

The logo for Weston Allison Wright features a large, light gray, stylized 'W' shape in the background. Overlaid on the left side of the 'W' are the names 'WESTON', 'ALLISON', and 'WRIGHT' stacked vertically in a bold, blue, sans-serif font.

**WESTON  
ALLISON  
WRIGHT**

**Spectrum House  
Site Wide External Plant  
Design & Access Statement  
24/01/22  
Rev C**

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Spectrum House is located at 32-34 Gordon House Road, in the London Borough of Camden. Gordon House Road runs west from Gospel Oak station to Highgate Road. The building sits on the south western edge of the Dartmouth Park Conservation Area within Sub Area 9, Lissenden Gardens. This area is described within the *Dartmouth Park Conservation Area Appraisal and Management Statement* as:

*"The sub-area forms a compact grouping on the west side of Highgate Road. There are three elements to it; the mansion blocks; the early 20th century terraced housing and the commercial development. The most noticeable characteristic of this area is the larger scale of development with the predominant built form being higher and denser than other parts of the conservation area."*

The only reference to Spectrum House in the *Dartmouth Park Conservation Area Appraisal and Management Statement* is in Section 7.103 where it is described as *"a three-storey office building, painted."*

To the east of Spectrum House is a commercial car garage and to the west the Haddo House Estate. Directly opposite the building on Gordon House Road is a terrace of Victorian houses. The principal elevation faces south east onto Gordon House Road.



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# Surrounding Areas



Fig 1: Looking East along Gordon House Road towards Gospel Oak station.



Fig 2: Pub and shops opposite Gospel Oak station.



Fig 3: The rear elevation of Salcombe Lodge taken from Gordon House Road.



Fig 4: The front elevation of Salcombe Lodge taken from Lissenden Gardens.



Fig 5: View north along Lissenden Gardens towards the mansion blocks of the Lissenden Gardens Estate.



Fig 6: View east along Glenhurst Avenue, a residential street off Lissenden Gardens.



Fig 7: Heathview, a 1930's block of flats west of Spectrum House.



Fig 8: Commercial garage neighbouring Spectrum House to the west.



Fig 9: View east along Gordon House Road showing the Victorian terraced houses opposite Spectrum House.



Fig 10: The Hado Estate that neighbours Spectrum House to the East.



Fig 11: A Greek Orthodox Chapel to the west of Spectrum House towards the junction with Highgate Road.



Fig 12: Shop fronts on the junction of Highgate Road and Gordon House Road.



# The Existing Building

Spectrum House is a multi-let business centre comprising 32 units. The building comprises a three-storey frontage and west wing with a newer, two storey U shaped extension to the back. There is both an internal courtyard and a mews that runs the length of the building to the west.

The architectural style of the principal Gordon House Road elevation, with its smooth wall surfaces, indented wall panels, sharp edges and linear appearance has definite Modernist and even Art Deco influences. This principal facade rises three storeys to a level parapet which hides the roof from road level. The facade is of simple repetitive design with a plain, white painted render finish and regularly spaced metal framed windows. The elevation at ground and first floor levels is subdivided into bays by projecting rendered piers which continue up to a projecting string course at 3rd floor level. This runs right across the full width of the elevation. Above this string course the wall is set back slightly from the lower stories and finished as a flat plane. The metal framed windows with their horizontal glazing bars accentuate the appearance of length and perspective in the elevation. The rear elevation of this block, facing the courtyard, follows the same style however it has been left unpainted.



Fig 13: View of the front principal facade of Spectrum House, facing Gordon House Road.



Fig 14: View of the internal courtyard and the more modern extension surrounding it.



Fig 15: View from the courtyard towards the front three storey elevation.



Fig 16: View looking west of along Gordon House road showing the principal facade of Spectrum House.

The west wing of the original three storey building is unpainted beyond the tunnel leading into the mews. Although the style of windows continues the roof line is no longer flat, but instead split into a series of triangular gables.

Behind the front block of the building there is a two-storey portal framed courtyard development. This is reached via a tunnel and entered under a flat arch in the middle of the principal elevation. Although this building is attached to the original front and west ranges, there is no internal access. There is an external steel balcony and staircases which provide access into the individual units at first floor level. The courtyard façades of these units are finished in black metal.

This Design and Access statement has been amended to reflect the proposed changes to the plant arrangement. Namely the relocation of two further condenser units currently located on the roof of the tunnel leading into the mews. The purpose of the relocation of these units, is to further reduce the visual impact of the units across the site.

This statement, along with the other consultant reports set out the design rationale for the location of this plant which is necessary to service the commercial floorspace in Spectrum House. Attention should be drawn to the detailed townscape assessment within this document which considers each view point of Spectrum House within the Conservation Area.

## Site Wide Plant Locations:

The proposal seeks to locate, move and rationalise external plant units and associated external pipework at Spectrum House. This proposed plant equipment will serve the various commercial spaces within the building. The application is split into three parts:

- 1. New external plant to service commercial spaces currently without any mechanical heating and cooling.**
- 2. The moving of some existing external plant units around the site to more appropriate locations.**
- 3. Retrospectively applying for permission for existing external plant units staying in their current location.**

A thorough design process has been carried out to locate the external plant in sensible locations. These locations are:

### Location A (23 proposed units):

This will become the main area for the site wide plant. The

proposal looks to locate 23 external plant units in this area. There are three existing units on this roof which are staying in their current location and have been granted under a Certificate of Lawfulness (2020/5513/P). The current roof has a 530mm tall brick parapet running around its perimeter which will obscure part of the plant equipment. The remainder of the plant will be hidden by a metal louvred screen.

### Location B (8 proposed units):

The second roof top location will be on the lower level flat roof to the north west of the building. The proposal looks to gain retrospective permission for eight units in this location. One further unit will stay in its existing location and has been granted under a Certificate of Lawfulness (2020/5513/P). Five existing units in this location will be moved to Location A.

Due to the close proximity to the neighbouring houses the number of units positioned here has been kept to a minimum. There is a 500mm brick parapet that runs around the perimeter of this flat roof which will hide a significant portion of the plant units. A plant screen has not been shown in this location as we believe the visual impact of this screen, will be far greater than the units themselves.

### Location C (1 proposed unit):

We are retrospectively applying for permission for one existing unit hung on this elevation. Two further units in this location will be moved to Location A. The other eight units on this elevation have been granted under a Certificate of Lawfulness (2020/5513/P) and will be staying in place.



**Location D (2 proposed units):**

We are retrospectively applying for permission for two existing units hung in this area. The mews area is owned by the landlord and is not overlooked by the surrounding buildings. Only one of these units will be visible from Gordon House Road. There is one unit on this elevation (under the tunnel) granted under a Certificate of Lawfulness (2020/5513/P). Two further units located on the roof (above the tunnel into the mews from Gordon House Road) will be moved to the new roof location A.

**Location E (2 proposed units):**

We are retrospectively applying for permission for two existing units hung in this area. The courtyard is owned by the landlord and the location of the existing units is both below the height of the surrounding courtyard buildings and flanked by these building on all sides. Neither of these units are visible from Gordon House Road.

**Further Reports:**

All the proposals have been checked by Noise Consultants, Mayer Brown. Their report forms part of this application. All the proposed locations have been checked by them and it has been deemed that acoustic shielding is not required in any proposed location.

In answer to the Local Authority response to the application on 13/10/21, a sustainability report has been carried out by sustainability consultants XC02.

**Other Considered Locations:**

Due to the original design of the building there are limited,

sensible locations for the external plant to be placed. A plant option was also considered for the internal courtyard. However, due to the number of external plant units needed, the close proximity of commercial units, the presence of vehicles and people coupled with the single means of access to the courtyard (via the tunnel) meant that this option was not possible.

**Proposed Screen:**

The plant equipment in location A will be surrounded on the three open sides, to the north, east and west. Following the acoustic assessment of the plant there is no need for an acoustic barrier so the screen will be for visual purposes only. The screen will be made of steel louvres fixed to a support frame. The footings of the frame will be hidden behind the existing parapet wall. The screen can be coloured to any colour however we propose a light grey to blend in with the roof lights that it will sit in front of. The plant is hidden from the south and west by the existing building. As mentioned above there will be no visual screen to the units in location B.

**Edge Protection:**

The proposal also looks to install edge protection to all affected roofs to allow safe access and maintenance. The top edge of this will be 1100mm from the roof deck and will have two horizontal rails between the uprights.



# Plant Screen Reference Images

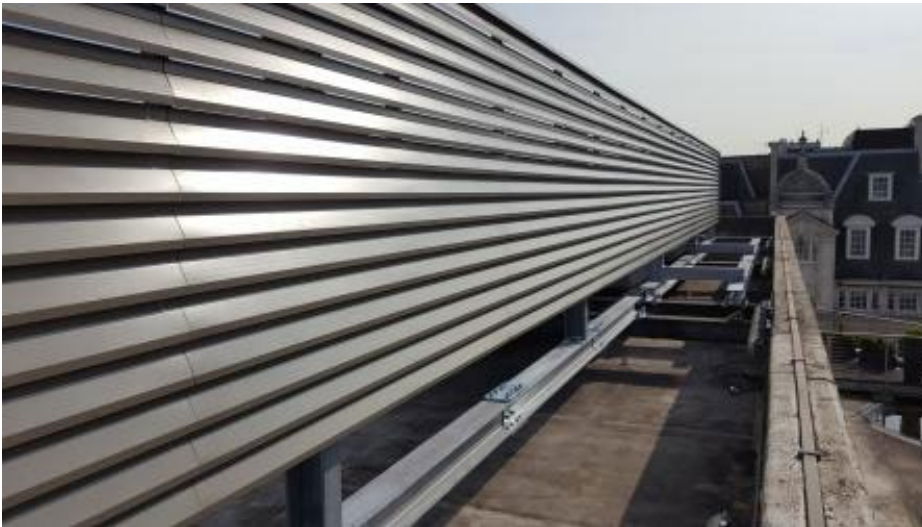
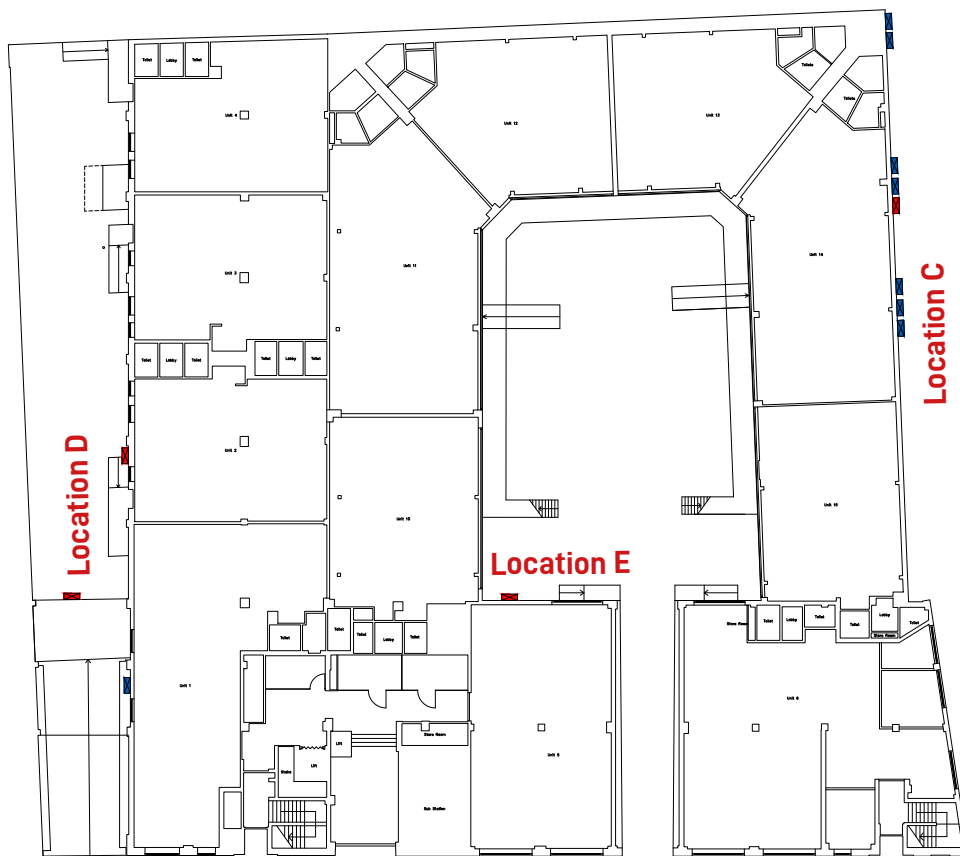
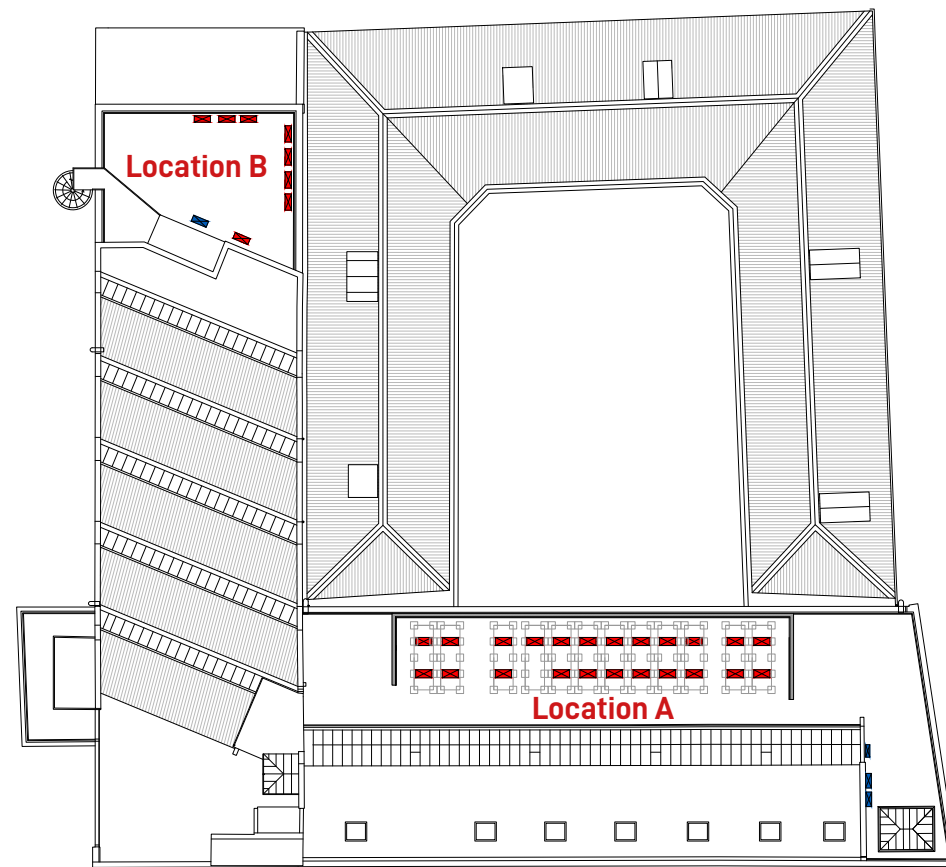


Fig 17 -20: Reference images of metal louvred plant screens. Images courtesy of NLC.

# Location of Units



Ground Floor Plan



Roof Plan

- New external condenser units
- Existing condenser units that are granted under the Certificate of Lawfulness application (2020/5513/P)

NOTE: External plant units are not necessarily at ground floor level. This plan shows the locations only and should be cross referenced with the submitted planning drawings to determine the heights at which the units are hung and if numerous units are hung under one and other.



# Plant Location A



Fig 21: View from the east end of plant location A.



Fig 22: View from the west end of plant location A.



Fig 23: View from plant location B towards plant location A.



Fig 24: View south showing the existing unit location for units staying in place at location A & subject to the approved Certificate of Lawfulness (2020/5513/P) highlighted in blue.

# Plant Location B



Fig 25: View north showing plant location B. The units staying in this location and that are being retrospectively applied for are highlighted in pink. Any units not highlighted are moving to the new plant location A.



Fig 26: View east showing plant location B. The units staying in this location and that are being retrospectively applied for are highlighted in pink. The unit subject to the approved Certificate of Lawfulness (2020/5513/P) are highlighted in blue. Any units not highlighted are moving to the new plant location A.



Fig 27: View from plant location A showing plant location B. The units staying in this location and that are being retrospectively applied for are highlighted in pink. Any units not highlighted are moving to the new plant location A.



Fig 28: View west from courtyard balcony showing plant location B. The units staying in this location and that are being retrospectively applied for are highlighted in pink. Any units not highlighted are moving to the new plant location A.



# Plant Location C



Fig 29: View north of existing condenser units on east elevation. The unit staying in this location and being retrospectively applied for is highlighted in pink. The eight units subject to the approved Certificate of Lawfulness (2020/5513/P) are highlighted in blue. Any units not highlighted are moving to the new plant location A.

# Plant Location D



Fig 30: View south looking towards Gordon House Road from the end of the mews. The units staying in this location and that are being retrospectively applied for are highlighted in pink. The unit subject to the approved Certificate of Lawfulness (2020/5513/P) is highlighted in blue (under tunnel). Any units not highlighted (on the roof above tunnel) are moving to the new plant location A.



# Plant Location E



Fig 31: View south looking towards Gordon House Road from the buildings courtyard. The units staying in this location and that are being retrospectively applied for are highlighted in pink.

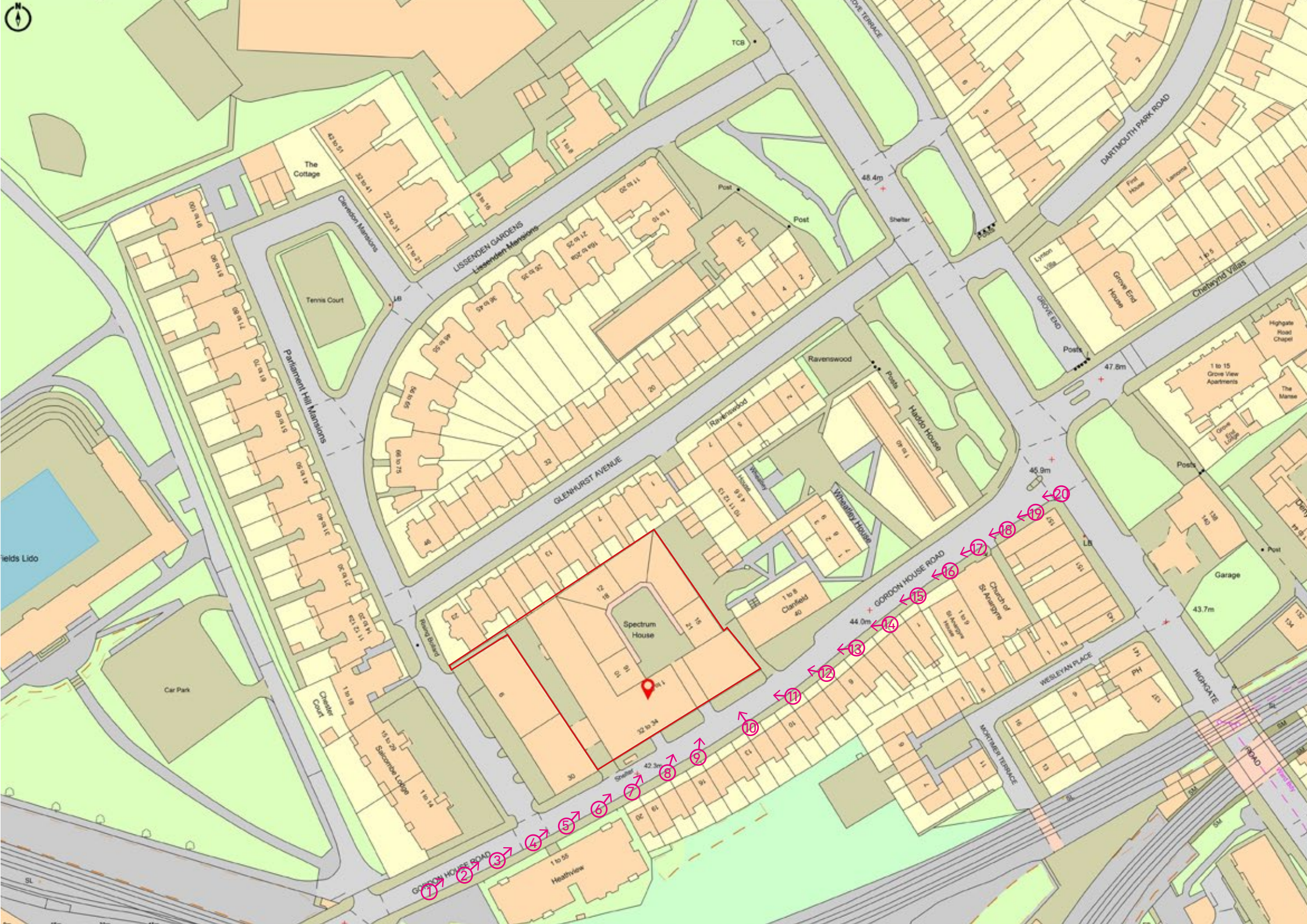
# Photographic Survey

The following pages document street view photographs taken on 17/03/21. These photographs were taken on all the surrounding roads around Spectrum House to show where and if the new plant equipment at locations A & B is visible.

The photographs were taken at:

Gordon House Road  
Highgate Road  
Grove View  
Grove End  
Grove Terrace  
Chetwynd Road  
Glenhurst Avenue





GLENHURST AVENUE

GORDON HOUSE ROAD

WESLEYAN PLACE

DARTMOUTH PARK ROAD



Spectrum House

44.0m

43.7m

45.9m

48.4m

47.8m

Tennis Court

Car Park

Garage

Highgate Road Chapel

1 to 15 Grove View Apartments

The Marnie

1 to 15 Grove View Apartments

The Marnie

1 to 15 Grove View Apartments

The Marnie

1 to 15 Grove View Apartments

The Marnie



# Gordon House Road

The following photos have been taken at regular intervals along the length of Gordon House Road moving from the railway bridge to the South West of Gordon House Road to the junction of Gordon House Road and Highgate Road. These photographs have been taken on the opposite pavement to the building. These photographs show a comprehensive eye level view along this route, to see if and where the new plant is visible.

## Plant Location A:

As shown the existing plant at location A will only start to become visible at photo 15. The new plant at location A will become visible as you walk from here towards the Highgate Road junction. When at the junction the plant will be visible however the perspective and the existing parapet wall will obscure some of it from view.

## Plant Location B & E:

The plant in this location is not visible from any of these viewpoints.

## Plant Location C:

The plant in this location is visible in viewpoint 12.

## Plant Location D:

One of the condenser units in this location is visible in viewpoint 6. The other is hidden behind the tunnel.



Gordon House Road: View point 1



Gordon House Road: View point 2



Gordon House Road: View point 3



Gordon House Road: View point 4



Gordon House Road: View point 5



Gordon House Road: View point 6



Gordon House Road: View point 7



Gordon House Road: View point 8



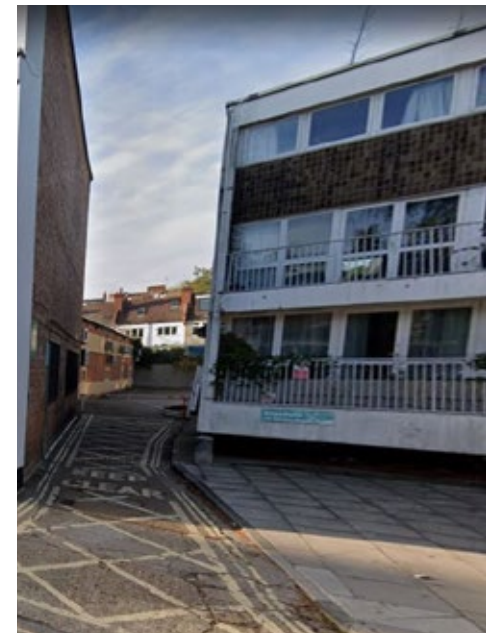
Gordon House Road: View point 9



Gordon House Road: View point 10



Gordon House Road: View point 11



Gordon House Road: View point 12 (image from google street view)





Gordon House Road: View point 13



Gordon House Road: View point 14



Gordon House Road: View point 15



Gordon House Road: View point 16



Gordon House Road: View point 17



Gordon House Road: View point 18

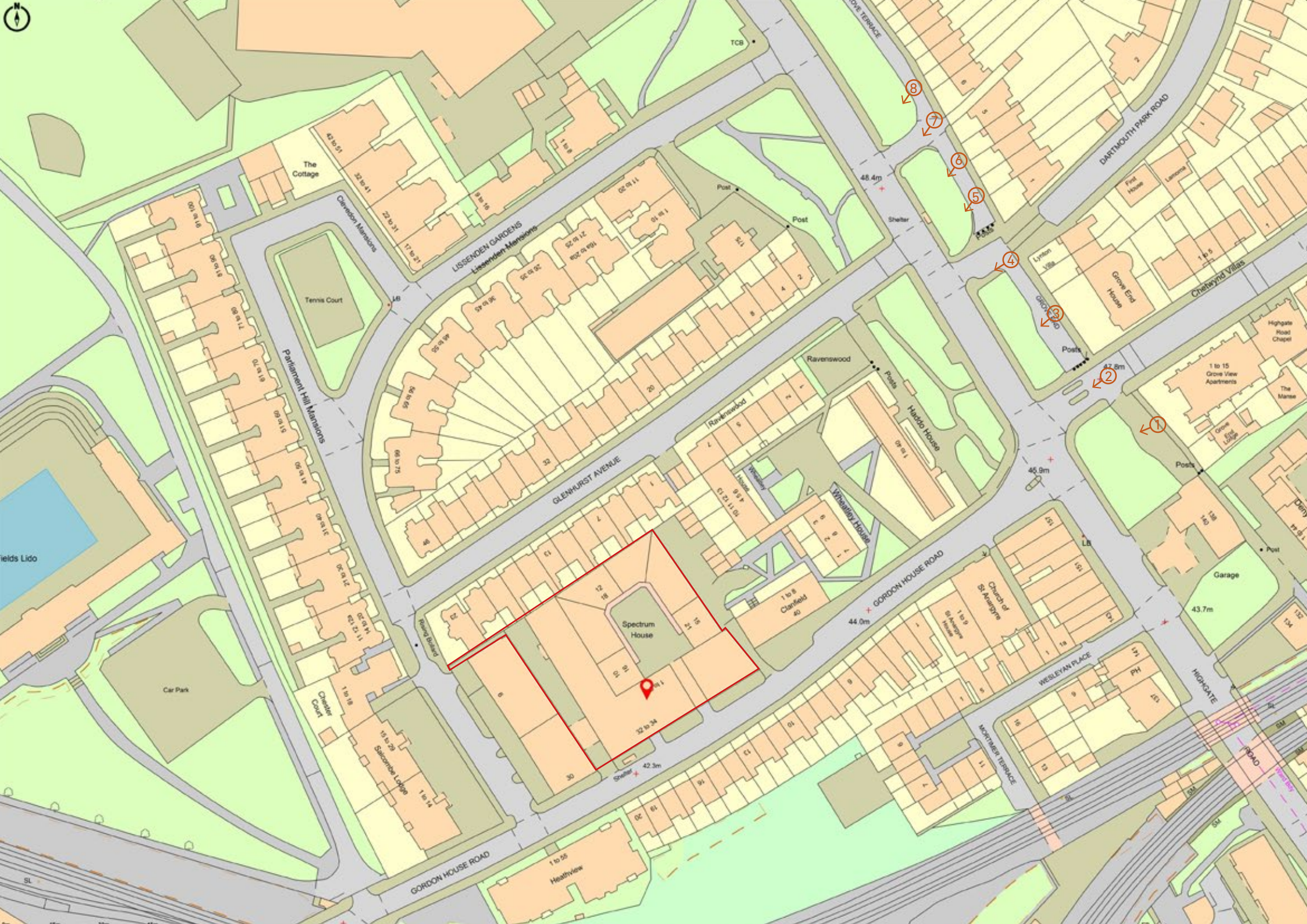


Gordon House Road: View point 19



Gordon House Road: View point 20







# Grove View, Grove End & Grove Terrace

The following photos have been taken at regular intervals along the length of Grove View, Grove End and Grove Terrace moving from the Grove View apartments north west. These photographs show a comprehensive eye level view along this route, to see if and where the new plant is visible.

## **Plant Location A:**

As shown the existing units and proposed new plant will only be properly visible from view point 1 however it is a significant distance away. As you move along the roads Spectrum House is hidden behind the Haddo House block of flats and is then obscured behind foliage. As is obvious in the photographs the existing planting has yet to grow leaves and therefore it can be assumed that when this happens any partial views will be further obscured.

## **Plant Location B,C, D & E:**

The plant in these locations is not visible from any of these viewpoints.



Grove View: View point 1



Chetwynd Road: View point 2



Grove End: View point 3



Grove End: View point 4



Grove Terrace: View point 5



Grove Terrace: View point 6

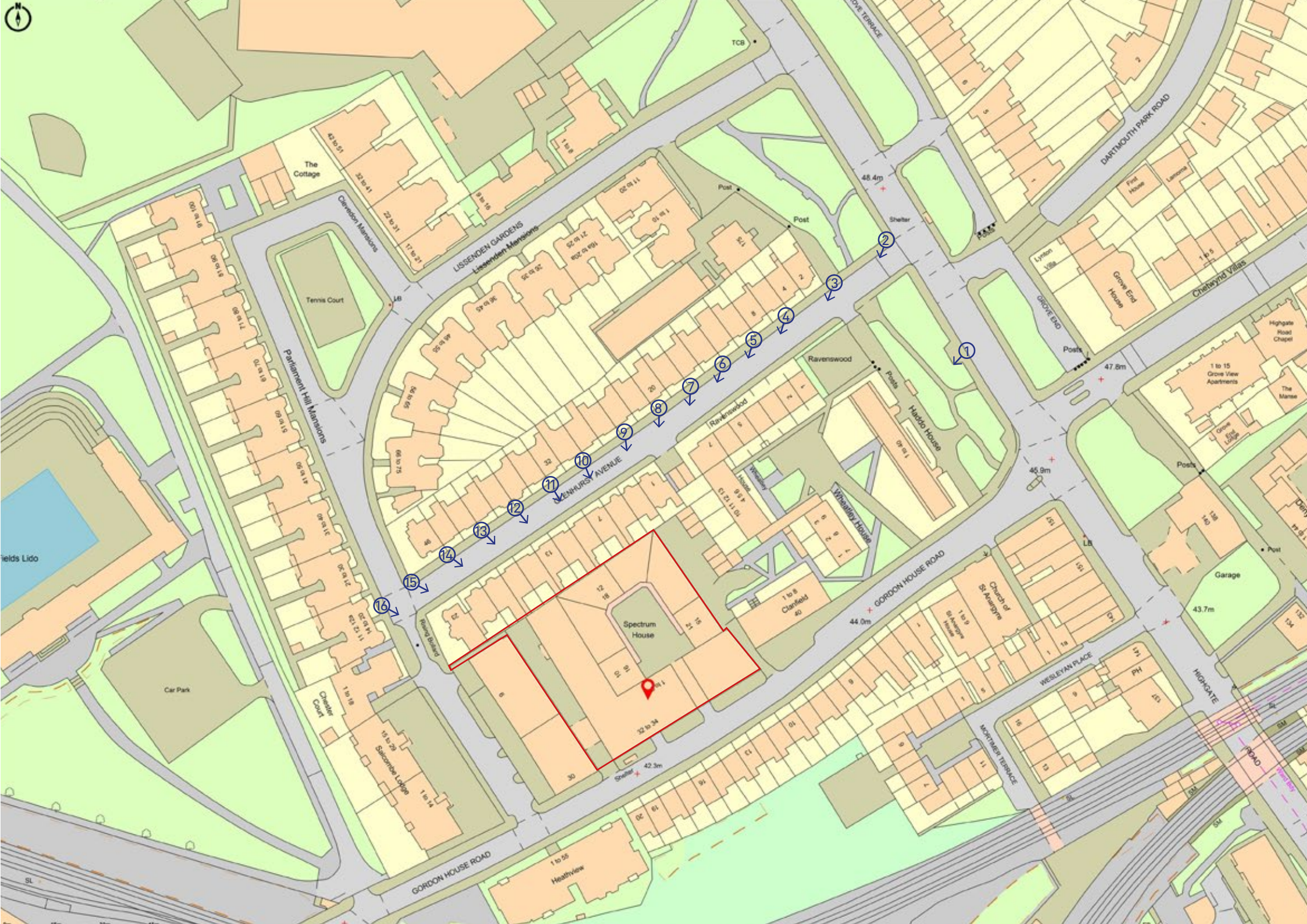


Grove Terrace: View point 7



Grove Terrace: View point 8







# Highgate Road & Glenhurst Avenue

The following photos have been taken at regular intervals along starting at Highgate Road and moving south west along Glenhurst Avenue. These photographs show a comprehensive eye level view along this route, to see if and where the new plant is visible.

## Plant Location A:

As shown the plant will only be partially visible from view point 2, however it is obscured by the trees in the background. As is obvious in the photographs the existing planting has yet to grow leaves and therefore it can be assumed that when this happens any partial views will be further obscure. As you move along Glenhurst Avenue Spectrum House is hidden behind the terraced house apart from a small break in the terrace (viewpoint 8&9) although the view is partially obscured by trees. Spectrum House is visible at the end of the terrace (viewpoint 16) however the new plant location is not visible from here.

## Plant Location B, C, D & E:

The plant in these locations is not visible from any of these viewpoints.



Highgate Road: View point 1



Glenhurst Avenue: View point 2



Glenhurst Avenue: View point 3



Glenhurst Avenue: View point 4





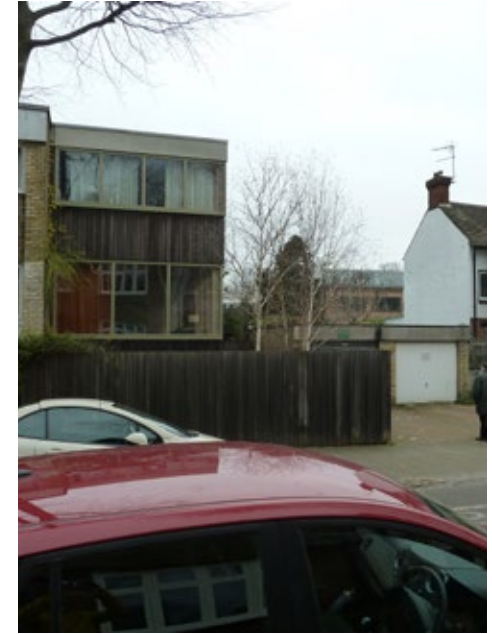
Glenhurst Avenue: View point 5



Glenhurst Avenue: View point 6



Glenhurst Avenue: View point 7



Glenhurst Avenue: View point 8



Glenhurst Avenue: View point 9



Glenhurst Avenue: View point 10



Glenhurst Avenue: View point 11



Glenhurst Avenue: View point 12





Glenhurst Avenue: View point 13



Glenhurst Avenue: View point 14

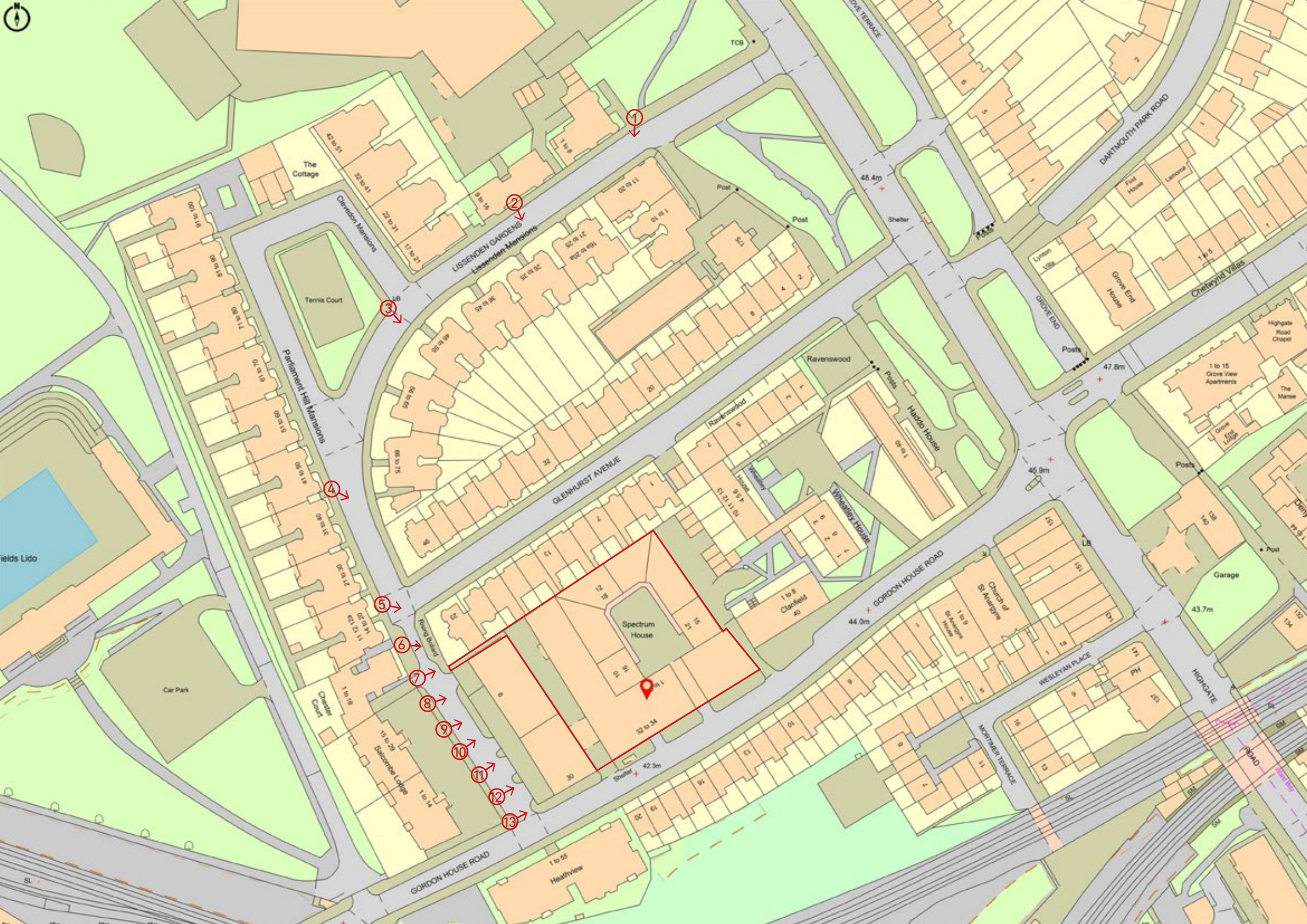


Glenhurst Avenue: View point 15



Glenhurst Avenue: View point 16







# Lissenden Gardens

The following photos have been taken at regular intervals along the length of Lissenden Gardens to the junction with Gordon House Road. These photographs show a comprehensive eye level view along this route, to see if and where the new plant is visible. The north end of Lissenden Gardens is lined with multi storey mansion blocks and there are no views of Spectrum House from here.

## Plant Location A,C, D & E:

The plant in these locations is not visible from any of these viewpoints..

## Plant Location B:

This location is visible between view points 5-8 as you move down Lissenden Gardens towards Gordon House Road. Although the location is visible the view of the actual units in this location is minimal due to the perspective and the existing parapet wall.



Lissenden Gardens: View point 1



Lissenden Gardens: View point 2



Lissenden Gardens: View point 3



Lissenden Gardens: View point 4



Lissenden Gardens: View point 5





Lissenden Gardens: View point 6



Lissenden Gardens: View point 7



Lissenden Gardens: View point 8



Lissenden Gardens: View point 9



Lissenden Gardens: View point 10



Lissenden Gardens: View point 11

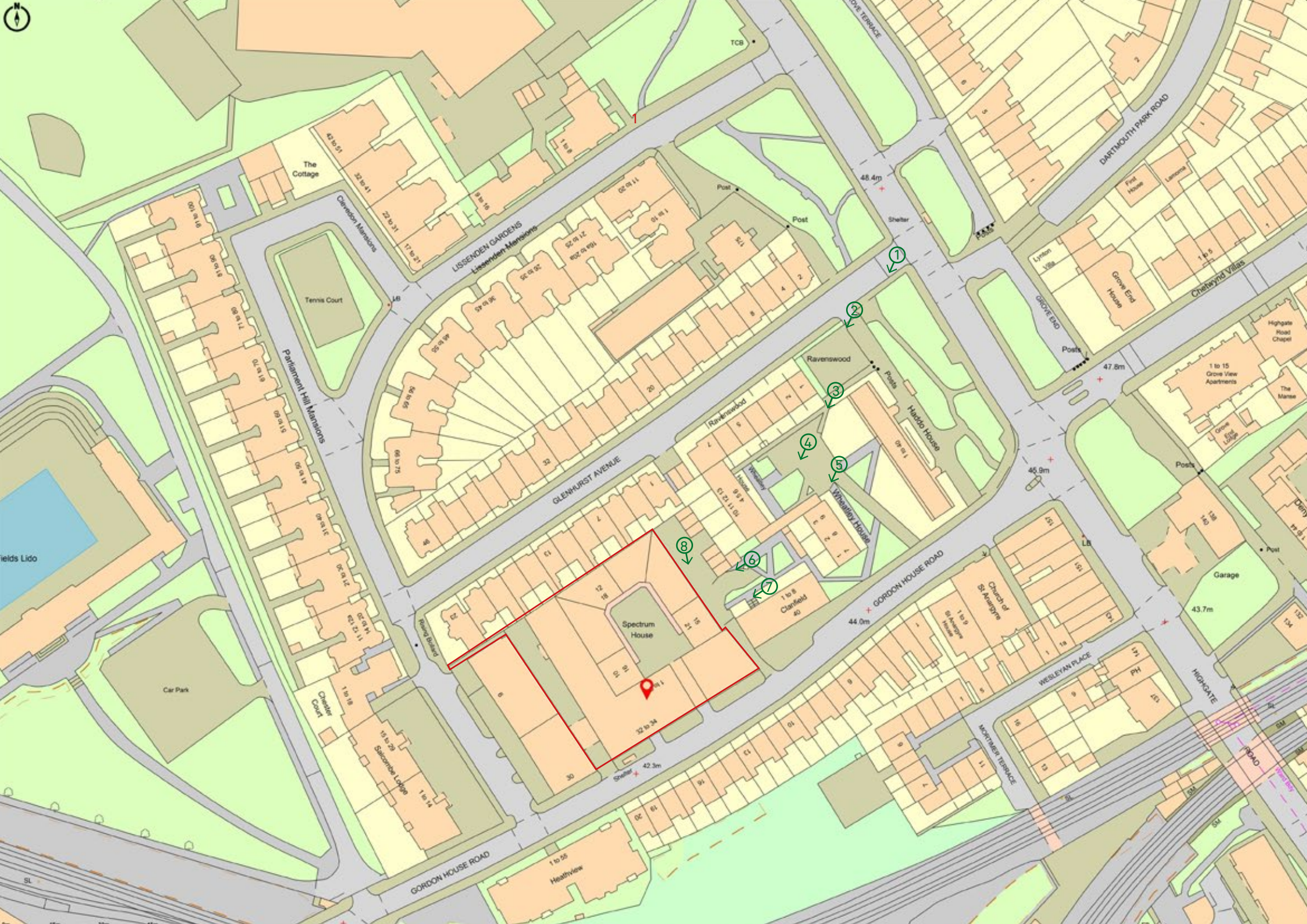


Lissenden Gardens: View point 12



Lissenden Gardens: View point 13







# Haddo Estate

The following photos have been taken at various locations near to and around the Haddo Estate. These photographs show a comprehensive eye level view along this route, to see if and where the new plant is visible

## **Plant Location A:**

As shown the plant location will only be partially visible from view point 1, however it is obscured by the trees in the background. As is obvious in the photographs the existing planting has yet to grow leaves and therefore it can be assumed that when this happens any partial views will be further obscure. The plant will not be visible from the main lower level courtyard (view points 4&5). There are views of Spectrum House from the southerly courtyard (view points 6&7) however the screen will be partially obscured due to both the parapet wall on the roof and the perspective.

## **Plant Location B, D & E:**

The plant in this location is hidden by both the courtyard building of Spectrum House and also the other surrounding buildings.

## **Plant Location C:**

The one existing unit that is being included in the application is visible in viewpoints 6, 7 & 8. As shown on p13, eight of the units on this facade are subject to the approved Certificate of Lawfulness (2020/5513/P) and the other two are moving to the new plant location A.



Haddo Estate: View point 1



Haddo Estate: View point 2



Haddo Estate: View point 3



Haddo Estate: View point 4





Haddo Estate: View point 5



Haddo Estate: View point 6



Haddo Estate: View point 7



Haddo Estate: View point 8