

20 ETON VILLAS
DESIGN & ACCESS STATEMENT

REV B - 10.08.2022

HESSELBRAND

DESIGN & ACCESS STATEMENT

This application relates to the proposed enlargement of both the front and rear existing dormer windows, new rooflights and the renovation of the roof and garden at 20 Eton Villas.

Existing

20 Eton Villas is one half of a semi detached villa built c.1849. The property is grade II listed and is situated within the Eton Conservation area.

The significance of the listing is due to its principal street facing elevation which retains its original architectural features and character.

Proposed

The proposal will include the following along with their associated works:

- a. The widening of the existing front and rear dormers to match the size of neighbouring property No.19 along with new window casements.
- b. New rooflight in the side of the roof elevation.
- c. Garden works including enlarging the patios and renovating and adding to the existing timber trellises.
- d. New arched window in the side facade.

The proposal also makes reference to a current pending planning application for alterations to the property. For details regarding all proposed works that aren't outlined above or elsewhere in this document, please refer to this current pending application.

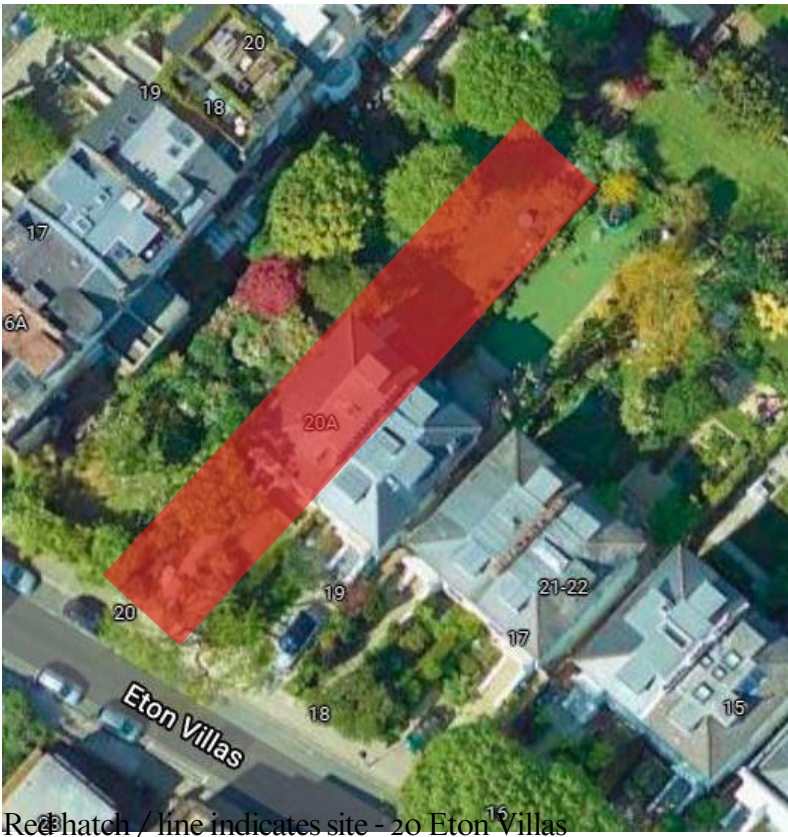
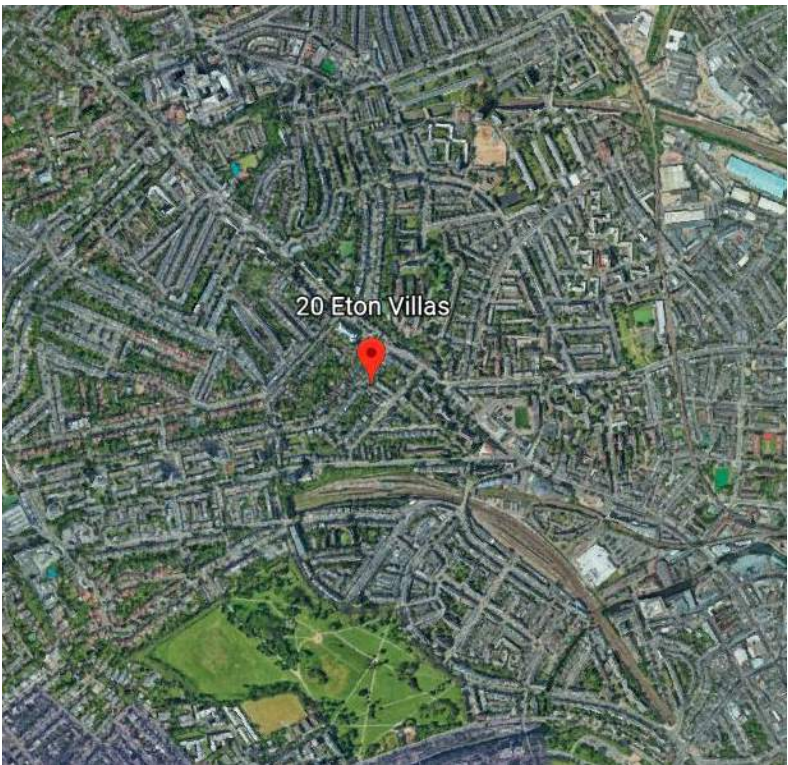
Access

The proposal would maintain the existing access from the front of the property. An internal staircase would be installed to allow access internally to the lower ground floor.

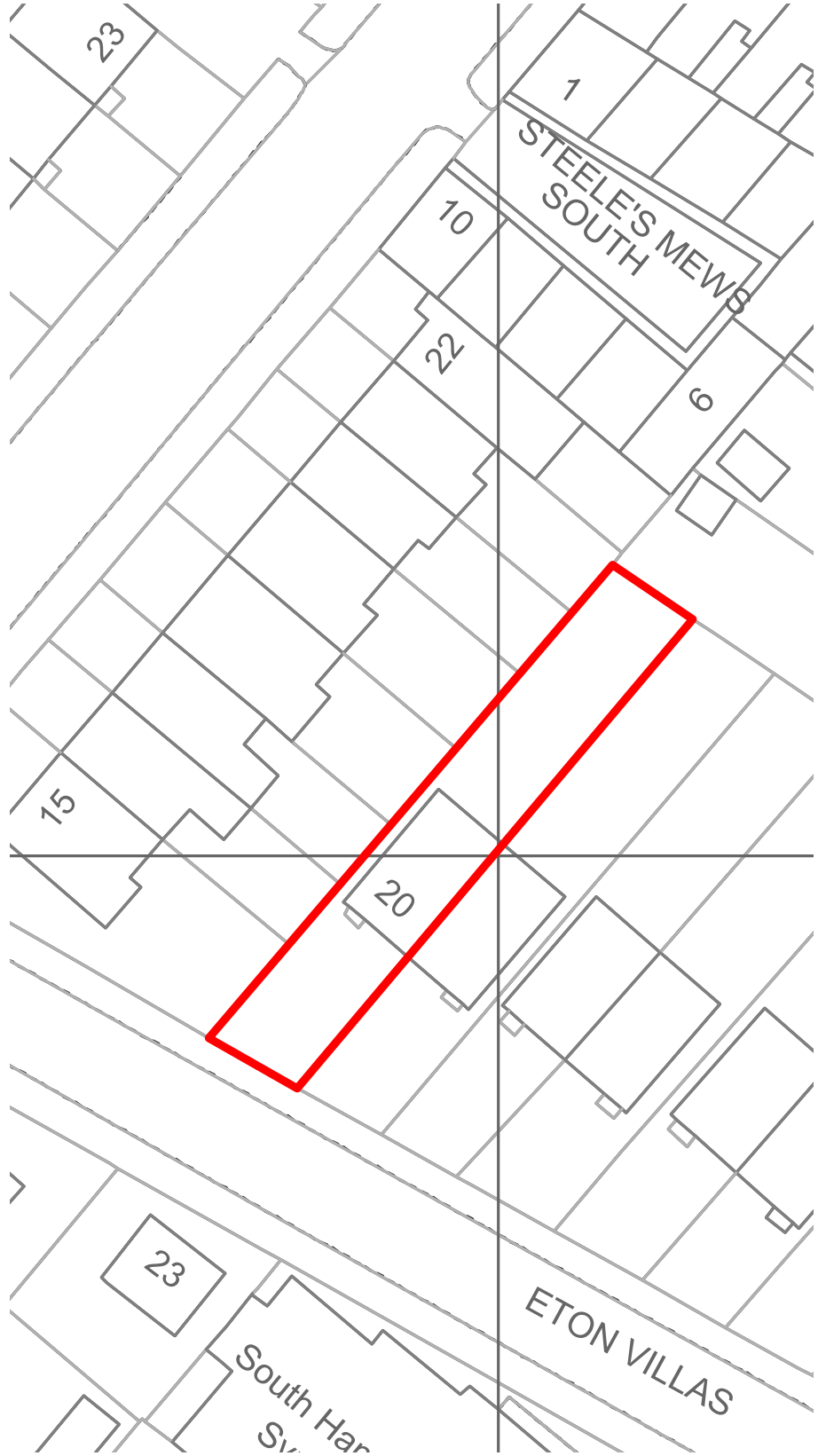
SITE LOCATION

The site - 20 Eton Villas is within the London Borough of Camden, Chalk Farm. It is situated between both Primrose Hill and Hampstead Heath.

The property is on the northern side of Eton Villas forming part of the Grade II listed terrace dwellings and is located within the Eton Conservation Area.



Red hatch / line indicates site - 20 Eton Villas

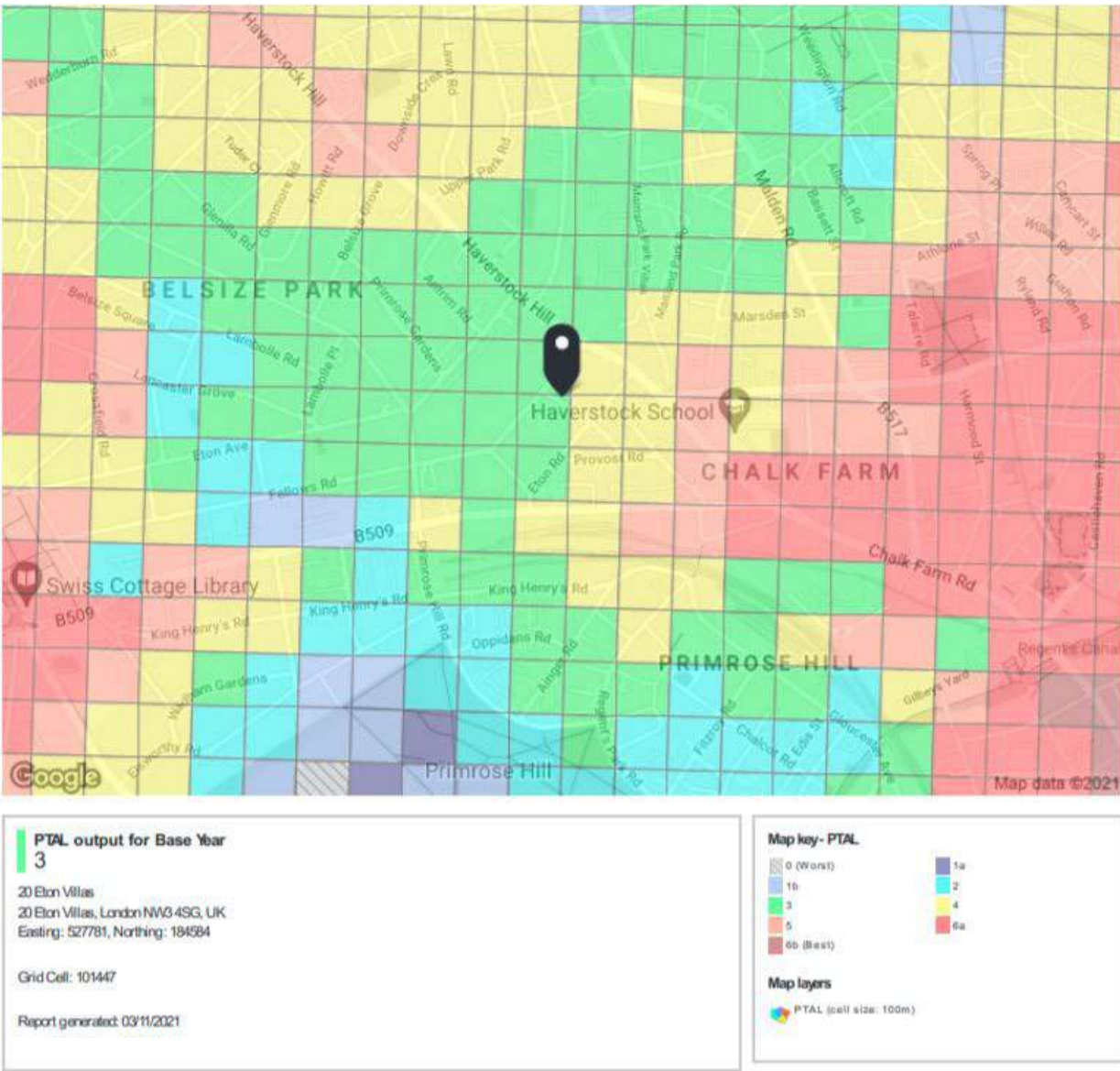


SITE TRANSPORT AND FLOODING

The Environment Agency searches have confirmed that there is no risk of sea, river or surface water flooding at the properties address and it is located in Flood zone 01

Transport links - the nearest station is Chalk Farm, located 0.5km (5 min walk) from the property. There are also numerous bus links to central London and neighbouring districts.

The address has a PTAL score of 3, which is considered good.



SITE PHOTOS



Existing front facade



Existing rear garden

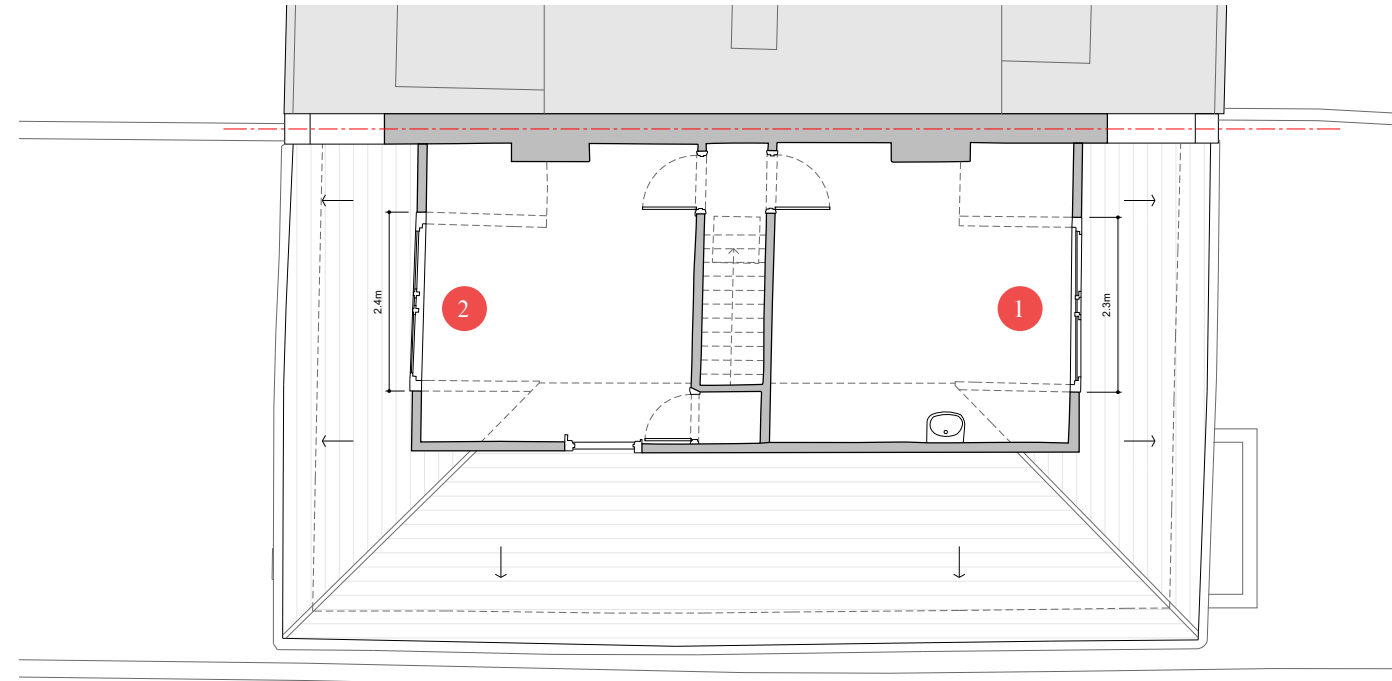


Existing rear facade

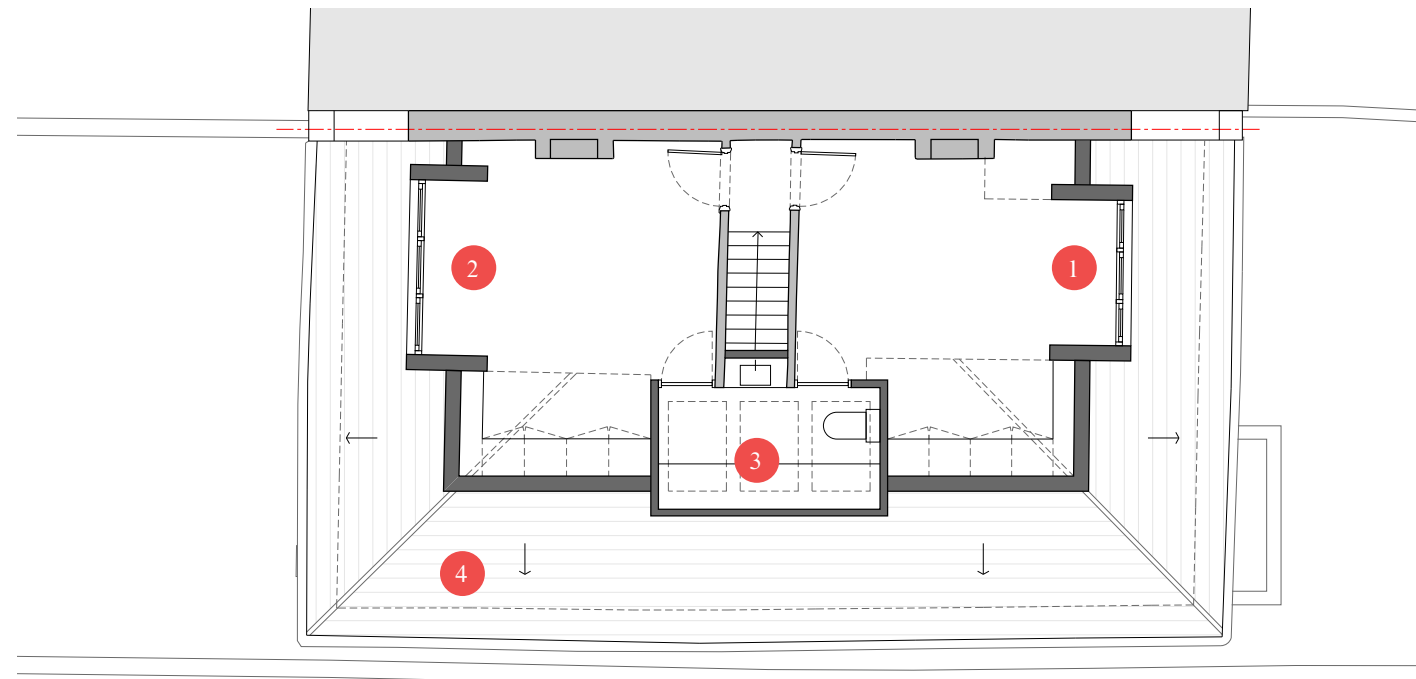
PROPOSED INTERNAL WORKS

Below is a list of the proposed internal works to the existing second floor plan. All works are to be in keeping with the existing aesthetic of the property to help enhance its original features:

1. Existing dormer to the front elevation to be widened and brought forward to match and be in line with neighbouring property No.19. The enlarged dormer is to be clad in lead with new painted timber casement windows.
2. Existing dormer to the rear elevation to be widened and brought forward to match and be in line with neighbouring property No.19. The enlarged dormer is to be clad in lead with new painted timber casement windows.
3. New rooflight to the side elevation.
4. Roof to be fully renovated to match existing with all tiles to be replaced with Welsh slates to match existing.



Existing second floor



Proposed second floor

FRONT EXTERNAL WORKS

Below is a list of the proposed works to the existing front elevation. All works are to be in keeping with the existing aesthetic of the property to help enhance its original features.

- 1. Existing dormer to the front elevation to be widened and brought forward to match and be in line with neighbouring property No.19. The enlarged dormer is to be clad in lead with new painted timber casement windows to be in keeping with surrounding context
- 2. Existing neighbouring front dormer to No.19 Eton Villas



Proposed front elevation

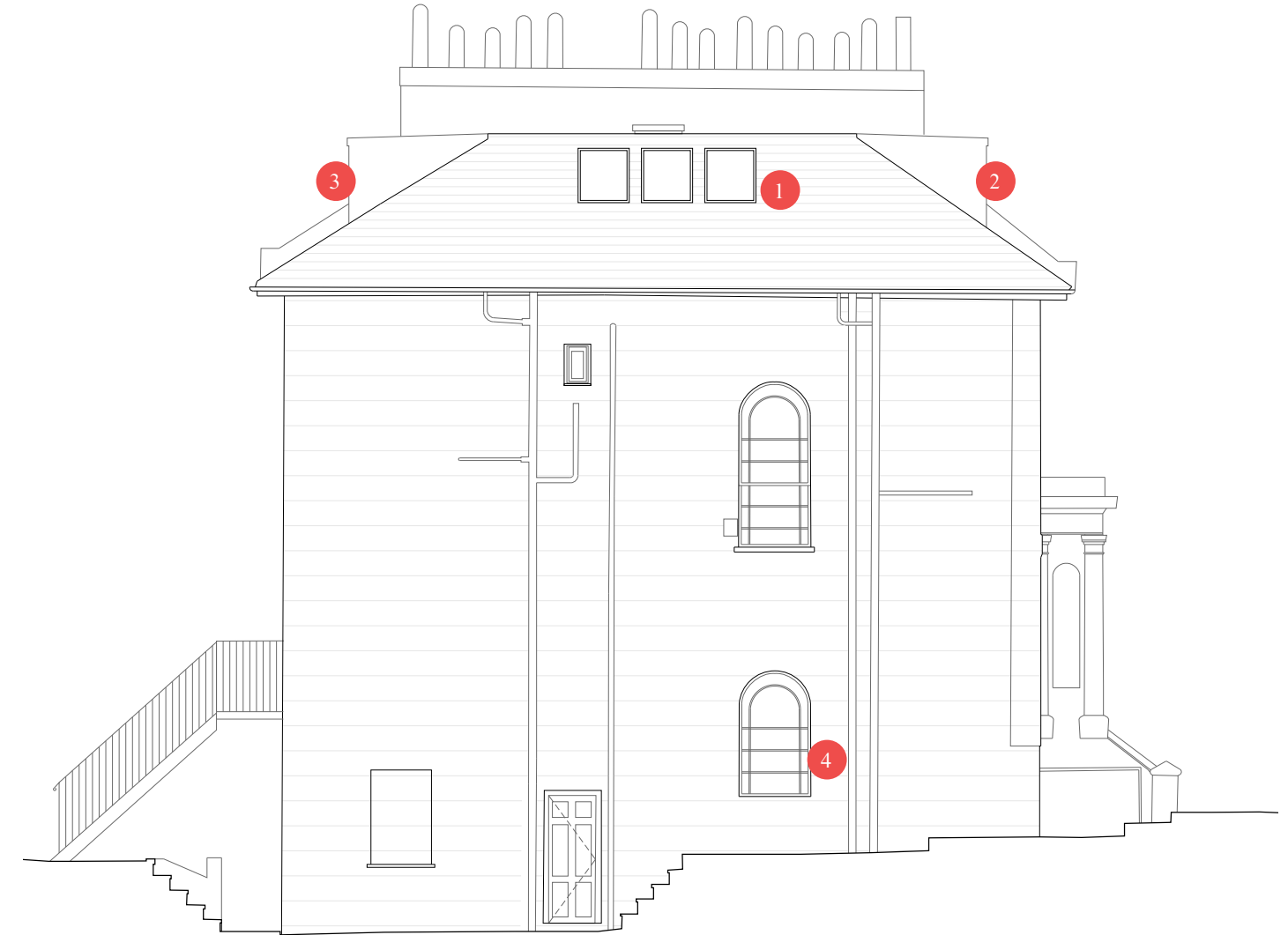


Existing front elevation

SIDE EXTERNAL WORKS

Below is a list of the proposed works to the existing side elevation. All works are to be in keeping with the existing aesthetic of the property to help enhance its original features as well as improve the quality.

1. New rooflights to side of roof.
2. Proposed enlarged dormer to front facade.
3. Proposed enlarged dormer to rear facade.
4. New single glazed timber framed sash window to be added to the side facade. The window shall match the style of the existing arched window above this, on the same side facade. The new arched window shall be in similar position to the original arched window in side facade, an example of this can be seen at No. 13 Eton Villas.



Proposed side elevation

REAR EXTERNAL WORKS

Below is a list of the proposed works to the existing front elevation. All works are to be in keeping with the existing aesthetic of the property to help enhance its original features.

- 1. Existing dormer to the rear elevation to be widened and brought forward to match and be in line with neighbouring property No.19. The enlarged dormer is to be clad in lead with new painted timber casement windows to be in keeping with surrounding context
- 2. Existing neighbouring rear dormer to No.19 Eton Villas



Proposed rear elevation



Existing rear elevation

GARDEN

The changes outlined below relate to the pending planning application at 20 Eton Villas. Please also refer to the updated existing and proposed drawings for further information.

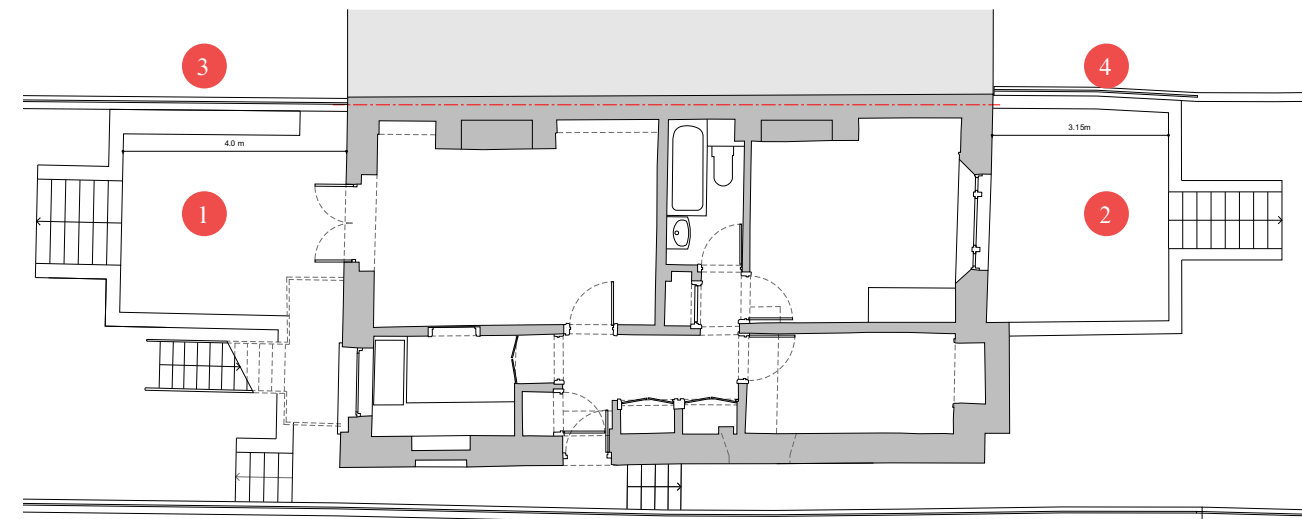
1. Existing front lightwell to be enlarged with the retaining wall to be brought forward. New steps shall be added to connect the patio to the front garden. The materials are to match the existing stone paving and brick and stucco walls.
2. Existing patio area to be enlarged with retaining wall to be moved into the garden. New steps are to be added to connect the larger patio area to the rear garden. The materials are to match the existing stone paving and brick walls.
3. Existing timber trellis to be added to the wall between No. 20 and No. 19 Eton Villas similar to the existing trellis on walls surrounding the rear garden.
4. Timber trellis to be replaced and raised to match the height of the existing hedge.
5. Existing brick piers on the street facing garden wall are to be reduced in height slightly. The overall appearance and materials of the piers is to remain as existing.
6. Existing brick pier on the street facing garden wall to be removed and be replaced by a low hedge.



Timber trellis to be added to top of existing brick garden wall.



Existing garden wall with timber trellis is to be renovated.



Proposed lower ground floor



Proposed street elevation

DETAILS

Dormers

The dormers are to be clad in lead to match the neighbouring property at No.19 Eton Villas.



Reference of lead clad dormer



Lead clad dormer at No.19 Eton Villas

SUMMARY

In summary, the entirety of the works proposed in this document enhance and preserve the heritage asset of the property. The works would not have any harmful impact on the historic fabric of the grade II listed building and the surrounding context of the conservation area.

The enlargement of both the front and rear dormer would match in scale and proportion with the approved application of the neighbouring property; No.19 Eton Villas.

In conclusion, the works listed would greatly respect the existing character and appearance of the property and have no detrimental impacts on the local context.