



Space House

Non Material Amendment Document

For Seaforth Land

Document History

| Rev | Date | Purpose of Issue | Author | Reviewer |
|-----|----------|------------------------|--------|----------|
| A | 22.07.22 | Non Material Amendment | MPa | CW |

Contents

1.0 Executive summary

2.0 Demolition scope update

3.0 Appendices

1.0 Executive Summary

The document has been prepared to support an application for non-material amendments to planning permission ref: 2022/2170/P and listed building consent ref: 2022/2134/L at Space House ('the site'). This document provides an update to the demolition scope approved at the site under planning permission (ref. 2021/1058/P) as amended by non-material amendment (ref: 2022/0751/P) approved on 5 April 2022, and by non-material amendment (ref. 2022/2170/P) approved on 28 June 2022, and Listed Building Consent (ref: 2022/2134), also approved on 28 June 2022.

This document provides an update to the consented demolition scope to the Section 73 (ref. 2021/1058/P) as amended by non-material amendment (ref: 2022/0751/P) and Section 19 (ref. 2022/0740/L) permissions, approved on 5 April 2022, and by non-material amendment (ref. 2022/2170/P) and Section 19 (ref. 2022/2134/L) permissions, approved on 28 June 2022 at Space House.

This application covers the following non-material amendments to the demolition scope: a) Kingsway loading bay wall and b) the Kingsway stair. This was presented to and discussed with Camden planning and design officers in the monthly Post-application agreement (PAA) meeting held on the 13th July 2022.

Camden planning and design officers indicated during the meeting that the changes were acceptable and could be sought via a non material amendment and Section 19 application.

2.0 Demolition scope update

2.1 Kingsway block loading bay brickwork wall

Fig. 2.1.1 and 2.1.2 reflect the demolition scope consented under the Non Material Amendment (ref. 2022/0751/P) and Section 19 (ref. 2022/0740/L) permissions at Space House.

Upon strip out of the area, the consented lift shaft wall is located closer to the facade than anticipated. In order to construct the consented lift shaft, the existing brickwork facade (GF1.1 on Fig 2.1.3) is required to be demolished to allow for formwork of the concrete lift shaft.

The existing brickwork wall is formed by 2no. layers of brickwork. It is evident (once stripped back) that the inner face of this wall is in poor condition; made of patchwork of brickwork and blockwork and structurally precarious. For this reason, the structural engineer recommends that this wall is rebuilt entirely.

GF1.1 -The proposal is to is to remove this brickwork facade and rebuild it in the same place using the existing brickwork.

The planning officers requested details for the methodology of removal of bricks to the area to ensure that the amount of brickwork to be reinstated could be maximised. The main contractor methodology is highlighted in page 7.

See Fig. 2.1.3 for additional demolition location.

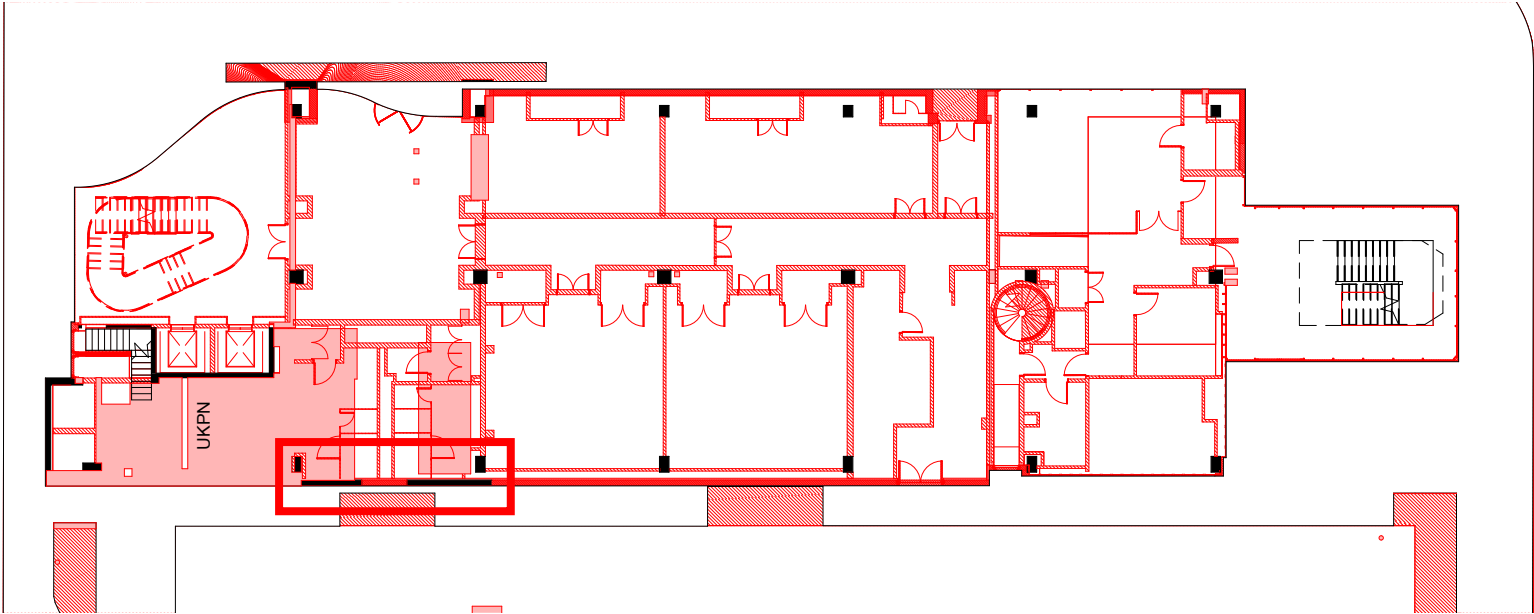


Fig. 2.1.1 Consented Ground Floor Plan - Loading Bay Wall Location

Legend:

Consented demolition

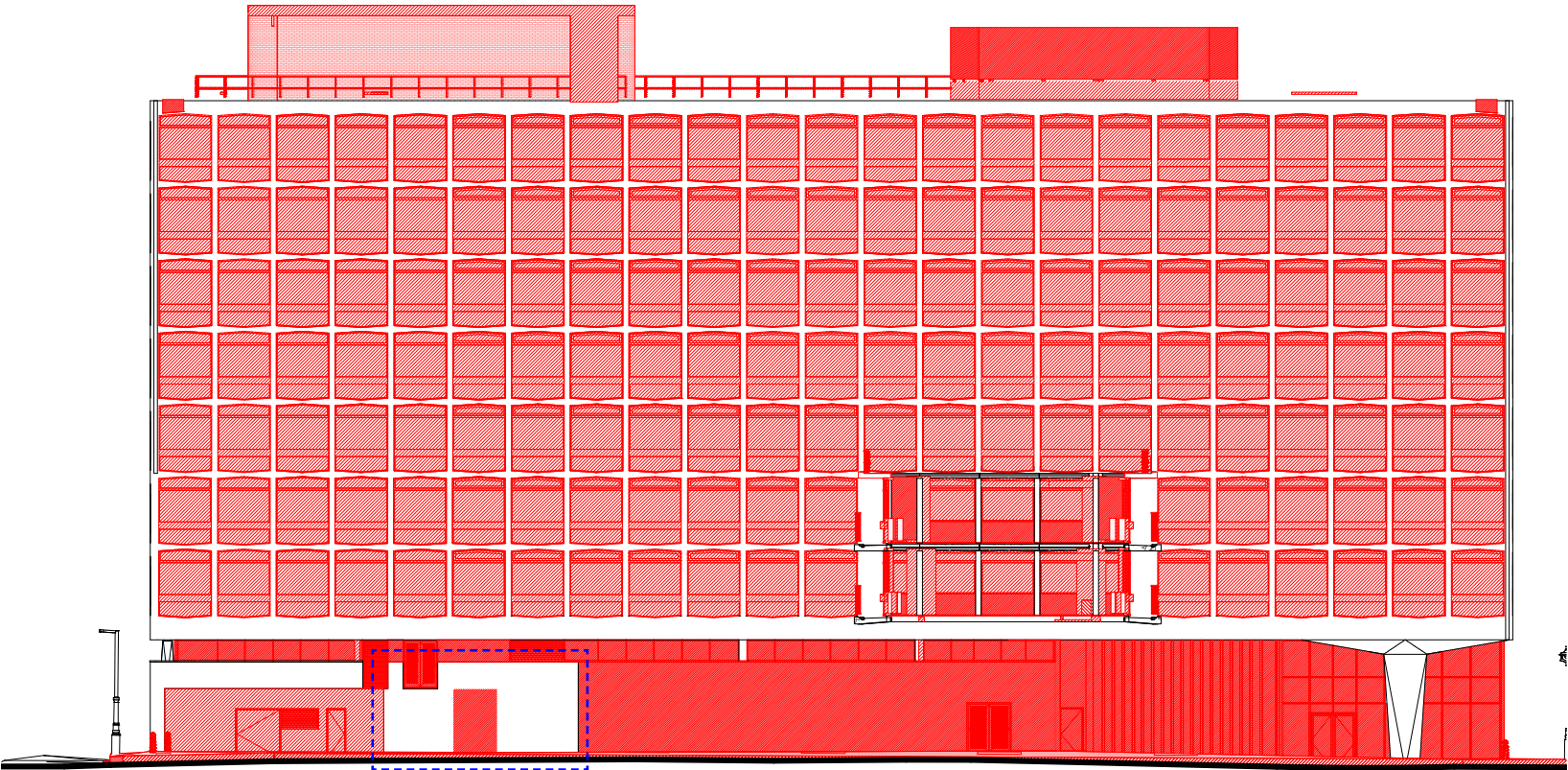


Fig. 2.1.2 Consented West Elevation

Legend:



Consented demolition



Proposed additional demolition

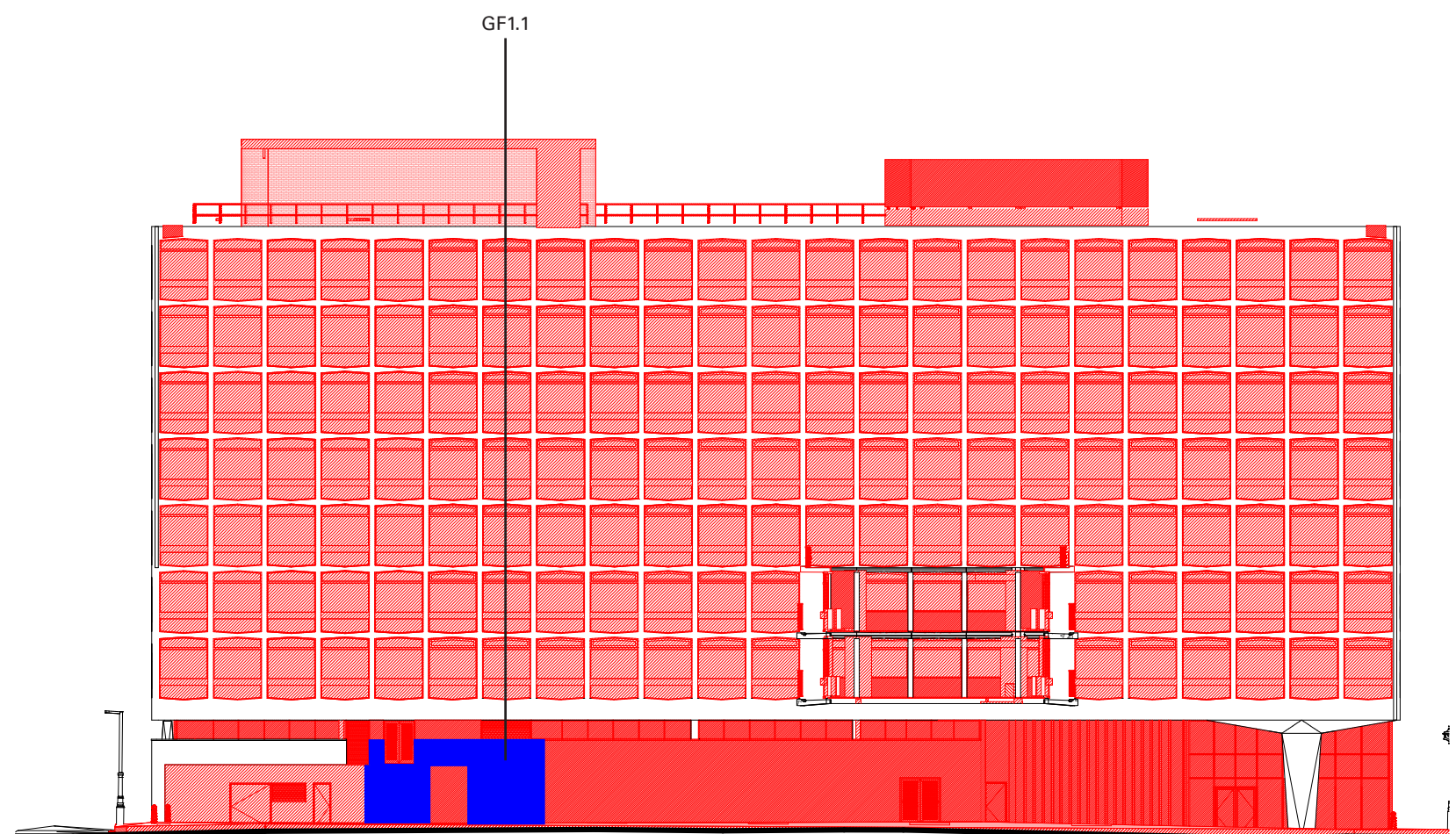


Fig. 2.1.3 Proposed Amendments to Consented Elevation

Removal and Reinstatement of Listed Brick Facework Methodology

Preparation

Prior to removal, the existing wall will be photographed to record condition. The brick gauge, coursing and bed joint measurement will be recorded. The quantity of bricks available and the number needed for rebuilding will be calculated to allow monitoring of the methodology. A sample of the existing brickwork will be taken for matching to allow replacement in the event of a shortfall reclamation. Brick matches will be presented for agreement with the Architect and Camden Planning. A mortar match will be established with the existing brickwork.

Removal

Once preparation is complete, hand removal of existing cavity brickwork will commence utilising external scaffold. The external facework wall and the internal skin will be carefully taken down simultaneously, course by course working from the top down.

Removal will be undertaken using small hand drills together with hammer & bolster to save as many face bricks as possible.

Bricks will be cleaned of old mortar with a hammer and bolster as removal progresses. Cleaned bricks will be stacked neatly on pallets and wrapped in film. Pallets of reclaimed face brickwork will be stored on the ground floor in a designated position where they should not require moving until we are ready to rebuild. Inner skin (non face) bricks will not be retained and will be disposed of.

A check of salvaged brick quantity will be undertaken against the requirements for rebuild to confirm any replacement quantity.

Rebuilding

The brickwork will be rebuilt to approved details utilising the record photographs recorded before removal. All work will be undertaken by trained competent bricklayers.

Face brickwork will be drawn and mixed from the pallets of existing bricks. Where any new replacement bricks are to be required these will be mixed with the existing before laying to avoid patch appearance.

A new internal skin will be constructed following the project specifications. Both skins will be constructed in parallel to ensure stability and consistency of tying.

Record photographs will be taken to document the works and record the history of the building. Upon completion the wall will be offered for final sign off by Architect and Camden Planning.



Fig. 2.1.4 Existing Wall External View



Fig. 2.1.5 Existing Wall External View - Proposed additional demolition



Fig. 2.1.6 Existing Wall Internal View

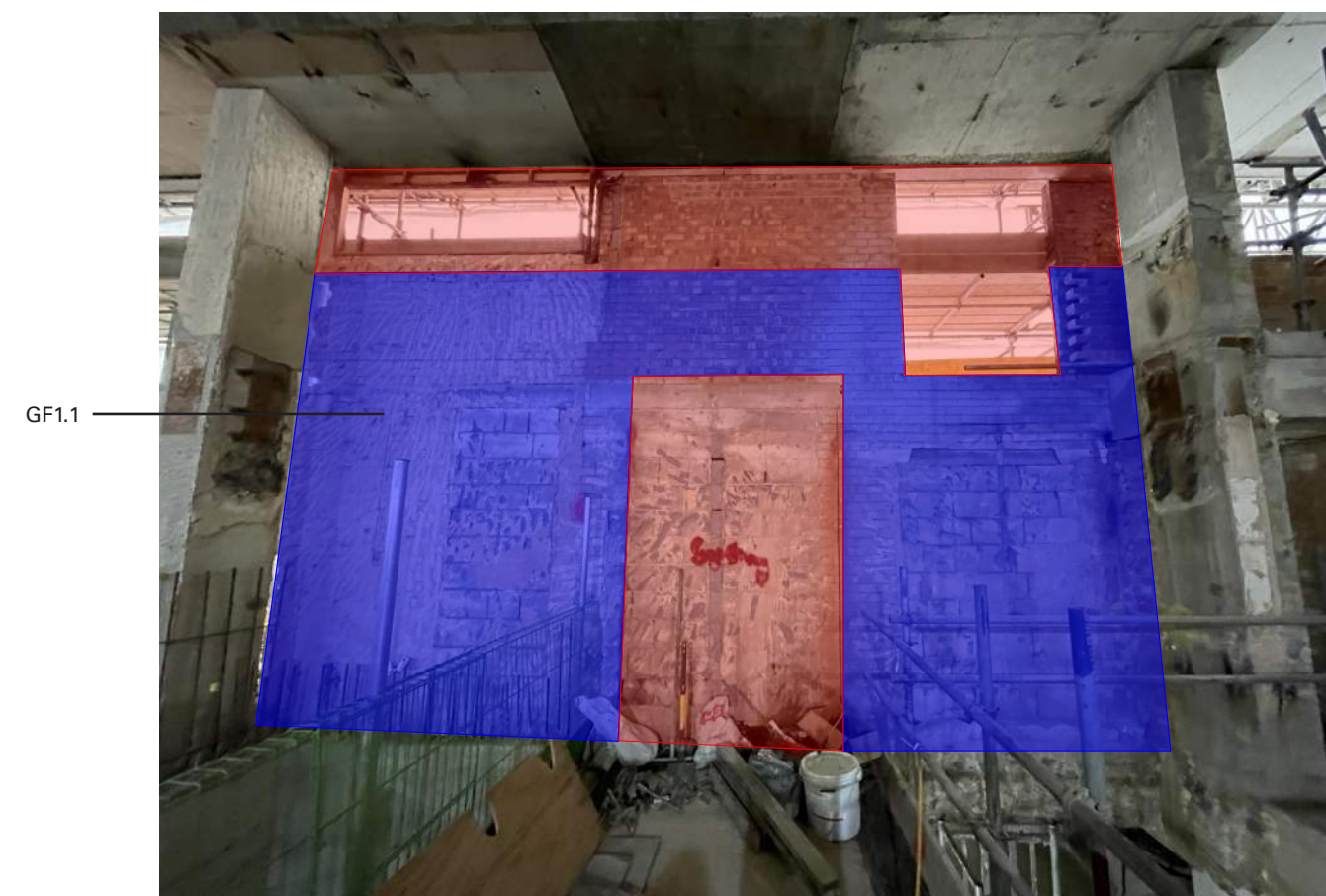


Fig. 2.1.7 Existing Wall internal View - Proposed additional demolition

2.2 Kingsway block stair support level 7/8

Fig. 2.2.1 represents the demolition scope consented under to the Non Material Amendment (ref. 2022/0751/P) and Section 19 (ref. 2022/0740/L) permissions at Space House.

L7.1 - Existing blockwork wall to be removed to allow for new steelwork to support the consented stair. New wall to be rebuilt in the same location of the existing wall. This wall separates the service riser and the existing stairwell. The wall on the stairwell side will be finished to match existing.

See Fig. 2.2.2 and 2.2.3 for additional demolition location.

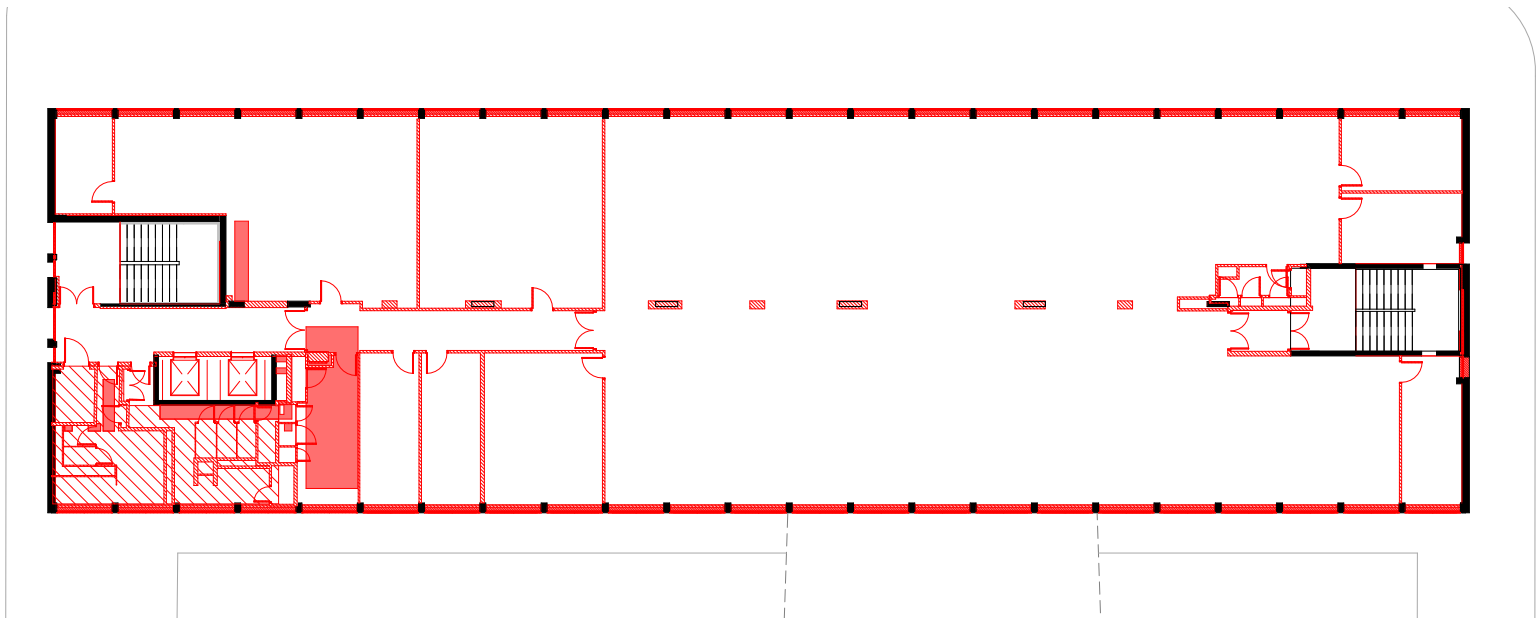


Fig. 2.2.1 Consented Level 07 Demolition Plan

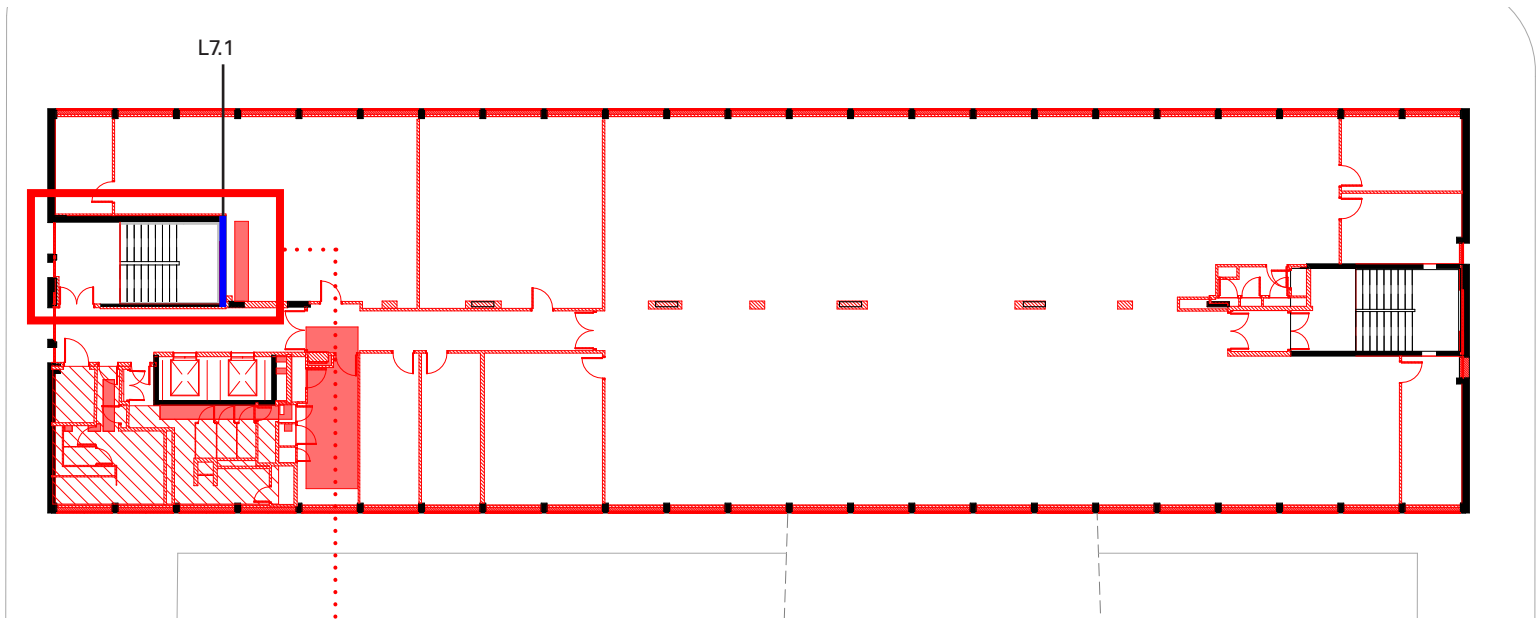


Fig. 2.2.2 Proposed Level 07 Demolition Plan

Legend:

Consented demolition

Proposed additional demolition

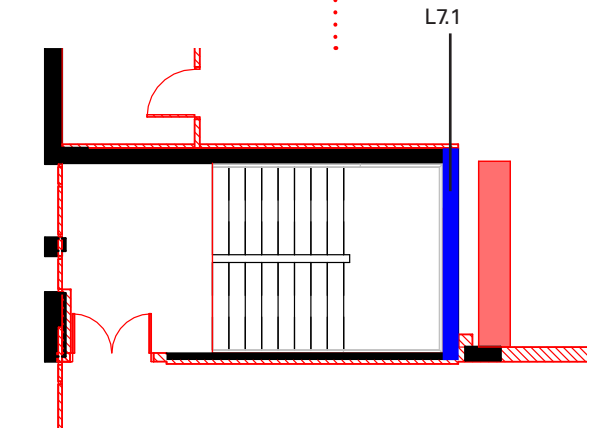


Fig. 2.2.3 Proposed Level 07 Demolition Plan - Detail View

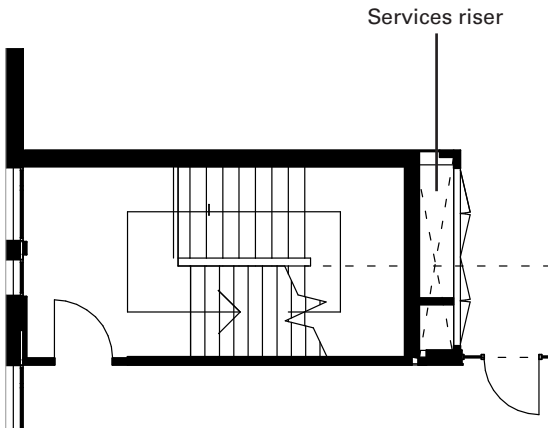


Fig. 2.2.4 Consented Level 07 Plan - Detail View

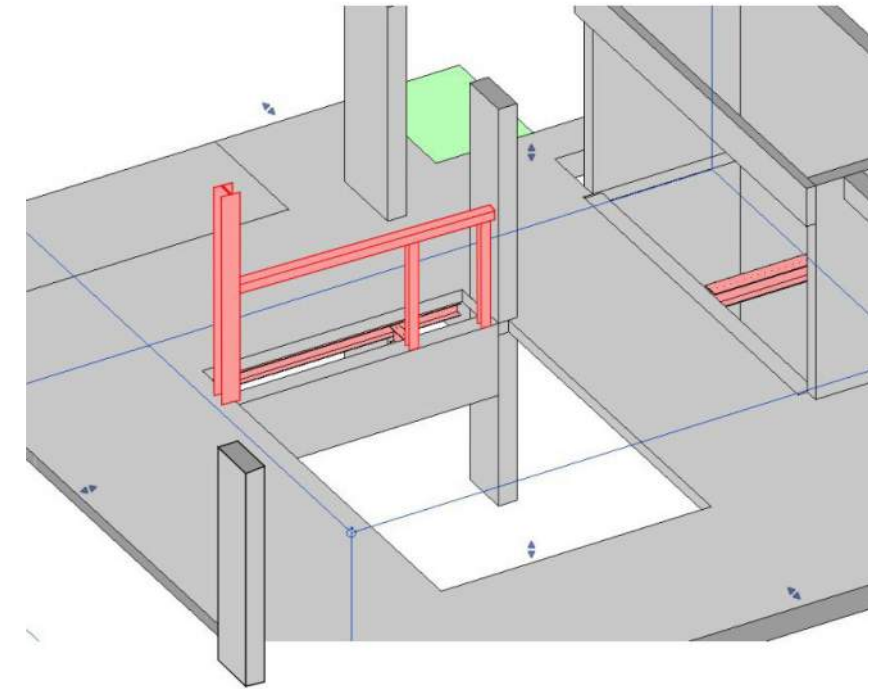
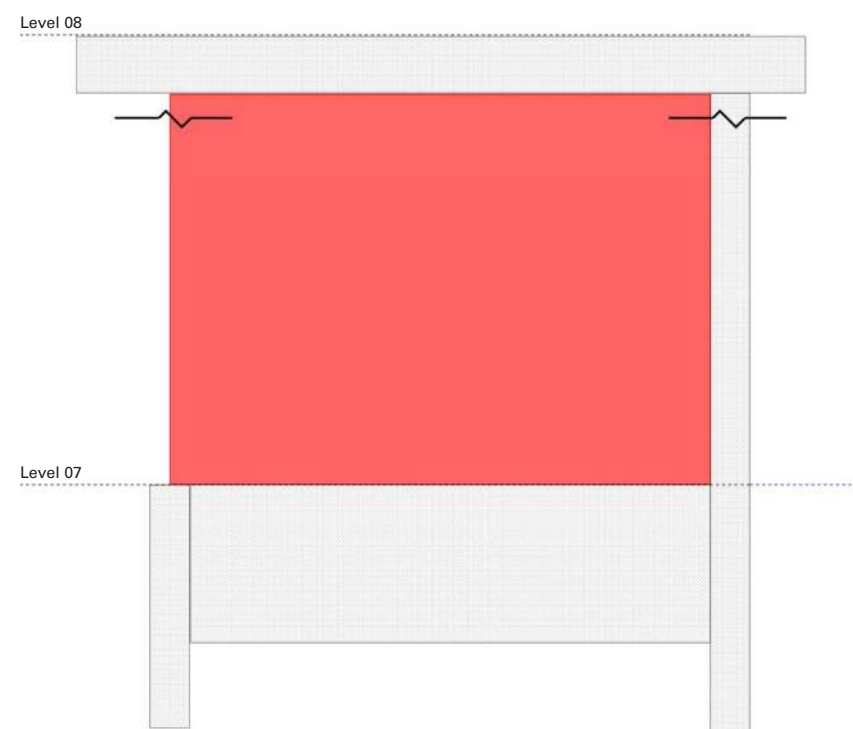
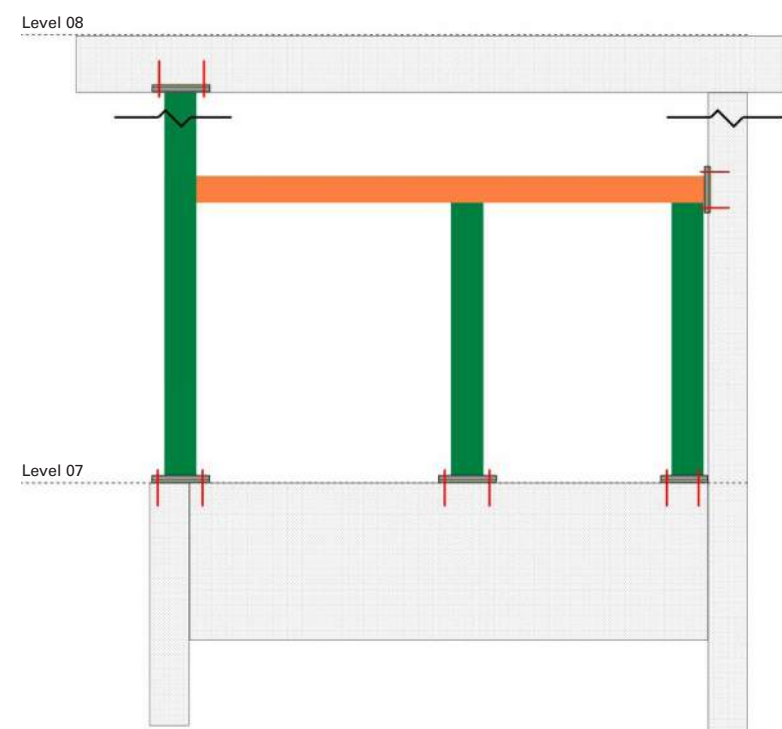


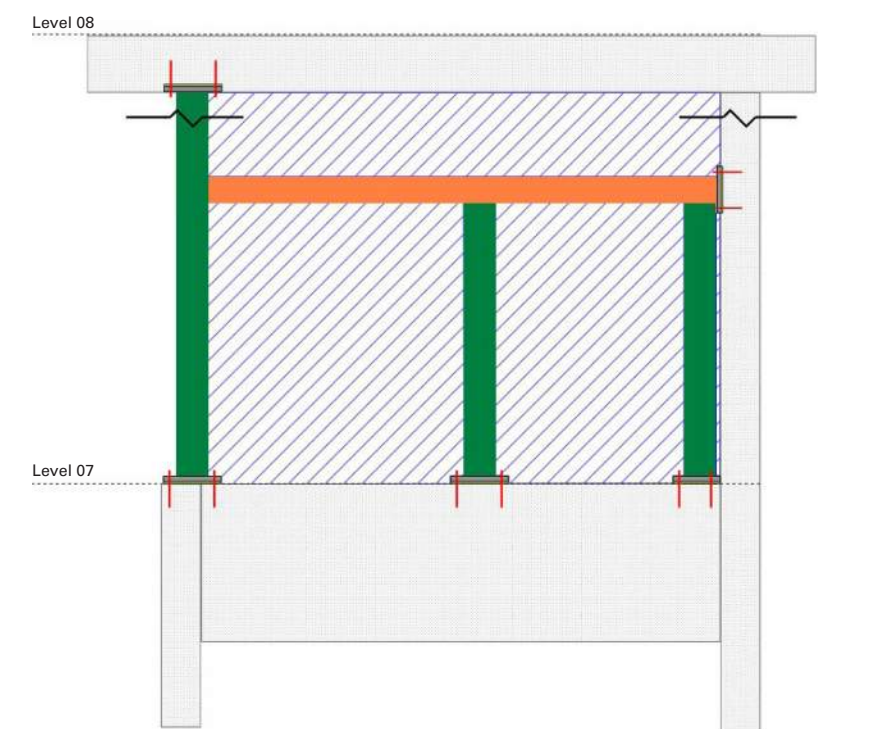
Fig. 2.2.5 3D Illustration of proposed stair steel support



1. Demolition of existing wall



2. New stair steel columns and beams installation



3. New blockwork wall infills installation

Fig. 2.2.6 Proposed site works sequence

3.0 Appendices

Clean and bubbled demolition drawings

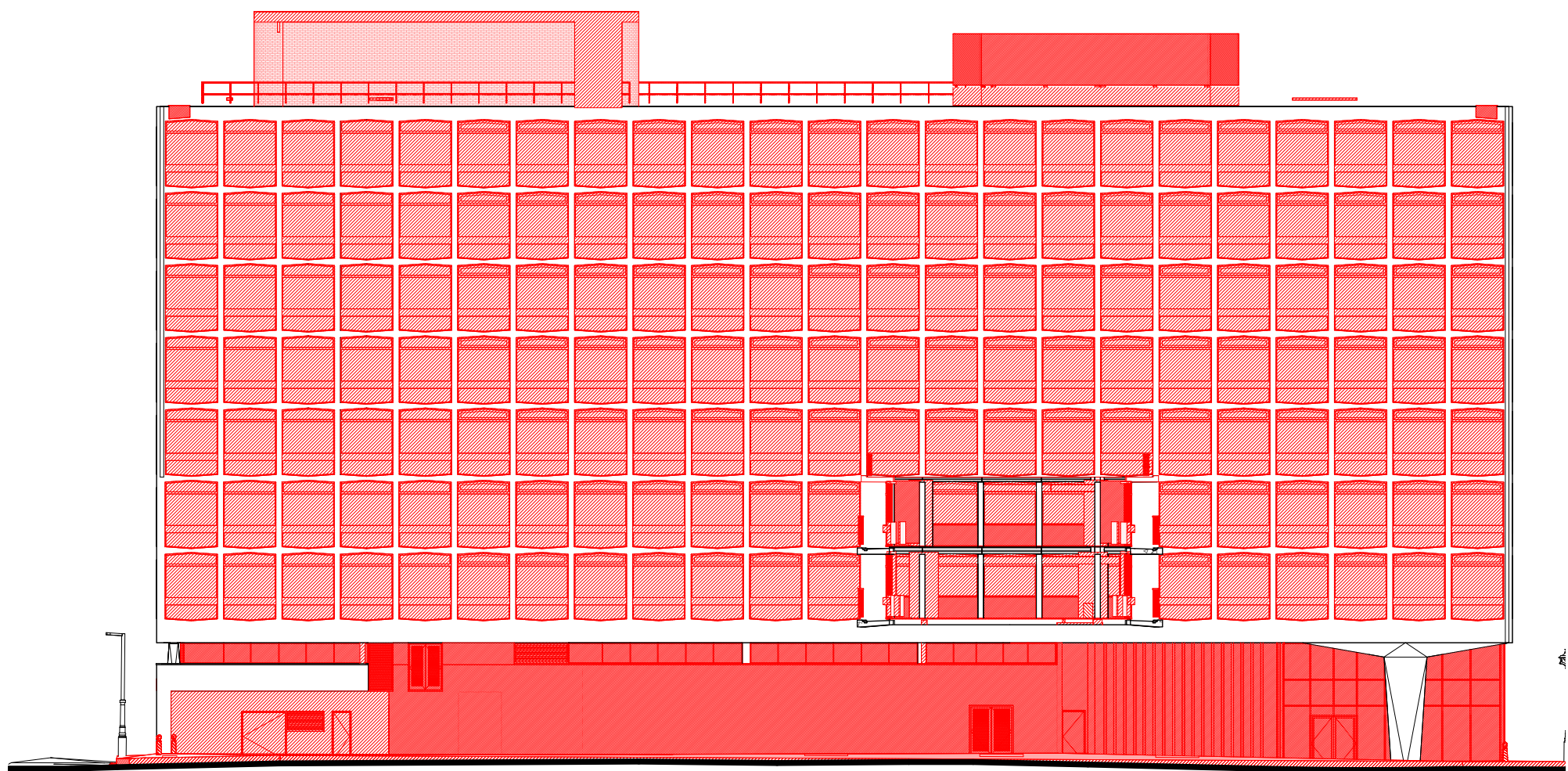
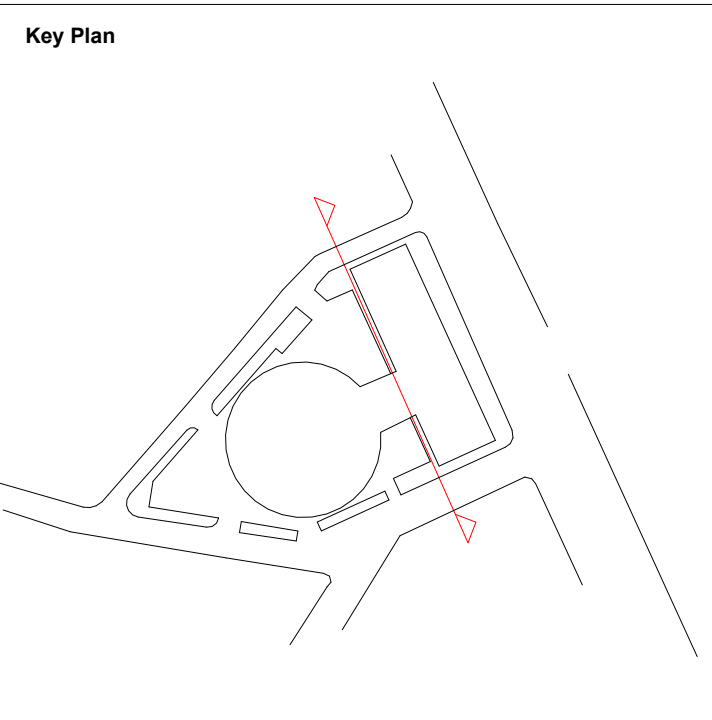
The list below sets out the revised drawings for which permission is sought to be reflected on the decision notices under this application.

Drawing List

| Number | Title | Rev |
|------------------------------|----------------------------|-------|
| 18077-SQP-01-ZZ-DE-A-PL01304 | West Elevation Demolition | Rev E |
| 18077-SQP-ZZ-07-DP-A-PL01012 | Level 07 - Demolition Plan | Rev E |

Do not scale from this drawing. All dimensions to be checked on site. All omissions and discrepancies to be reported to the Architect immediately

This work is copyright and shall not be reproduced or used for any other purpose without the written permission of Squire and Partners.



- Demolished Structural Elements
Refer to structural engineers' drawings.
 - Fabric to be demolished
 - Existing pre-cast concrete panels to be retained and reused for the new level 17 cap. Refer to Structural Engineer's drawings.
- * Typical floor demolition is windows only
* All floor finishes and raised floor to be removed.

| | | | |
|------------------------------|----------|-----|-----|
| Non-Material Amendment Issue | 22/07/22 | SQP | E |
| Non-Material Amendment Issue | 09/02/22 | SQP | D |
| Pre-Application Advice | 08/07/20 | SQP | C |
| Planning Substitution | 20/09/19 | SQP | B |
| Planning Submission | 24/05/19 | SQP | A |
| Description | Date | Chk | Rev |

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

info@squireandpartners.com
www.squireandpartners.com

Project

Space House
London
WC2

Title

West Elevation
Demolition

Status

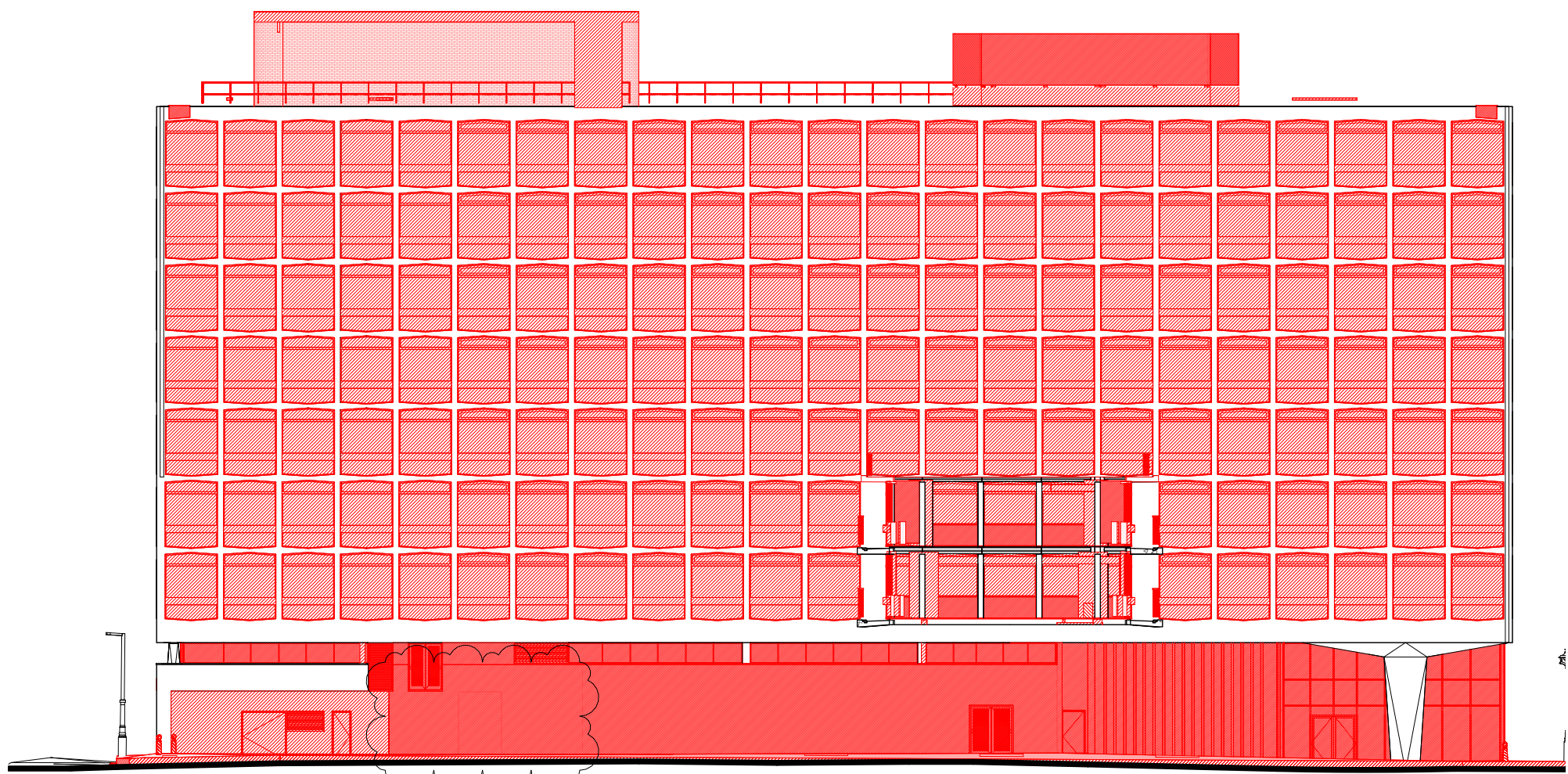
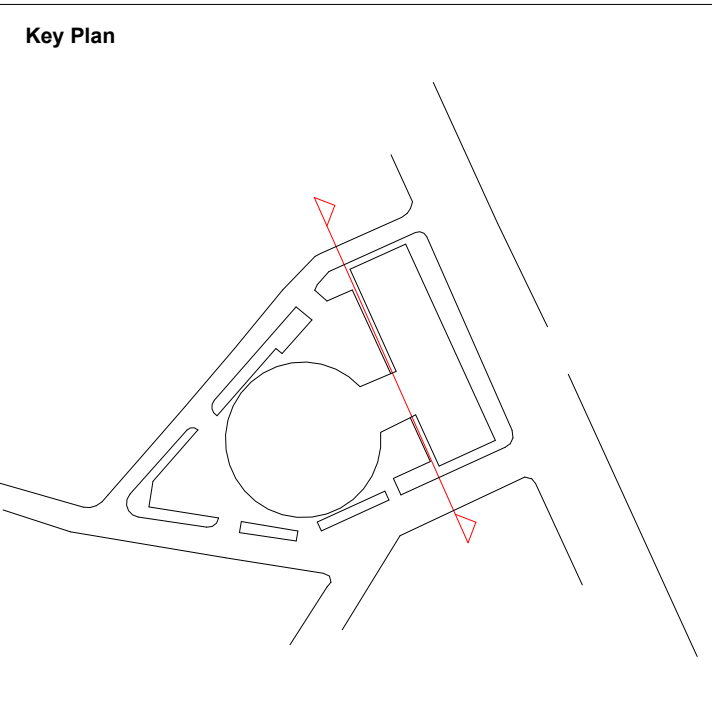
Planning Submission

| | | |
|------------------------------|----------------|------------|
| Date | Scale @ ISO A1 | Job Number |
| 24/05/19 | 1 : 250 | 18077 |
| Drawing Number | Revision | |
| 18077-SQP-01-ZZ-DE-A-PL01304 | E | |

Scale 1:250

Do not scale from this drawing. All dimensions to be checked on site. All omissions and discrepancies to be reported to the Architect immediately

This work is copyright and shall not be reproduced or used for any other purpose without the written permission of Squire and Partners.



Demolished Structural Elements
Refer to structural engineers' drawings.

Fabric to be demolished

* Typical floor demolition is windows only
* All floor finishes and raised floor to be removed.

Existing pre-cast concrete panels to be retained and reused for the new level 17 cap. Refer to Structural Engineer's drawings.

| | | | |
|------------------------------|----------|-----|-----|
| Non-Material Amendment Issue | 22/07/22 | SQP | E |
| Non-Material Amendment Issue | 09/02/22 | SQP | D |
| Pre-Application Advice | 08/07/20 | SQP | C |
| Planning Substitution | 20/09/19 | SQP | B |
| Planning Submission | 24/05/19 | SQP | A |
| Description | Date | Chk | Rev |

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

info@squireandpartners.com
www.squireandpartners.com

Project

Space House
London
WC2

Title

West Elevation
Demolition

Status

Planning Submission

| | | |
|------------------------------|----------------|------------|
| Date | Scale @ ISO A1 | Job Number |
| 24/05/19 | 1 : 250 | 18077 |
| Drawing Number | Revision | |
| 18077-SQP-01-ZZ-DE-A-PL01304 | E | |

Scale 1:250

Do not scale from this drawing. All dimensions to be checked on site. All omissions and discrepancies to be reported to the Architect immediately

This work is copyright and shall not be reproduced or used for any other purpose without the written permission of Squire and Partners.

Brickwork at face of existing RC beam to be removed to allow new RC beam to be connected

Brickwork to be removed down to the top of existing RC beam level

Drylining to all fins to be removed

Demolished Structural Elements
Refer to structural engineers' drawings.

Fabric to be demolished

* Typical floor demolition is windows only
* All floor finishes and raised floor to be removed.

Existing pre-cast concrete panels to be retained and reused for the new level 17 cap. Refer to Structural Engineer's drawings.

| | | | |
|------------------------------|----------|-----|-----|
| Non-Material Amendment Issue | 22/07/22 | SQP | E |
| Non-Material Amendment Issue | 16/05/22 | SQP | D |
| Non-Material Amendment Issue | 09/02/22 | SQP | C |
| Pre-Application Advice | 08/07/20 | SQP | B |
| Planning Submission | 24/05/19 | SQP | A |
| Description | Date | Chk | Rev |

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

info@squireandpartners.com
www.squireandpartners.com

Project

Space House
London
WC2

Title

Level 07
Demolition Plan

Status

Planning Submission

| | | |
|------------------------------|----------------|------------|
| Date | Scale @ ISO A1 | Job Number |
| 24/05/19 | 1 : 250 | 18077 |
| Drawing Number | Revision | |
| 18077-SQP-ZZ-07-DP-A-PL01012 | E | |



Scale 1:10

0 100 200 300 400 500

Do not scale from this drawing. All dimensions to be checked on site. All omissions and discrepancies to be reported to the Architect immediately

This work is copyright and shall not be reproduced or used for any other purpose without the written permission of Squire and Partners.

Brickwork at face of existing RC beam to be removed to allow new RC beam to be connected

Brickwork to be removed down to the top of existing RC beam level

Drylining to all fins to be removed

Demolished Structural Elements
Refer to structural engineers' drawings.

Fabric to be demolished

* Typical floor demolition is windows only
* All floor finishes and raised floor to be removed.

Existing pre-cast concrete panels to be retained and reused for the new level 17 cap. Refer to Structural Engineer's drawings.

| | | | |
|------------------------------|----------|-----|-----|
| Non-Material Amendment Issue | 22/07/22 | SQP | E |
| Non-Material Amendment Issue | 16/05/22 | SQP | D |
| Non-Material Amendment Issue | 09/02/22 | SQP | C |
| Pre-Application Advice | 08/07/20 | SQP | B |
| Planning Submission | 24/05/19 | SQP | A |
| Description | Date | Chk | Rev |

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

info@squireandpartners.com
www.squireandpartners.com

Project

Space House
London
WC2

Title

Level 07
Demolition Plan

Status

Planning Submission

| | | |
|------------------------------|----------------|------------|
| Date | Scale @ ISO A1 | Job Number |
| 24/05/19 | 1 : 250 | 18077 |
| Drawing Number | Revision | |
| 18077-SQP-ZZ-07-DP-A-PL01012 | E | |



Scale 1:10
0 100 200 300 400 500

