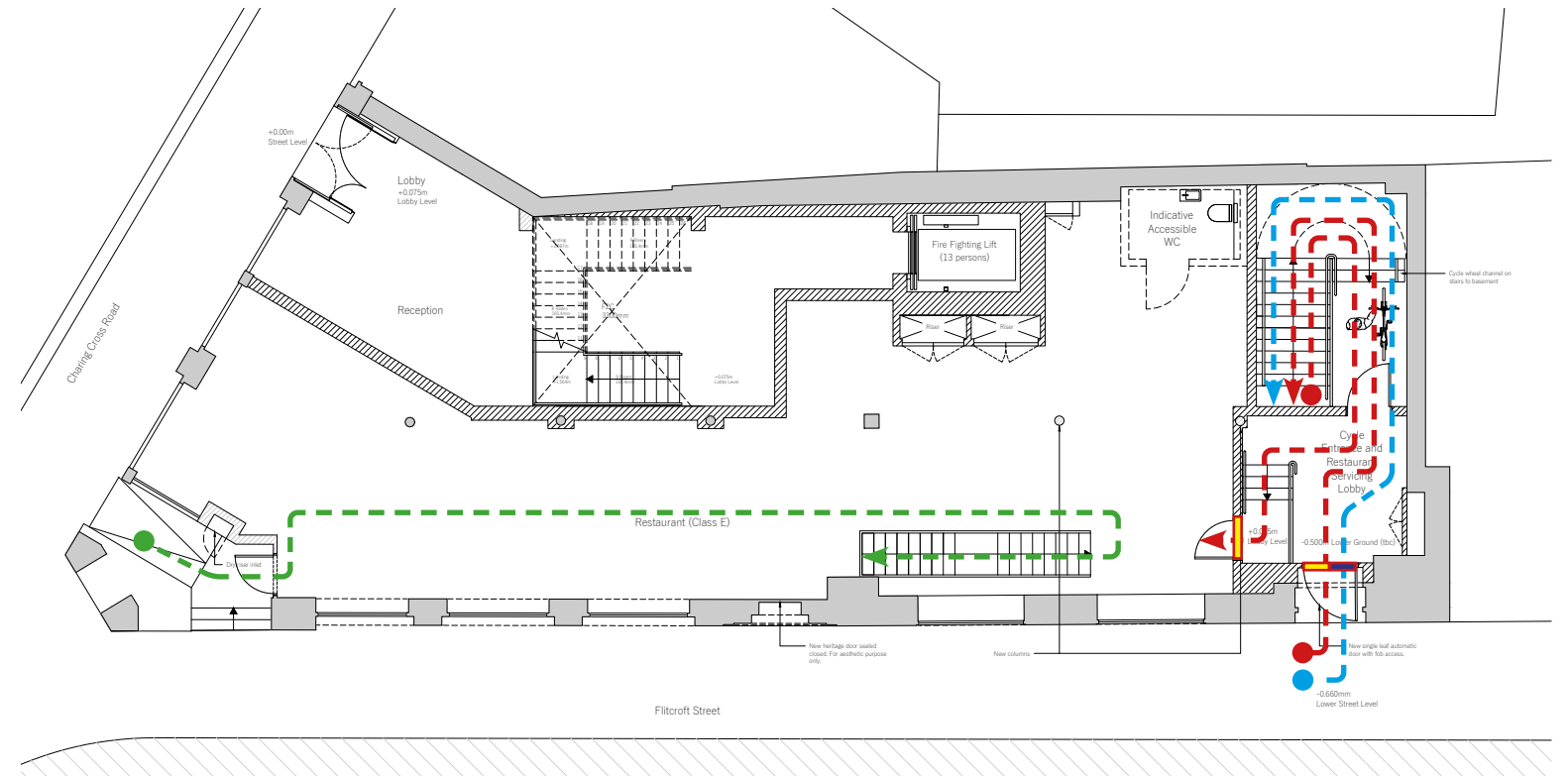


# Planning Considerations

## 10.5 Secure By Design

Relevance of key points from the Commercial Secure by Design document is outlined below:

- Creating a sense of place: the restoration of the ground floor will improve the sense of place for Flitcroft House.
- Outdoor amenity: the outdoor seating associated with the restaurant is within view of occupied rooms within Flitcroft House. Other outdoor areas (at 6th floor and roof level) are only accessible by office users.
- Vehicular and pedestrian routes: improvements to Flitcroft Street will be established as part of a separate planning application in the near future.
- Recessed doorways: these are required in order to provide outward opening doors that comply with fire escape regulations. The risk of these will be combatted with appropriate lighting and access gates out of hours.
- Internal layout: due to the ground floor and basement plan being split between office and restaurant areas, several doors will be fob access only to allow for secure circulation. The adjacent diagrams show the access plan for restaurant customers, restaurant staff, and office users.
- Entrances into the building: the office reception will be manned by a receptionist during working hours, and a security guard out of hours. The Flitcroft Street entrance is accessed by fob only for restaurant staff and office users.
- CCTV: the required areas, particularly along Flitcroft Street, will be monitored by CCTV.
- Doorsets: the external doorsets will have locking mechanisms of the appropriate accreditation.



# Planning Considerations

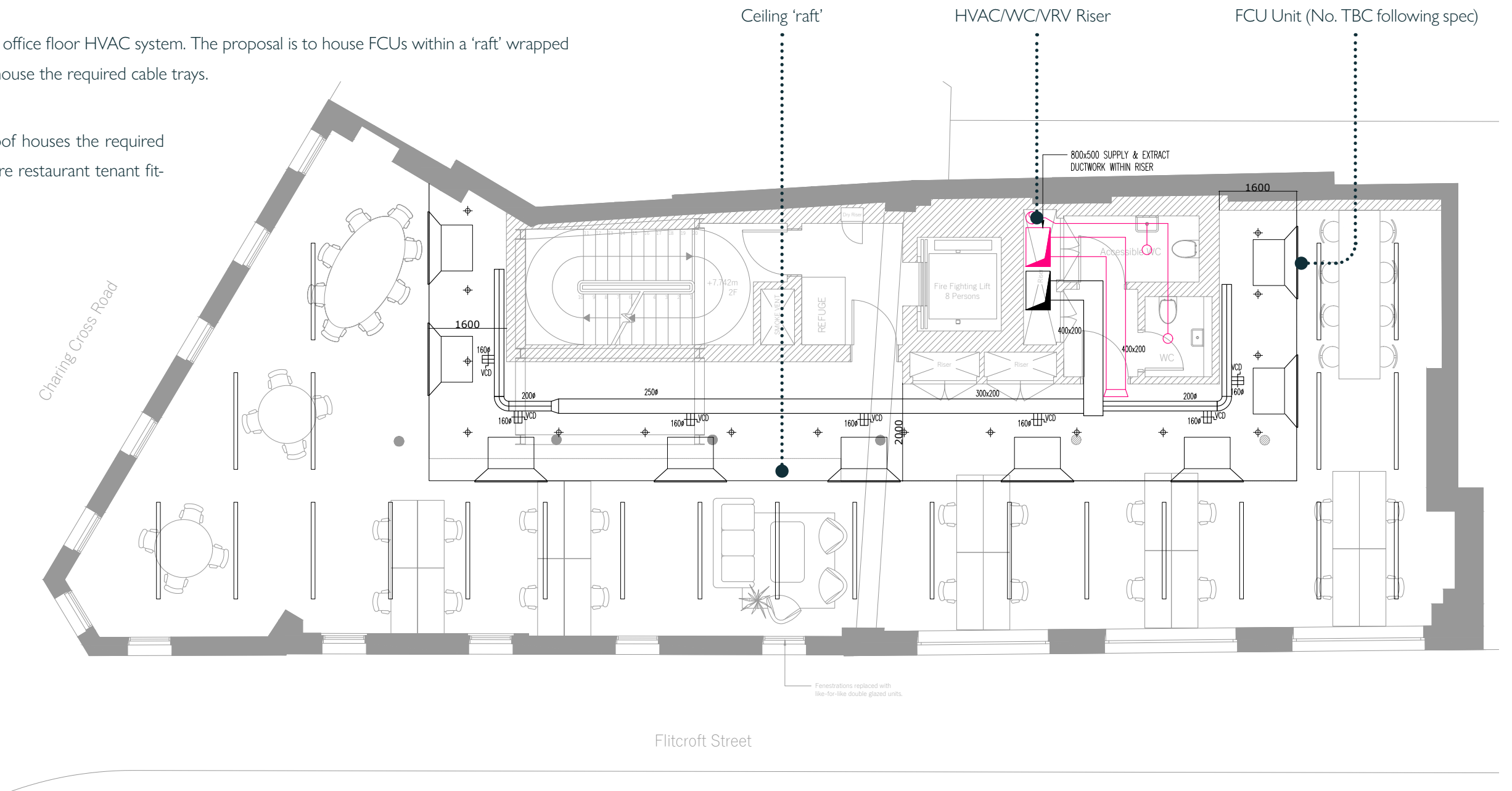
## 10.6 Energy and Sustainability

### MEP Strategy

An overall high-level MEP strategy has been developed for the proposals.

The adjacent floor plan shows a typical office floor HVAC system. The proposal is to house FCUs within a 'raft' wrapped around the core, that will additionally house the required cable trays.

A dedicated plant enclosure on the roof houses the required equipment, with provision for the future restaurant tenant fit-out allowed for.



Typical Office M&E Plan



# Planning Considerations

## 10.6 Energy and Sustainability

### Sustainability Strategy

In summary, the proposed development:

- Will minimise energy demand through the use of low u-values, low air permeability and low thermal bridging to reduce heat loss.
- Will improve building fabric.
- Will be fossil fuel free, using air source heat pumps to provide space heating and hot water.
- Will utilise rooftop photovoltaic panels to provide renewable electricity.
- Will have a minimal impact on the risk of surface water flooding onsite and will increase permeable surface area
- Will minimise water consumption.
- Will improve the longevity by creating more flexible and adaptable spaces in line with future needs.



All existing fenestration is to be upgraded to like-for-like efficient double glazed units, plant equipment will be upgraded to more sustainable energy efficient specifications, and urban green space to be provided.

For full report, please refer to Savills Earth 'Energy and Sustainability Statement'

# Planning Considerations

## 10.7 Area Schedule

### Existing

Level	GIA (m <sup>2</sup> )	NIA (m <sup>2</sup> )	Notes
Basement	213.3 (Total) 182.5 (Restaurant)	150.3 (Restaurant)	Includes all area up to structural wall inner face.
Ground Floor (Office)	14.2	-	Includes lobby and core.
Ground Floor (Restaurant)	177.1	160.1	Includes dining area, kitchen, basement access.
First Floor	235.9	181.3	
Second Floor	238.0	183.7	
Third Floor	236.1	180.6	
Fourth Floor	231.6	178.5	
-	-	-	
-	-	-	
<b>Total</b>	955.8 (Office) 359.6 (Restaurant) 1,361.6 (Total)	738.3 (Office) 310.4 (Restaurant) 1034.5 (Total)	See full area schedule for detailed breakdown.

### Proposed

Level	GIA (m <sup>2</sup> )	NIA (m <sup>2</sup> )	Notes
Basement (Office)	58.4	33.3	Includes bike store, WC/shower, comms room.
Basement (Restaurant)	139.6	119.8	Includes bike store and BoH.
Ground Floor (Office)	60.3	42.1	Includes lobby.
Ground Floor (Restaurant)	131.3	120.7	Includes restaurant tenant area.
First Floor	234.9	187.5	
Second Floor	236.2	195.6	
Third Floor	237.4	197.0	
Fourth Floor	245.3	205.1	
Fifth Floor	233.8	193.5	
Sixth Floor	204.4	163.6	
<b>Total</b>	1510.7 (Office) 270.9 (Restaurant) 1,854.2 (Total)	1217.7 (Office) 240.5 (Restaurant) 1454.7 (Total)	See full area schedule for detailed breakdown.



## 011 Conclusion

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# Conclusion

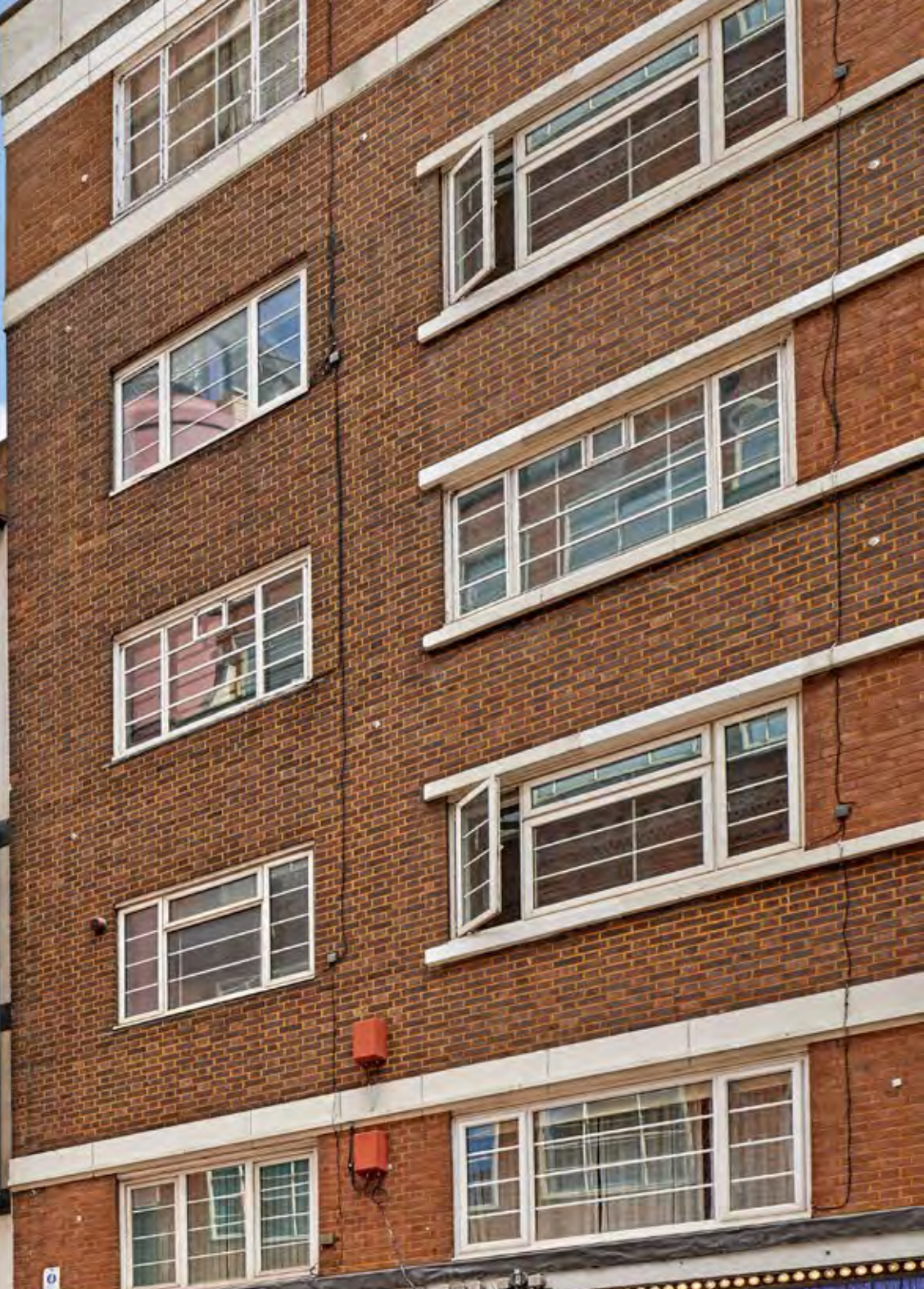
## 11.1 Project Summary

Through high quality architectural design and appropriate responses to the historic existing facades of Flitcroft House, this proposal provides the opportunity to greatly increase the architectural value with unity between contemporary and heritage elements of the design.

This proposal enhances the existing Flitcroft House and creates an building of greatly increased architectural value and improved floor plan to meet the current market demands. The ground floor street frontage is redressed sensitively to improve the cohesiveness and pedestrian experience, responding to the currently uninspiring facade.

The design provides two new office storeys and outdoor terraces with clear vistas along Charing Cross Road. The articulation interprets the existing facade in a contemporary way, reflecting both the rectangular and arch motifs present below. The proposed green amenity spaces promote well-being in the work place, whilst also tying the building to the Phoenix Community Garden down Flitcroft Street.





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BUS LANE  
LOOK BOTH WAYS

TONIGHT 7.30pm

PHOENIX



# Appendix

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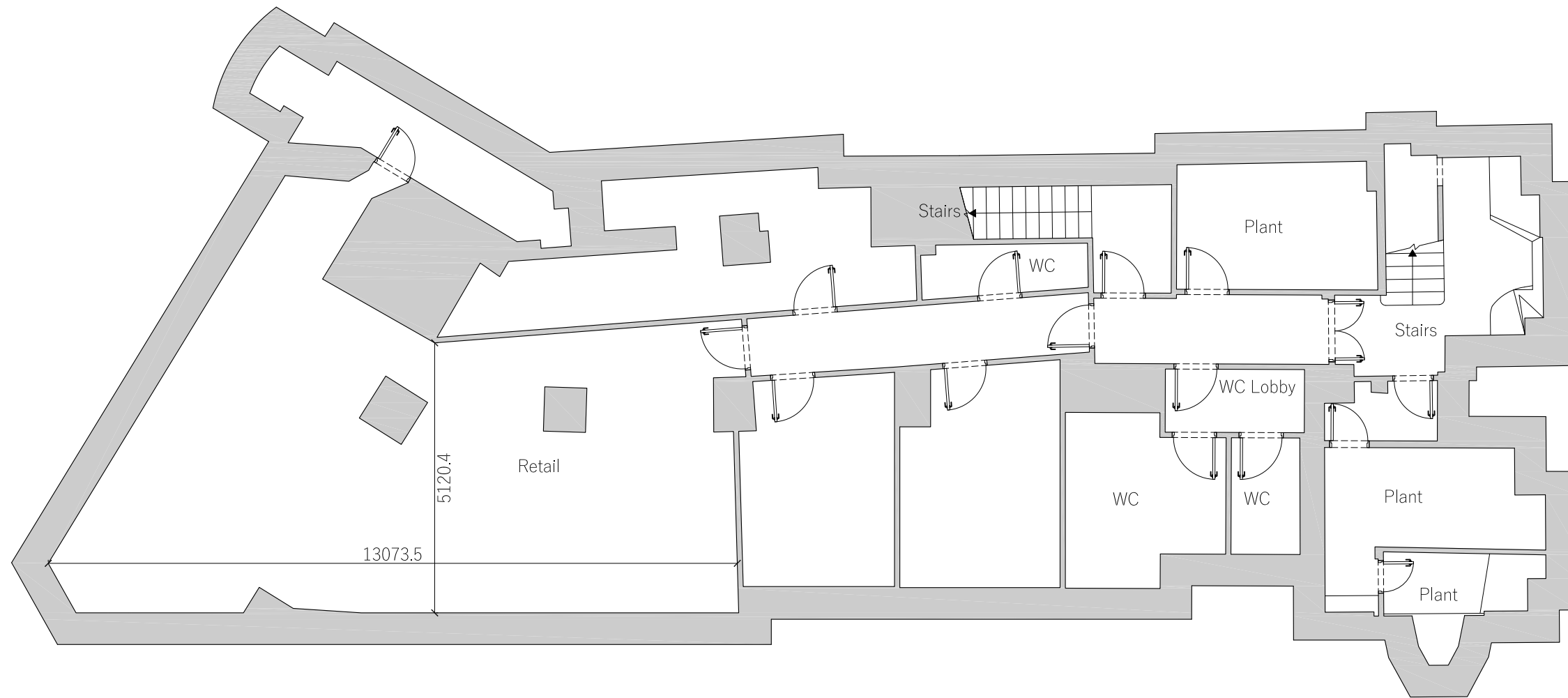
## 012 Existing Plans

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See drawing packages for full sets of existing and proposed drawings.

Existing Plans

12.1 Existing Basement Plan



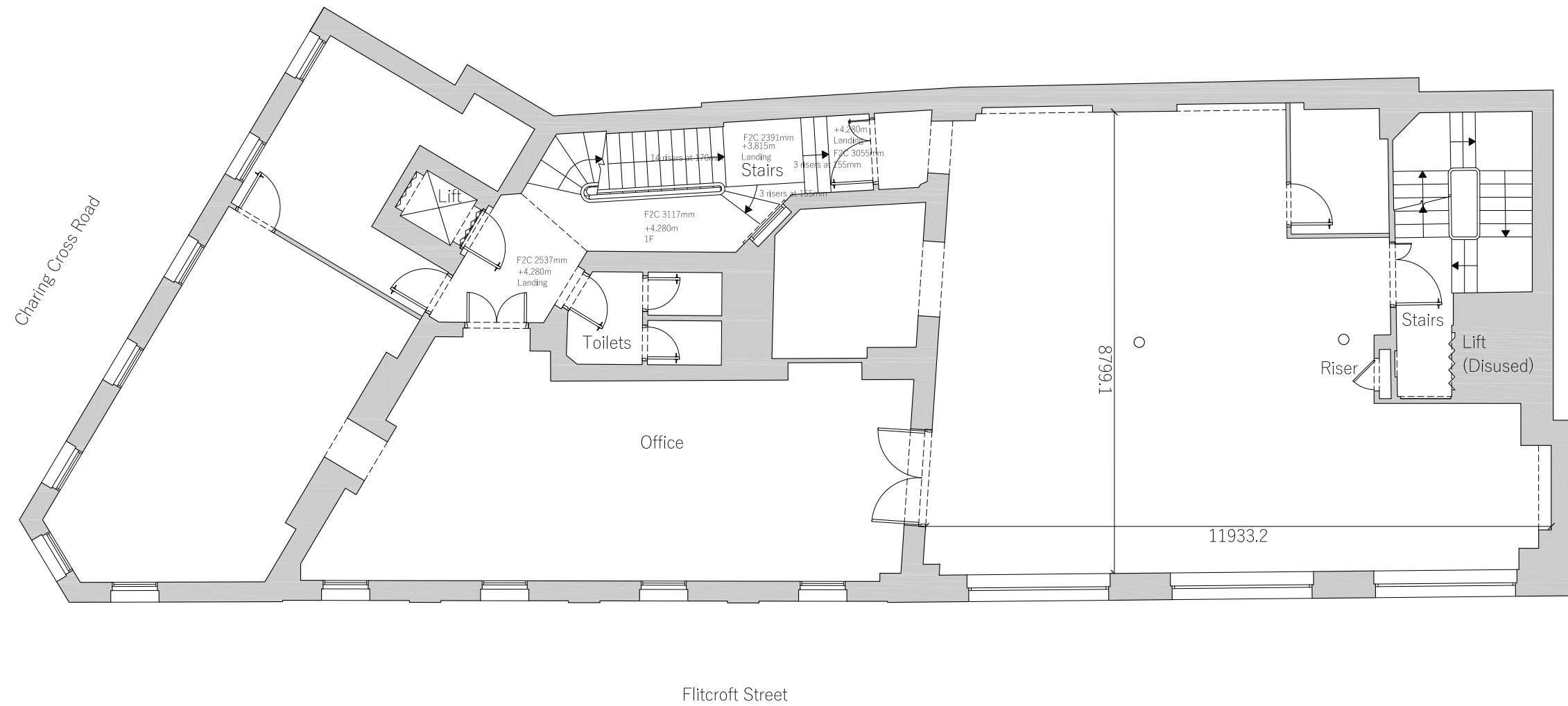
# Existing Plans

## 12.2 Existing Ground Floor Plan



# Existing Plans

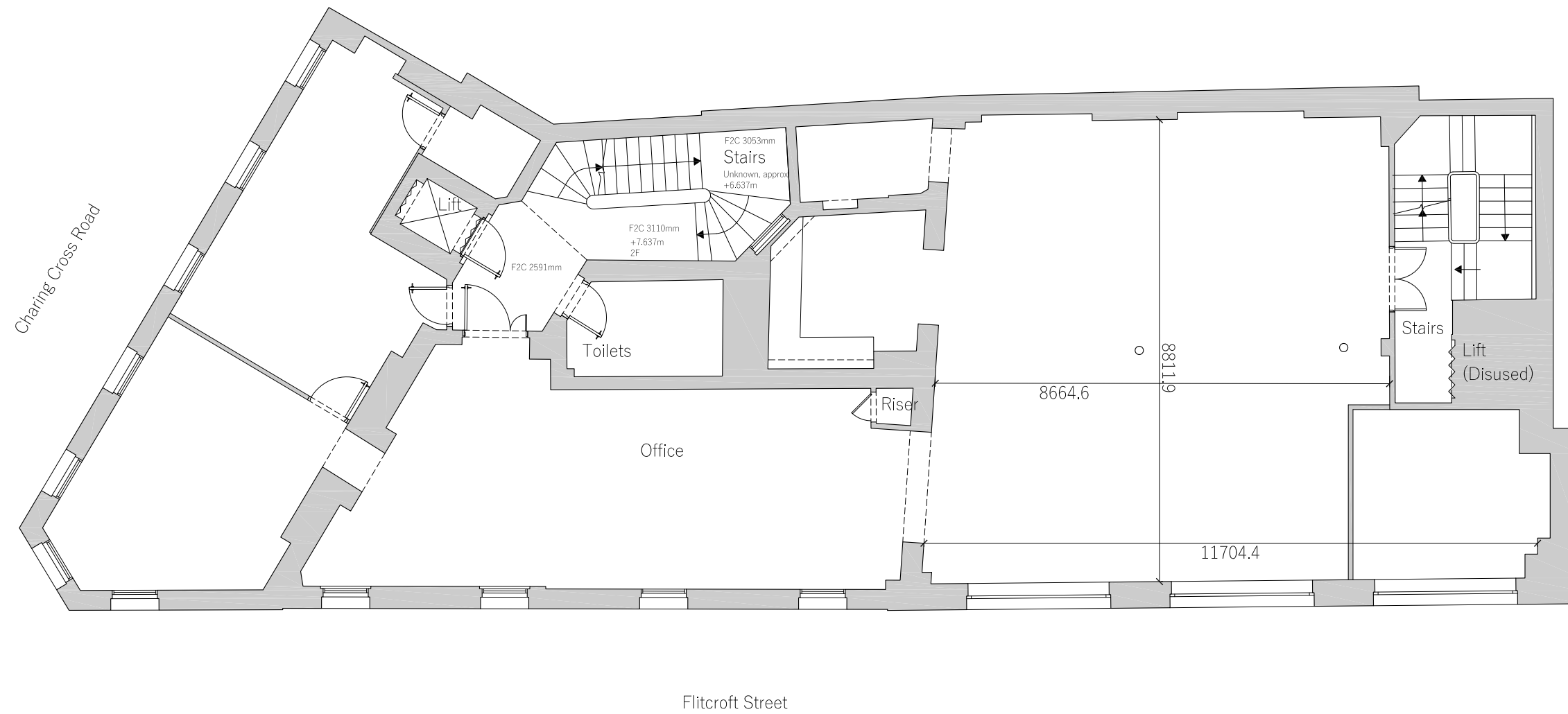
## 12.3 Existing First Floor Plan





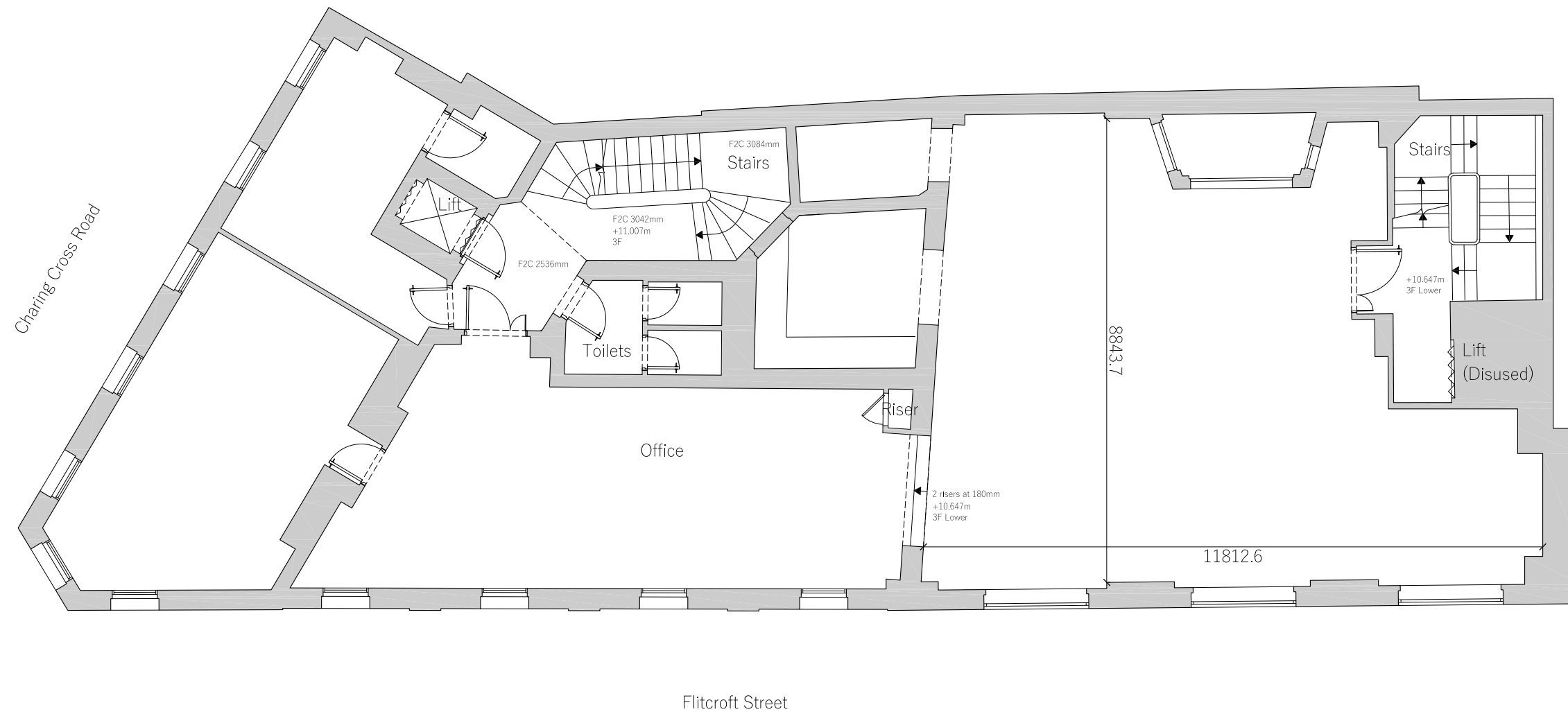
# Existing Plans

## 12.4 Existing Second Floor Plan



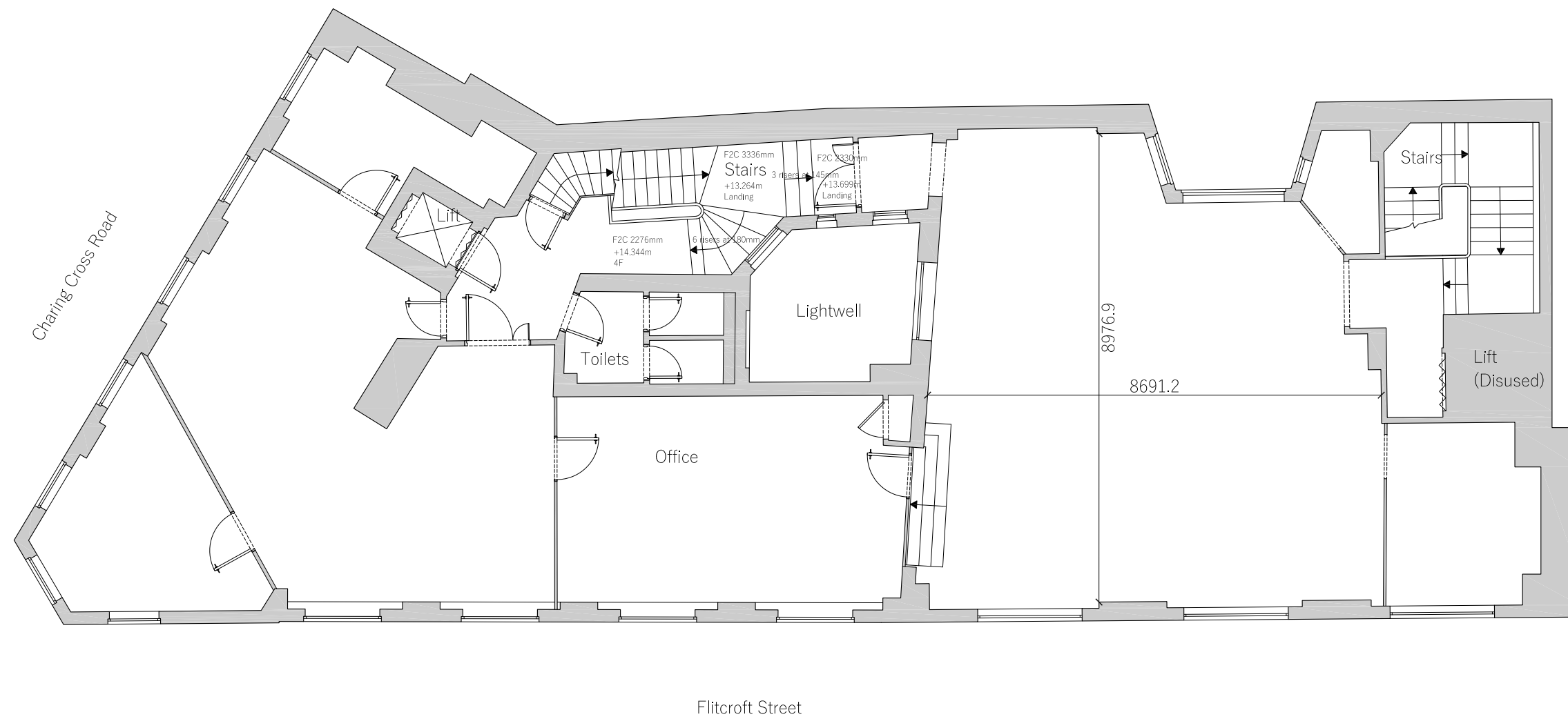
# Existing Plans

## 12.5 Existing Third Floor Plan



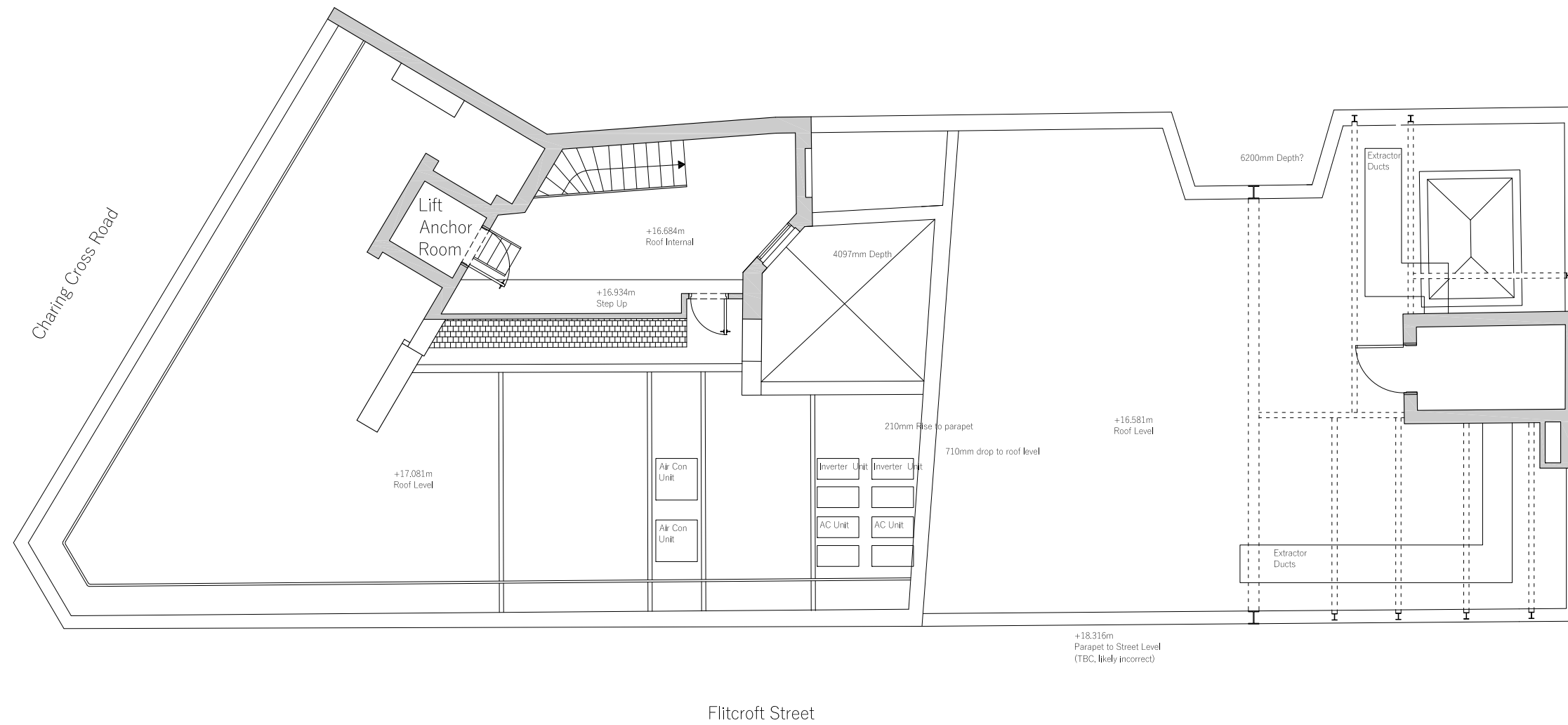
# Existing Plans

## 12.6 Existing Fourth Floor Plan



Existing Plans

12.7 Existing Roof Plan



Existing Plans

12.8 Existing Charing Cross Road Elevation



Existing Plans

12.9 Existing Flitcroft Street Elevation



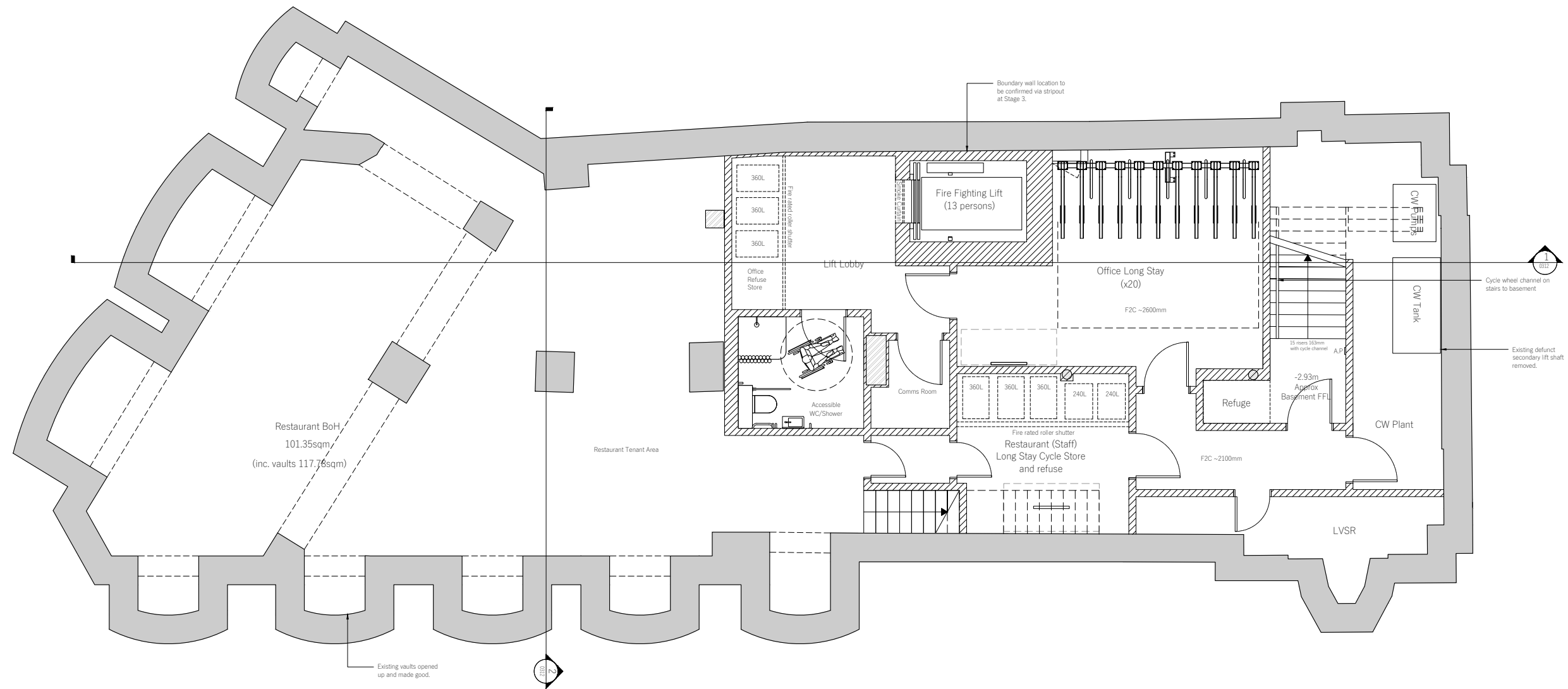
## 013 Proposed Plans

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See drawing packages for full sets of existing and proposed drawings.

# Proposed Plans

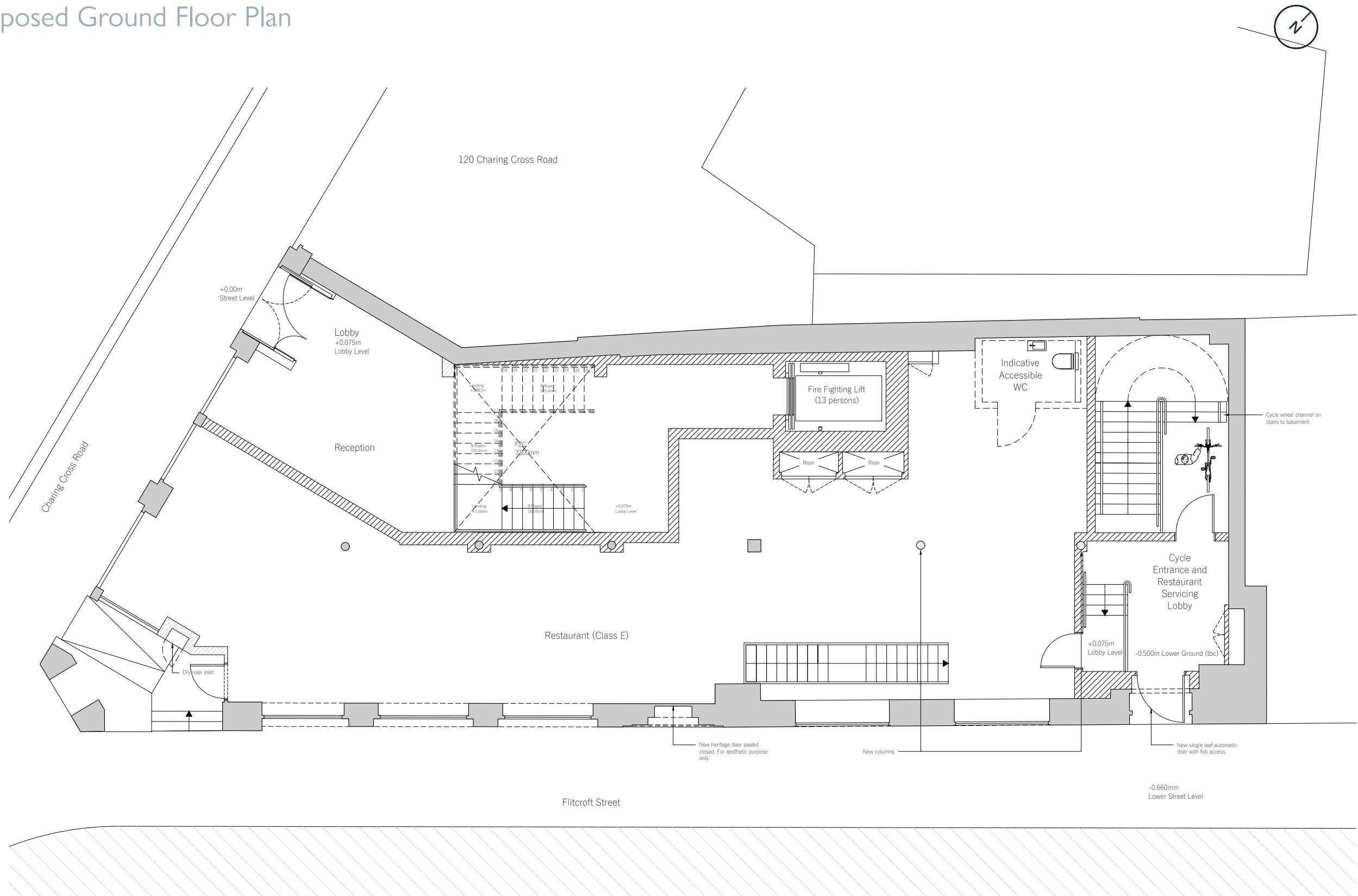
## 13.1 Proposed Basement Plan





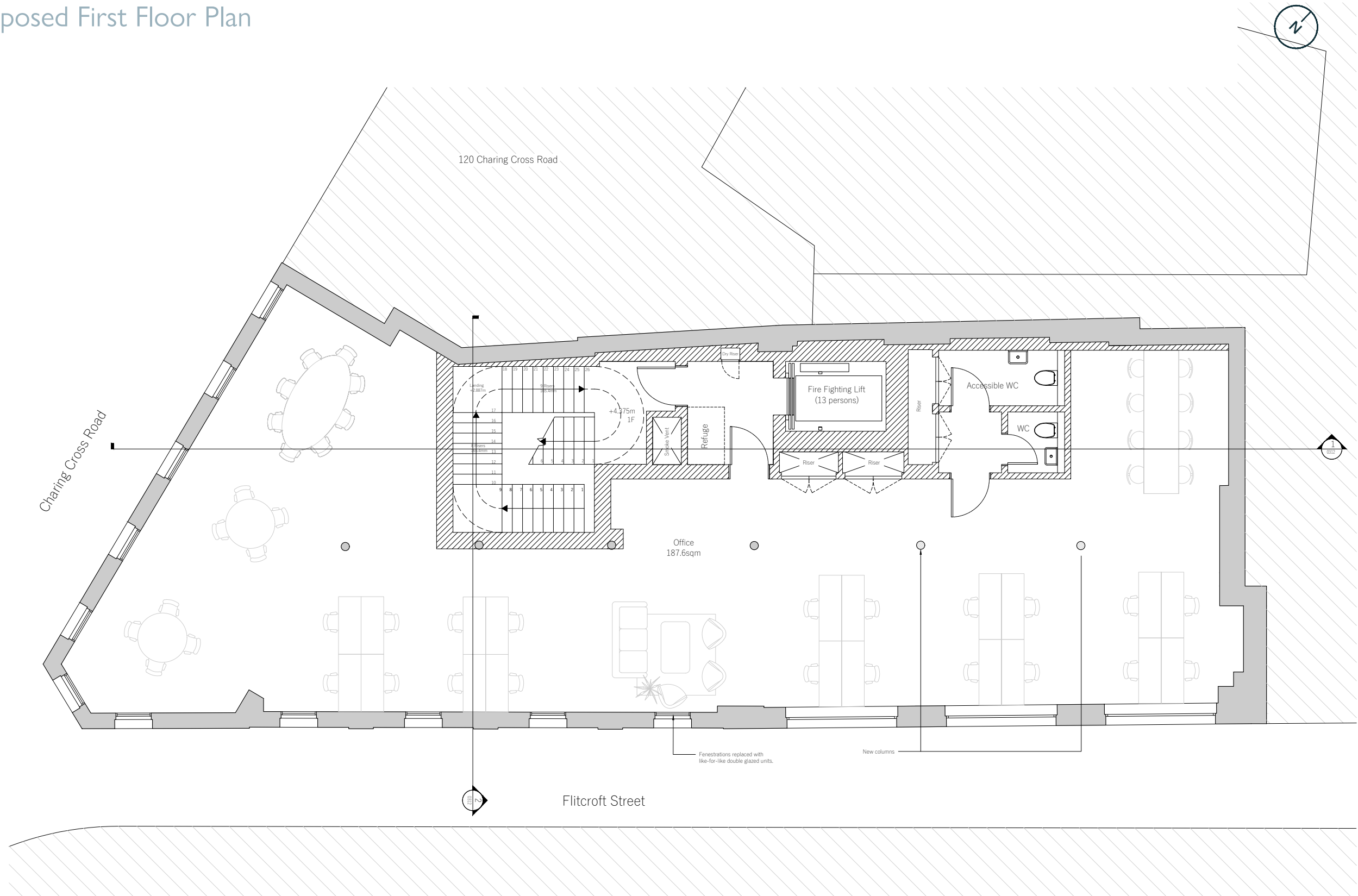
# Proposed Plans

## 13.2 Proposed Ground Floor Plan



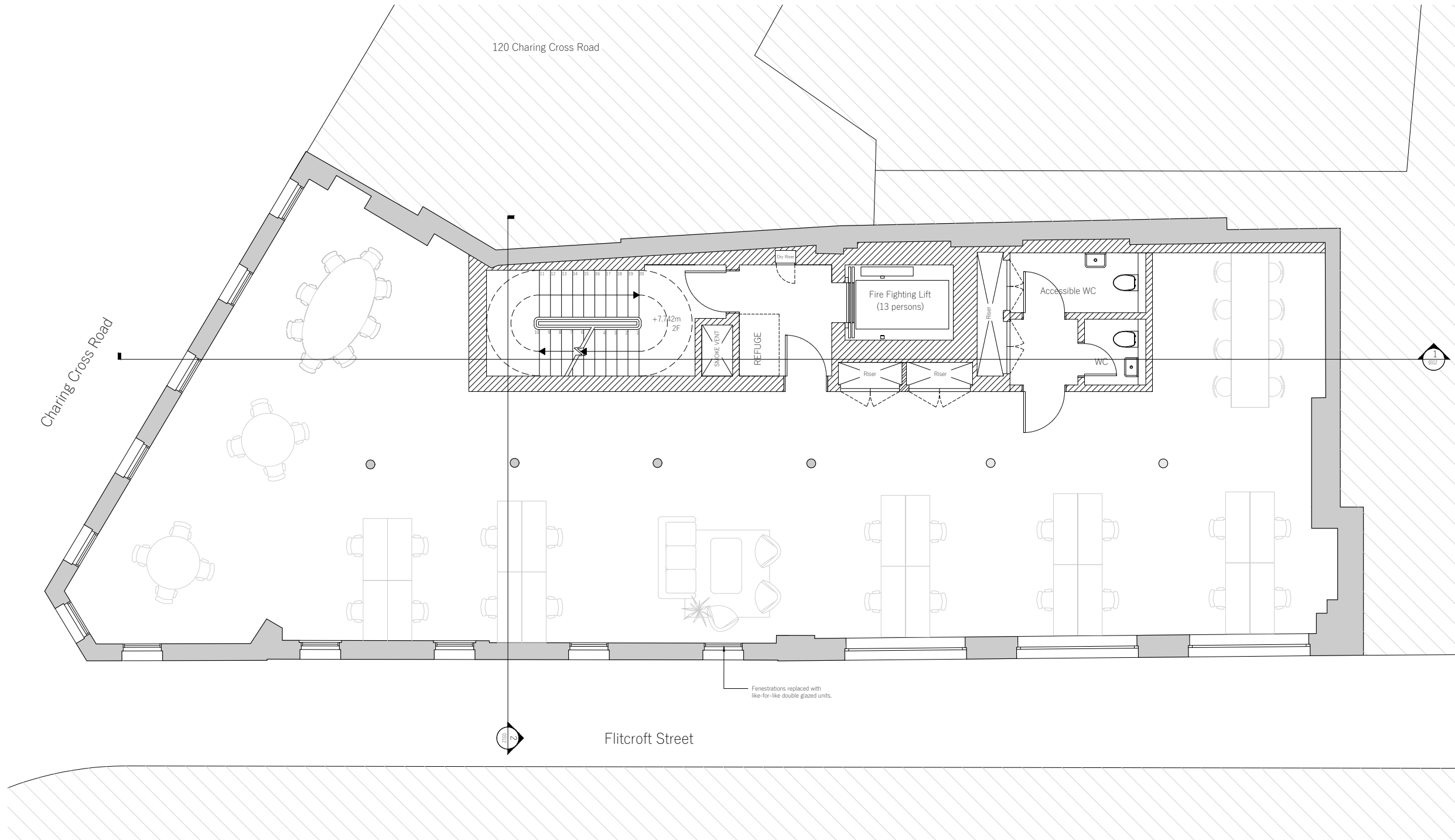
Proposed Plans

13.3 Proposed First Floor Plan



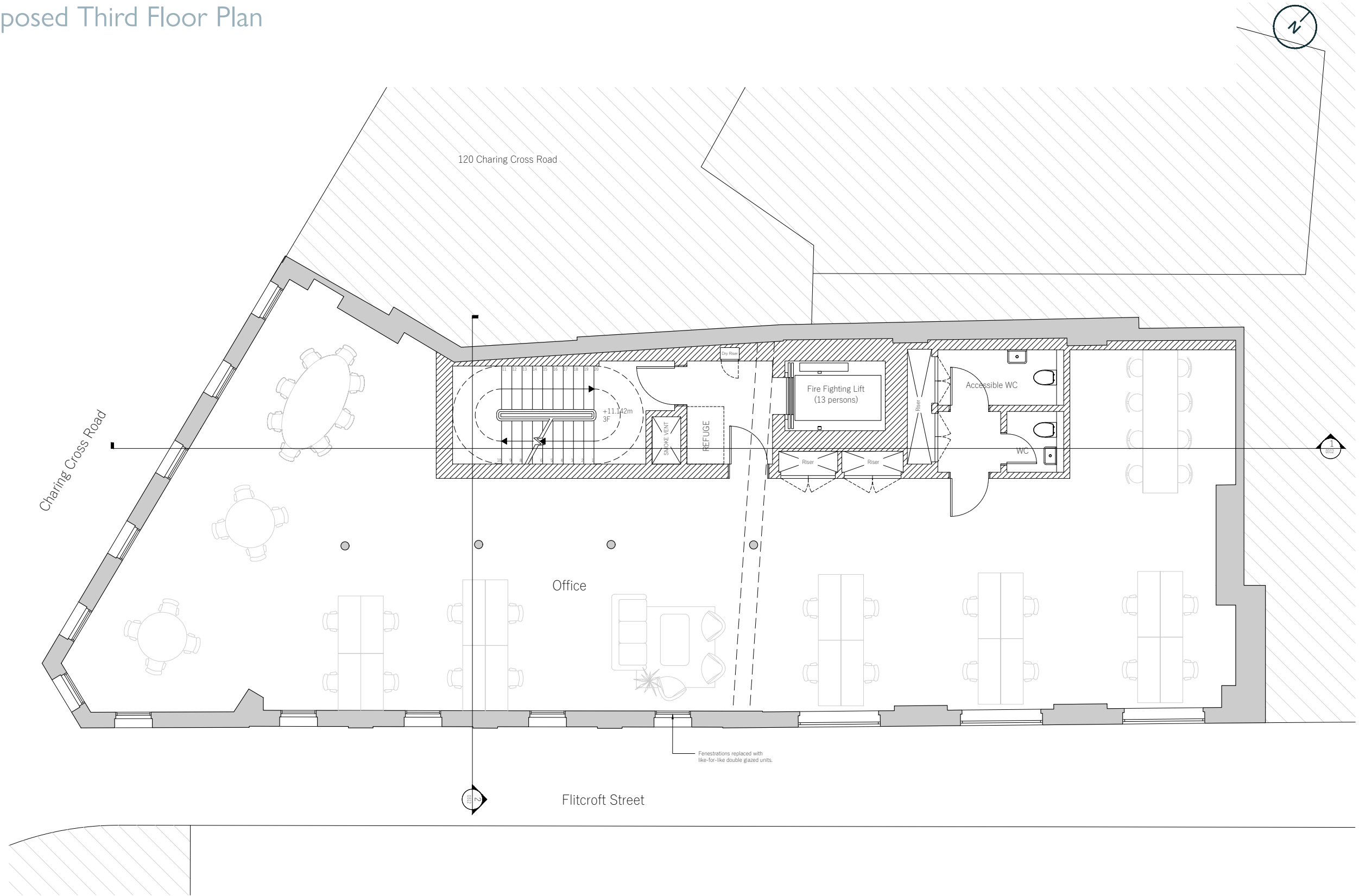
Proposed Plans

13.4 Proposed Second Floor Plan



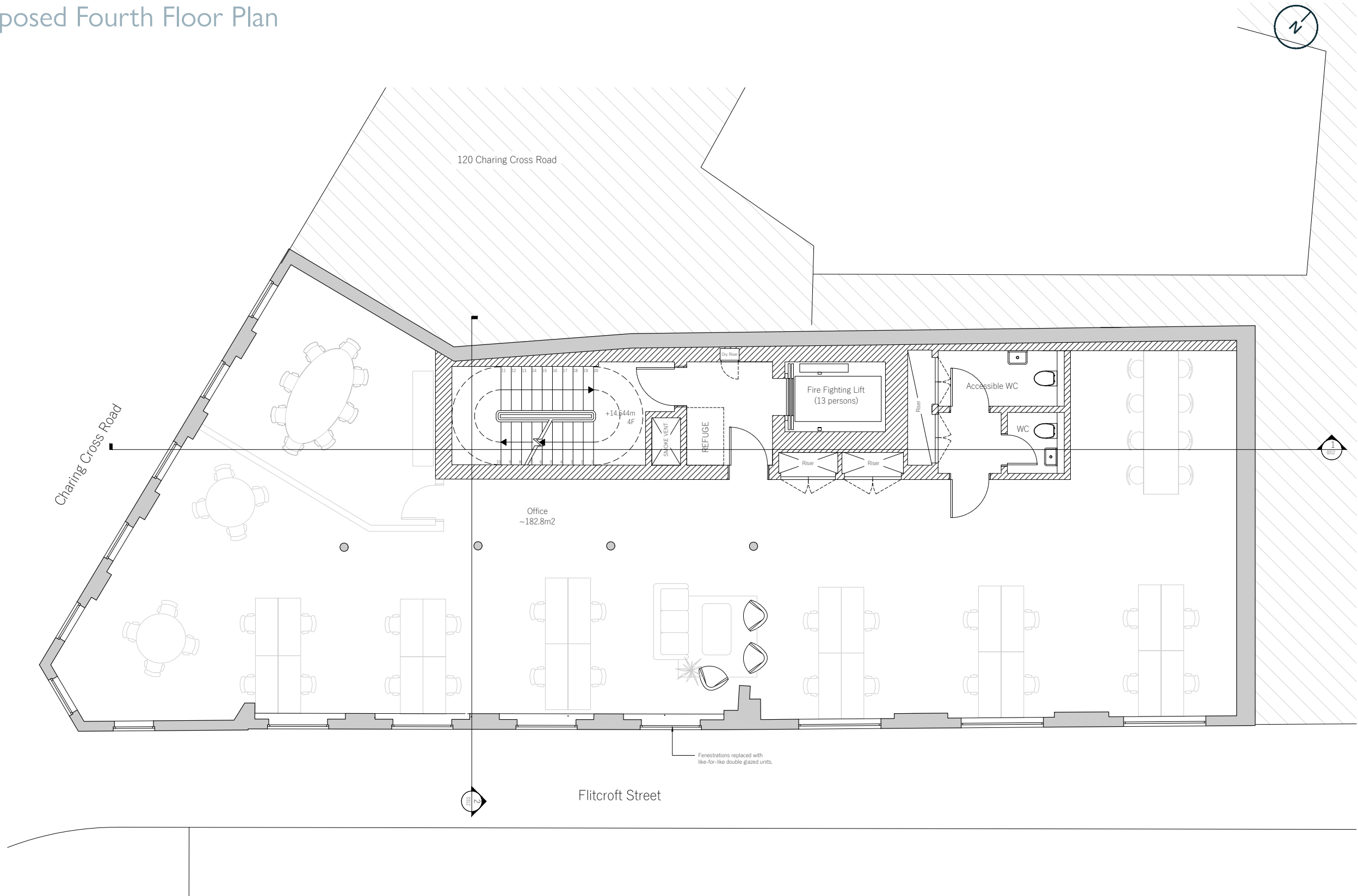
Proposed Plans

13.5 Proposed Third Floor Plan



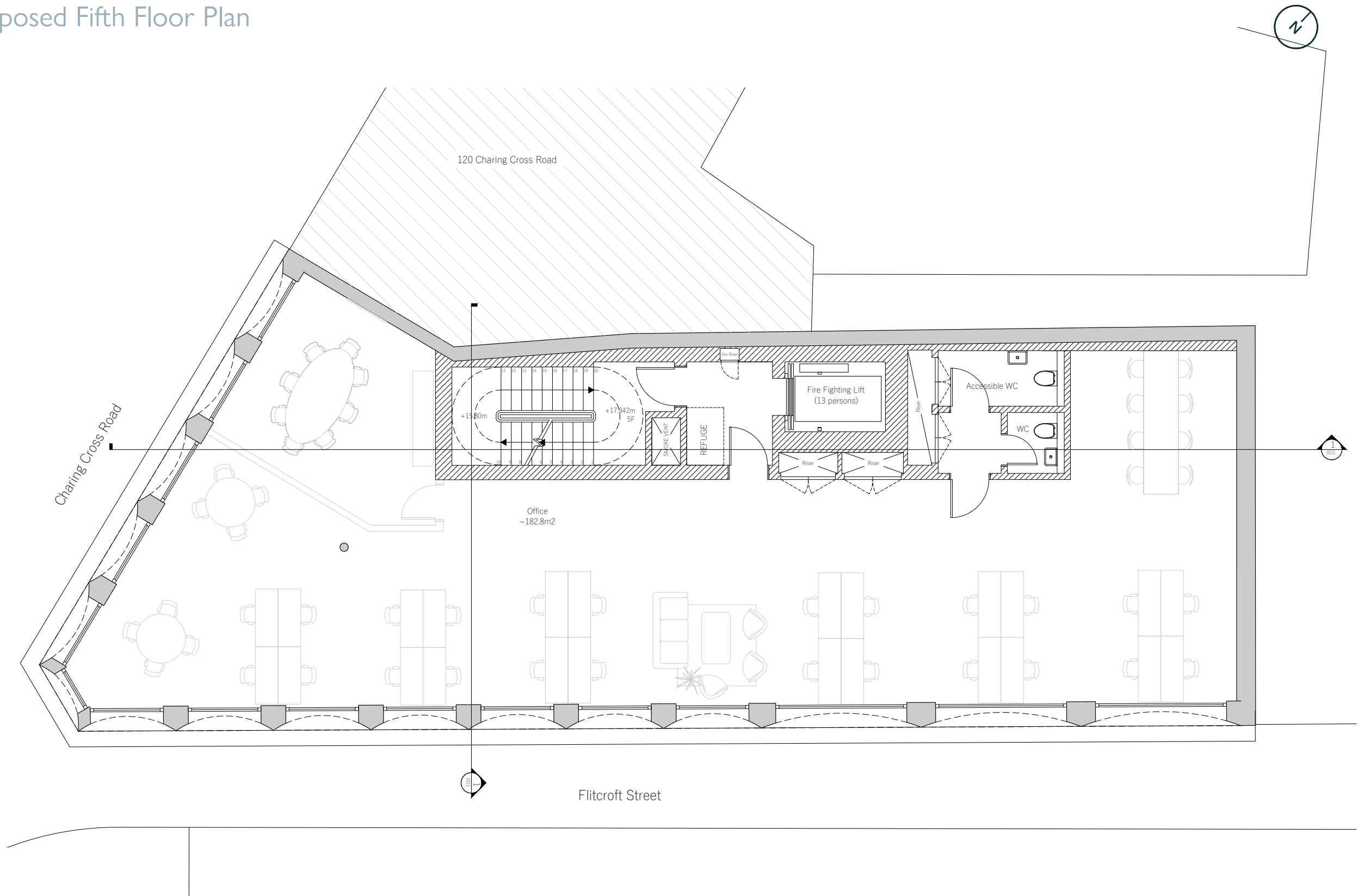
Proposed Plans

13.6 Proposed Fourth Floor Plan



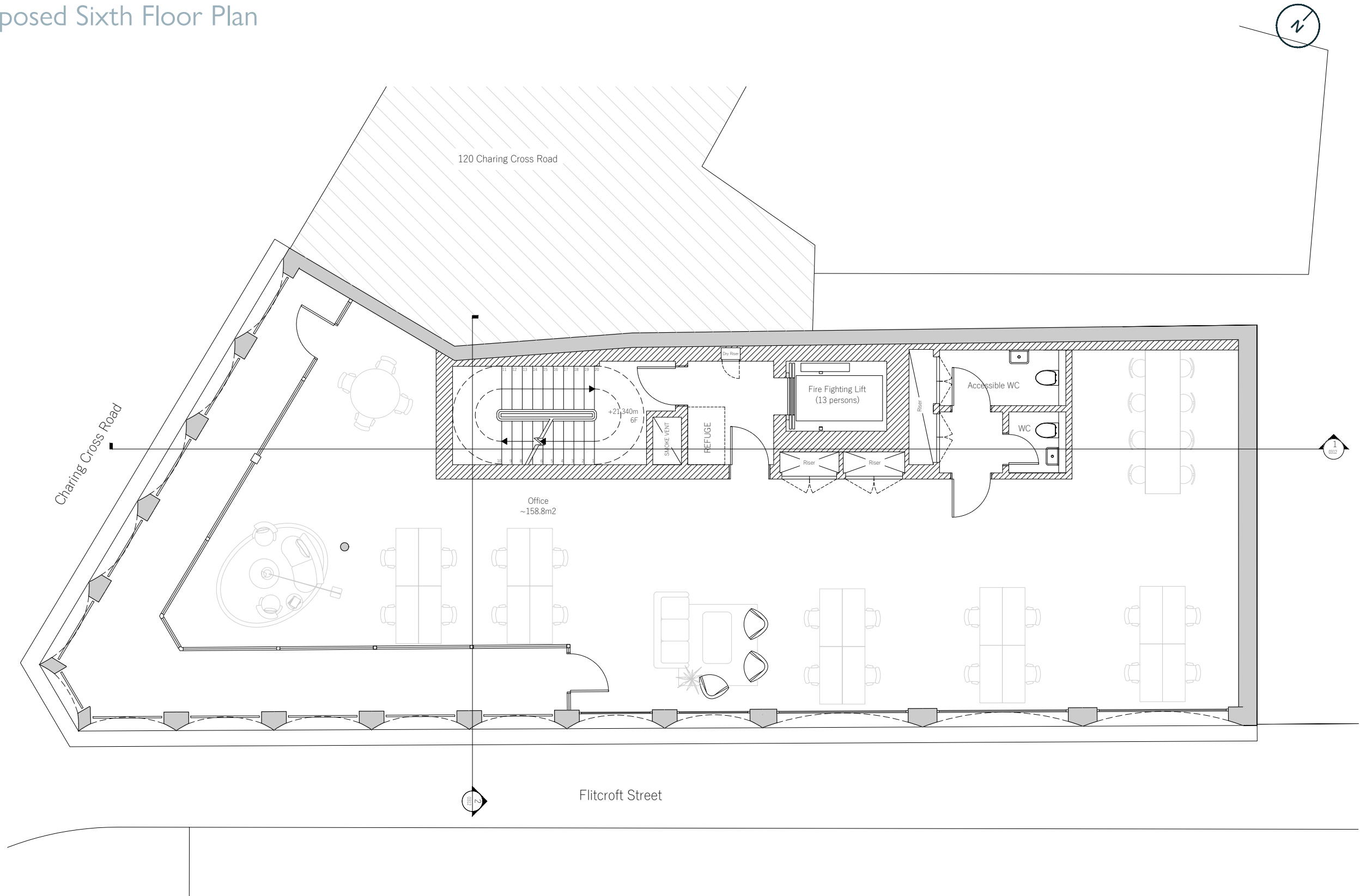
Proposed Plans

13.7 Proposed Fifth Floor Plan



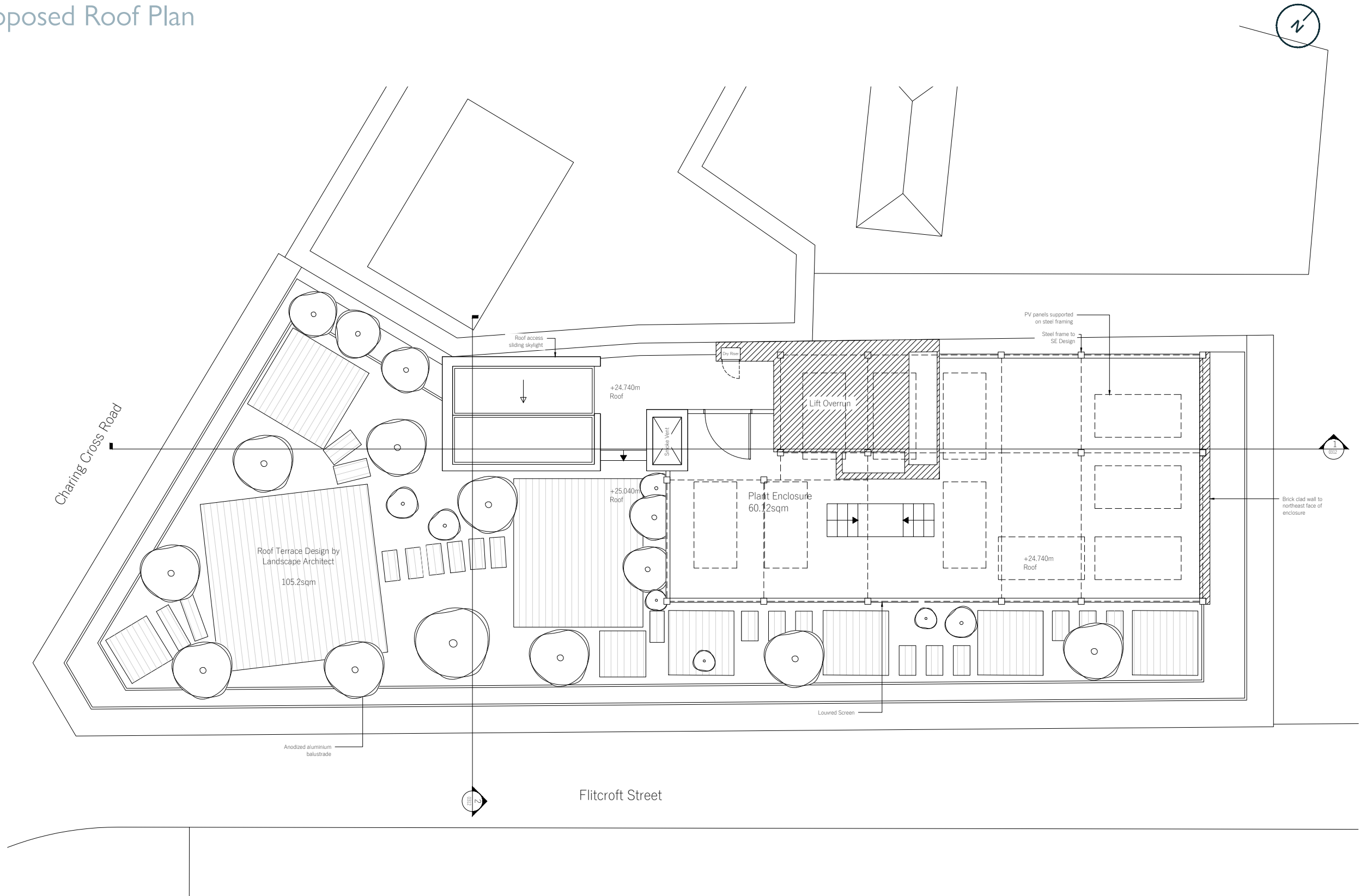
Proposed Plans

13.8 Proposed Sixth Floor Plan



Proposed Plans

13.9 Proposed Roof Plan





# Proposed Plans

## 13.10 Proposed Charing Cross Road Elevation



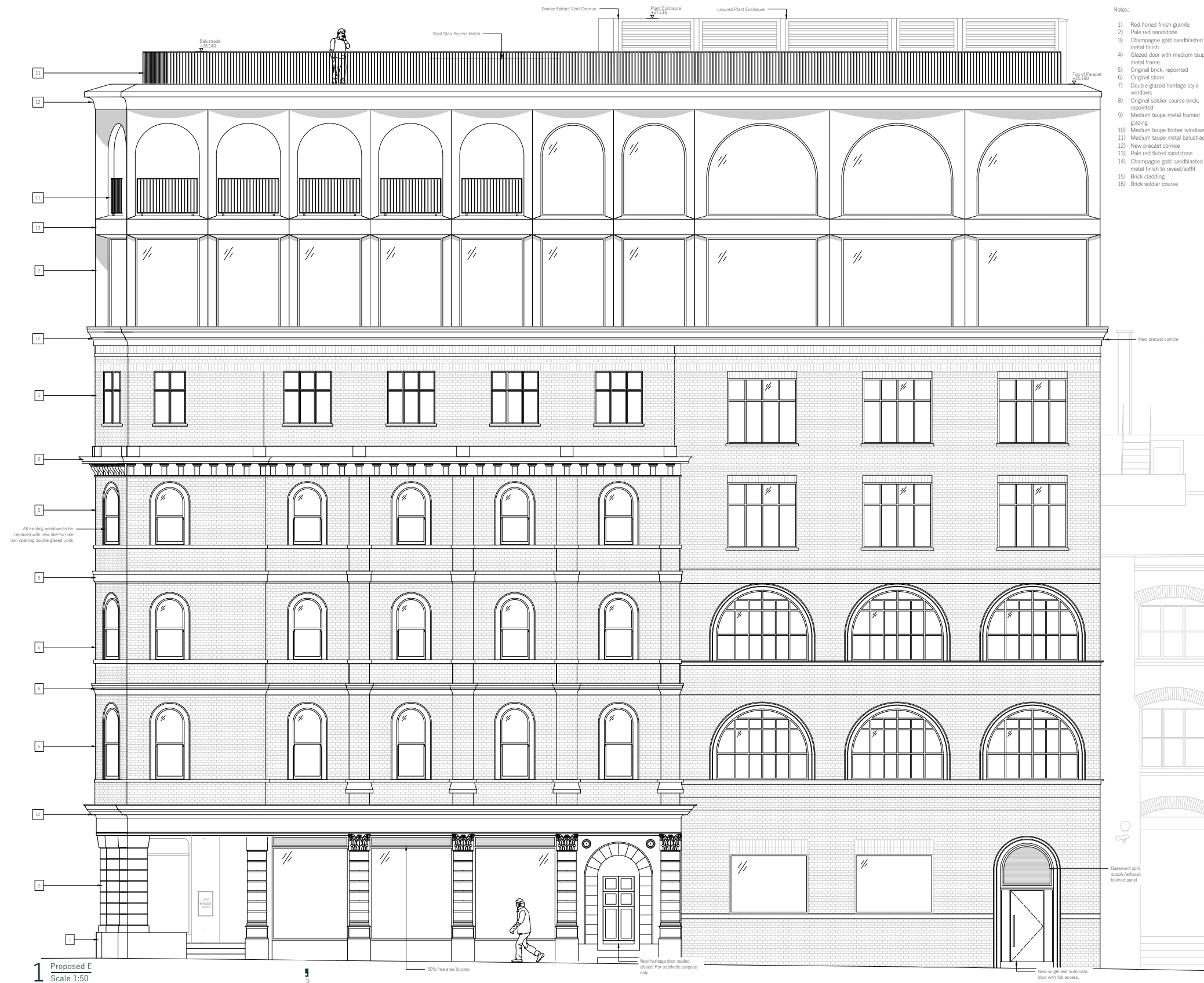
Notes:

- 1) Red honed finish granite
- 2) Pale red sandstone
- 3) Champagne gold sandblasted metal finish
- 4) Glazed door with medium taupe metal frame
- 5) Original brick, repointed
- 6) Original stone
- 7) Double glazed heritage style windows
- 8) Original soldier course brick, repointed
- 9) Medium taupe metal framed glazing
- 10) Medium taupe timber windows
- 11) Medium taupe metal balustrade
- 12) New precast cornice
- 13) Pale red fluted sandstone
- 14) Champagne gold sandblasted metal finish to reveal/soffit
- 15) Brick cladding
- 16) Brick soldier course

1 Proposed Elevation A  
Scale 1:50

# Proposed Plans

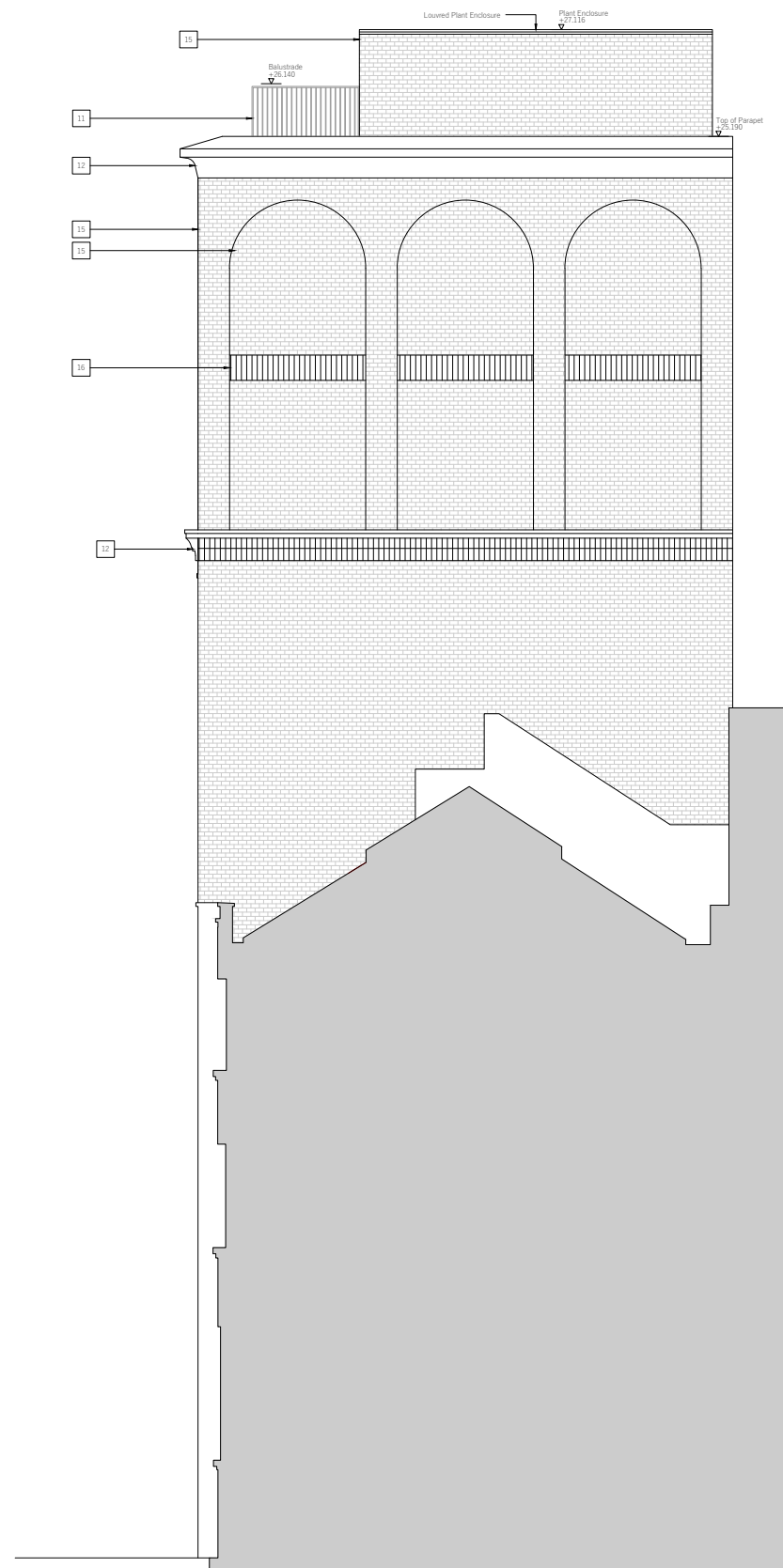
## 13.11 Proposed Flitcroft Street Elevation



- Notes:
- 1) Red honed finish granite
  - 2) Pale red sandstone
  - 3) Champagne gold sandblasted metal finish
  - 4) Glazed door with medium taupe metal frame
  - 5) Original brick, repointed
  - 6) Original stone
  - 7) Double glazed heritage style windows
  - 8) Original soldier course brick, repointed
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  - 15) Brick cladding
  - 16) Brick soldier course

# Proposed Plans

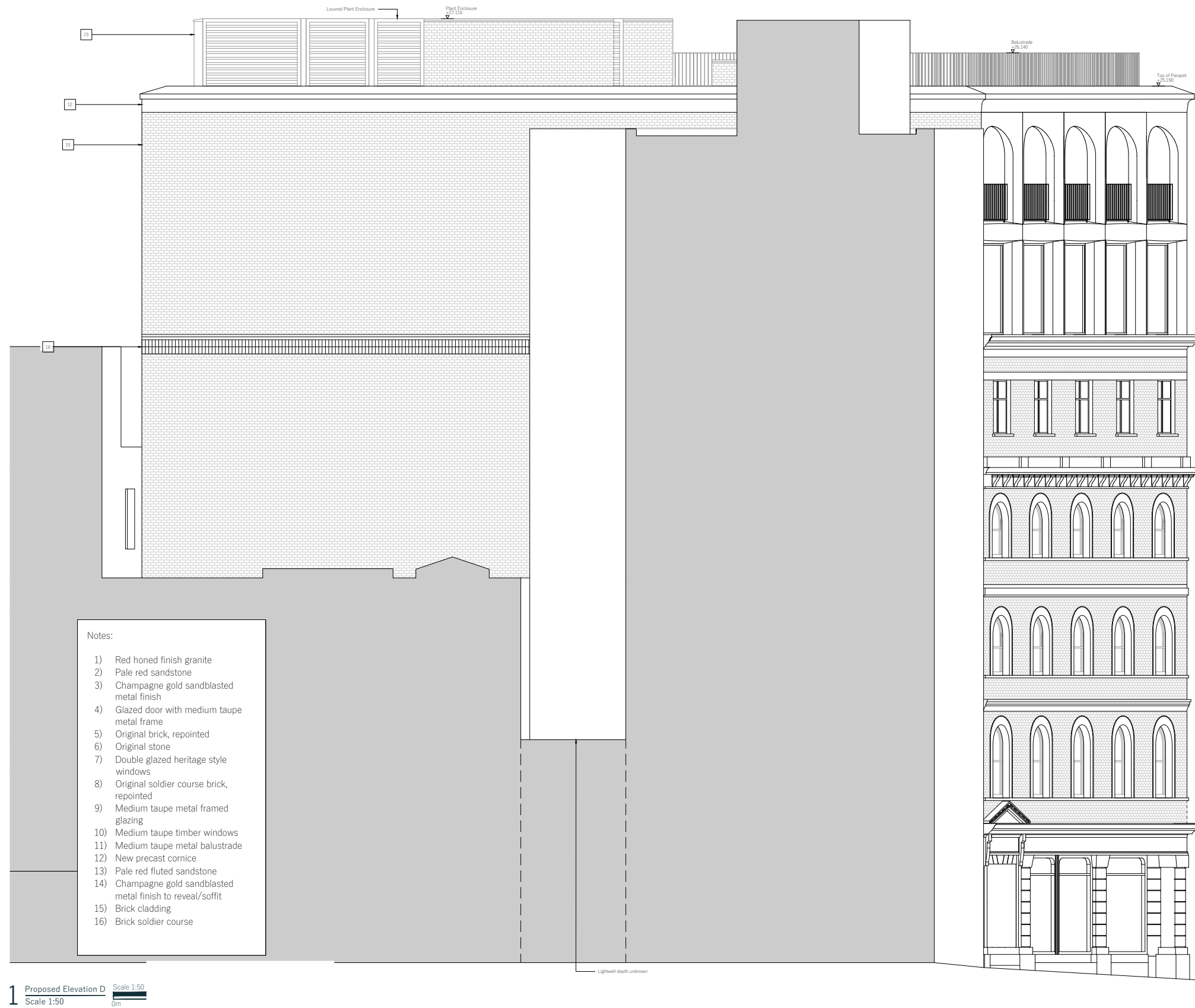
## 13.12 Proposed Flitcroft Street Elevation

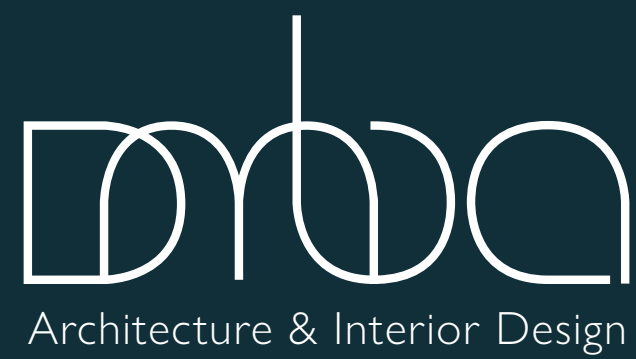


1 Proposed Elevation C  
Scale 1:50

# Proposed Plans

## 13.13 Proposed Flitcroft Street Elevation





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