

NOTES:

KEY:

- Plot Boundary
- Lift
- Service Riser
- Circulation/Lobby
- Stair
- Storage
- 01A - Standard Studio
- 01B - Standard 'Deluxe' Studio
- 01C - Standard 'Deluxe' Studio, Chamfered
- 01D - Medium Shoulder Studio
- 01E - Medium Shoulder Studio, Chamfered
- 01F - Shoulder 'Deluxe' Studio
- 01G - Shoulder 'Deluxe' Studio, Chamfered
- 02A - Standard Accessible Studio
- 03A - Standard 'Twodio', North/South
- 03B - Standard 'Twodio', East/West/North
- Courtyard/Loggia/Terrace
- WC/Shower
- Laundrette
- Amenity
- Plant
- Office/Meeting Room
- Reception
- Residential Entrance
- Bike Store
- Bin Store
- Gym
- Cinema
- Management Room
- Post Room
- Existing Rooflight Above
- Proposed Rooflight Above
- Wheelchair Accessible Parking
- Sedum Roof
- Balised Roof
- Light-grey Precast reconstituted stone planter
- Refuge Area
- Roof Hatch
- Lift Overrun
- Smoke Shaft
- Ramp
- Cleaner's Store
- Comms Room

General Notes:

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- Project Risk Register

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- Structural Engineers Drawings and Specification (Iesie)
- MEP Engineers Drawings and Specification (Vitec)
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- Fire Strategy Report (IGA)
- Approved Inspector Report (Meridian)

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- Facade Engineer

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Health and Safety:

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Other:

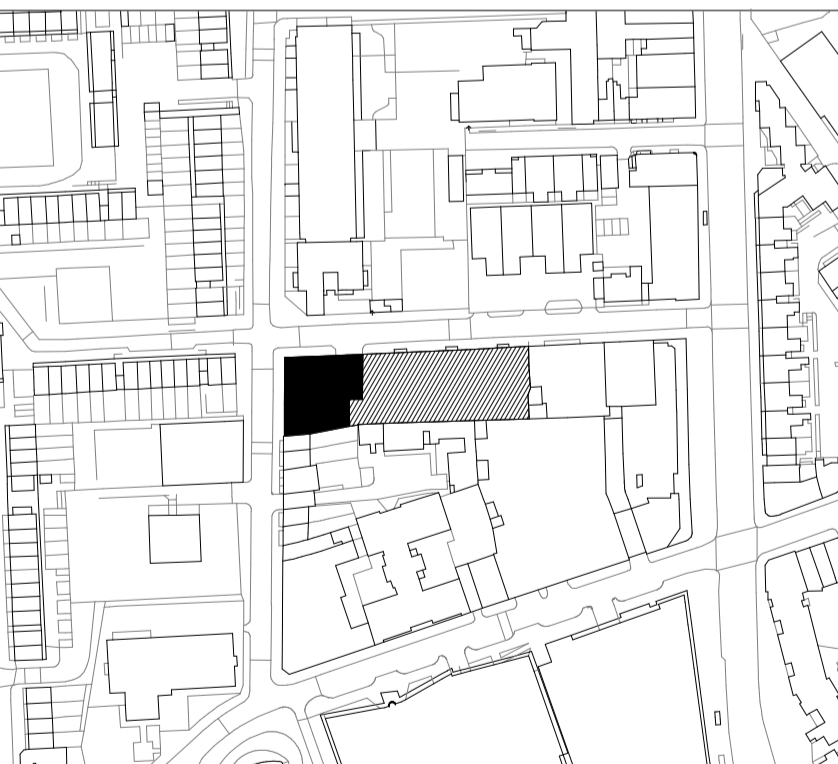
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S2 26.10.20 Stage 2

revision date amendment

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job title

WILLIAM ROAD

drawing title / location

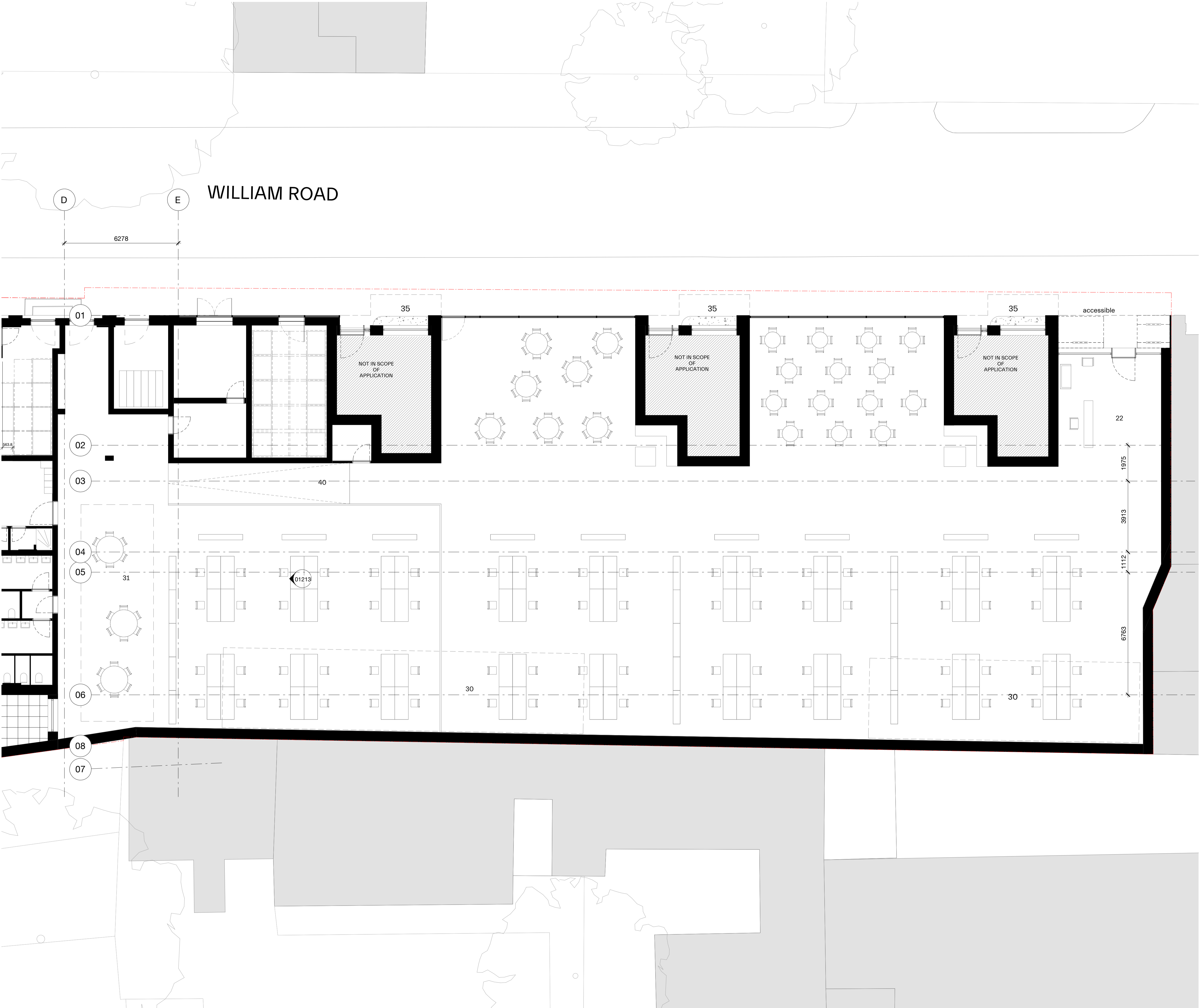
PROPOSED BASEMENT PLAN

status PLANNING

date 26/10/2020

scale 1:100 @ A1 1:200 @ A3

project	originator	zone	level	type	role	number	status - revision
A295	MCO	BA	BO	DR	A	01098	S2



- NOTES:
- KEY:
- 1. Plot Boundary
 - 2. Lift
 - 3. Service Riser
 - 4. Circulation/Lobby
 - 5. Stair
 - 6. Storage
 - 7. O1A - Standard Studio
 - 8. O1B - Standard 'Deluxe' Studio
 - 9. O1C - Standard 'Deluxe' Studio, Chamfered
 - 10. O1D - Medium Shoulder Studio
 - 11. O1E - Medium Shoulder Studio, Chamfered
 - 12. O1F - Shoulder 'Deluxe' Studio
 - 13. O1G - Shoulder 'Deluxe' Studio, Chamfered
 - 14. O2A - Standard Accessible Studio
 - 15. O3A - Standard 'Twoio', North/South
 - 16. O3B - Standard 'Twoio', East/West/North
 - 17. Courtyard/Loggia/Terrace
 - 18. Wc/Shower
 - 19. Laundrette
 - 20. Amenity
 - 21. Plant
 - 22. Office/Meeting Room
 - 23. Reception
 - 24. Residential Entrance
 - 25. Bike Store
 - 26. Bin Store
 - 27. Gym
 - 28. Cinema
 - 29. Management Room
 - 30. Post Room
 - 31. Existing Rooflight Above
 - 32. Proposed Rooflight Above
 - 33. Wheelchair Accessible Parking
 - 34. Sedum Roof
 - 35. Ballast Roof
 - 36. Light-grey Precast reconstituted stone planter
 - 37. Refuge Area
 - 38. Roof Hatch
 - 39. Lift Overrun
 - 40. Smoke Shaft
 - 41. Ramp
 - 42. Cleaner's Store
 - 43. Commie Room

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- Approved Inspector Report (Meridian)

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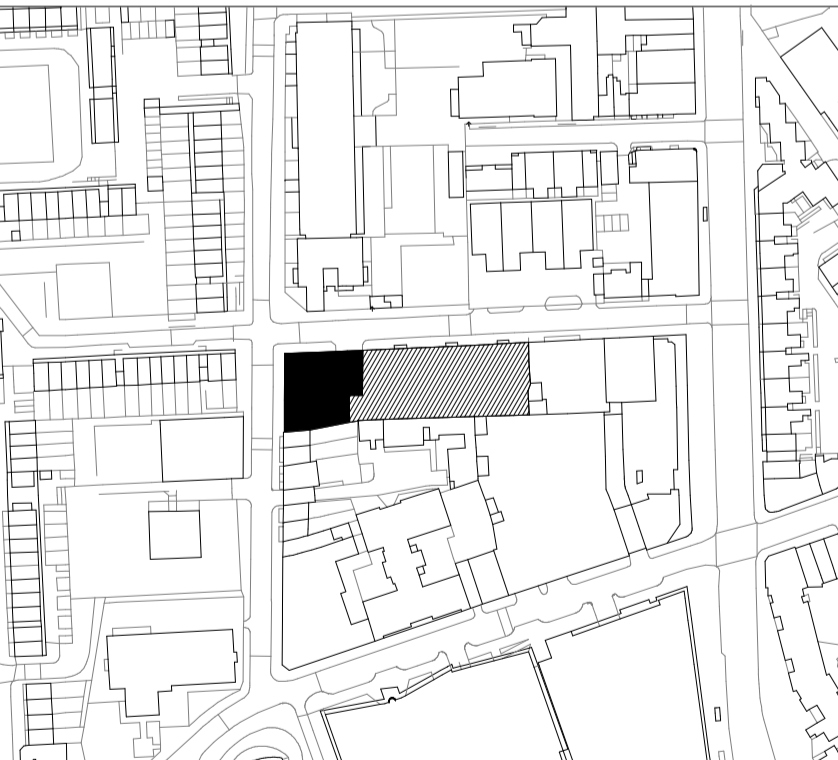
S226.10.20Stage 2

revisiondateamendment

SCALE BAR

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job title							
WILLIAM ROAD							
drawing title / location							
PROPOSED GROUND FLOOR PLAN - PLOT B							
status	PLANNING						
date	26/10/2020						
scale	1:100 @ A1				1:200 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	BB	GO	DR	A	01099	S2



NOTES:

KEY:

- Plot Boundary
- Lift
- Service Riser
- Circulation/Lobby
- Stair
- Storage
- O1A - Standard Studio
- O1B - Standard 'Deluxe' Studio
- O1C - Standard 'Deluxe' Studio, Chamfered
- O1D - Medium Shoulder Studio
- O1E - Medium Shoulder Studio, Chamfered
- O1F - Shoulder 'Deluxe' Studio
- O1G - Shoulder 'Deluxe' Studio, Chamfered
- O2A - Standard Accessible Studio
- O3A - Standard 'Twoio', North/South
- O3B - Standard 'Twoio', East/West/North
- Courtyard/Loggia/Terrace
- WC/Shower
- Laundrette
- Amenity
- Plant
- Office/Meeting Room
- Reception
- Residential Entrance
- Bike Store
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- Refuge Area
- Roof Hatch
- LIFT Overrun
- Smoke Shaft
- Ramp
- Cleaner's Store
- Comms Room

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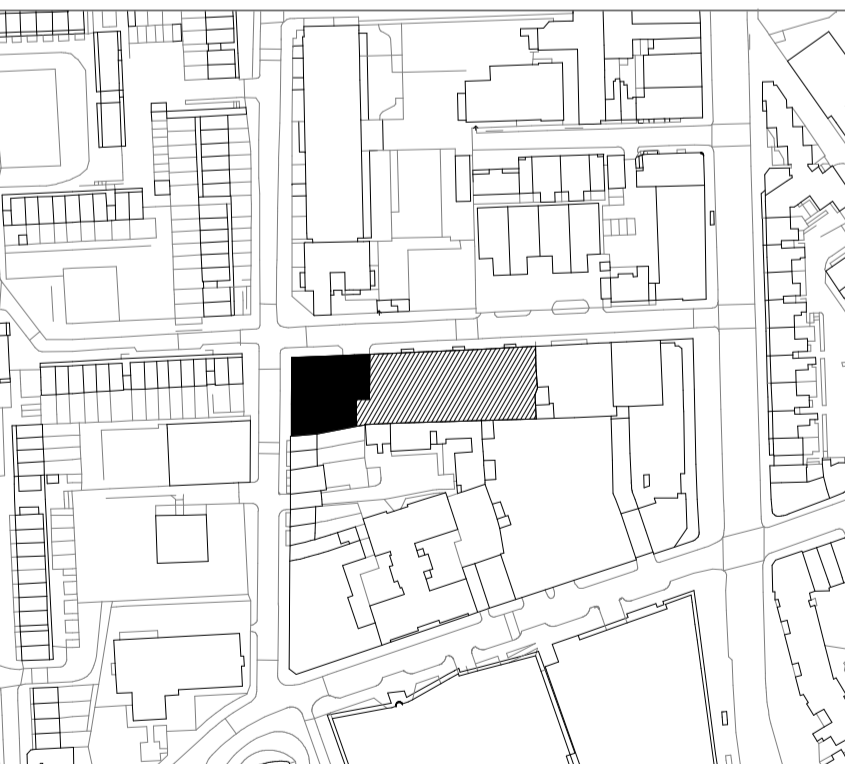
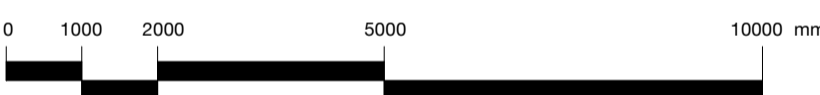
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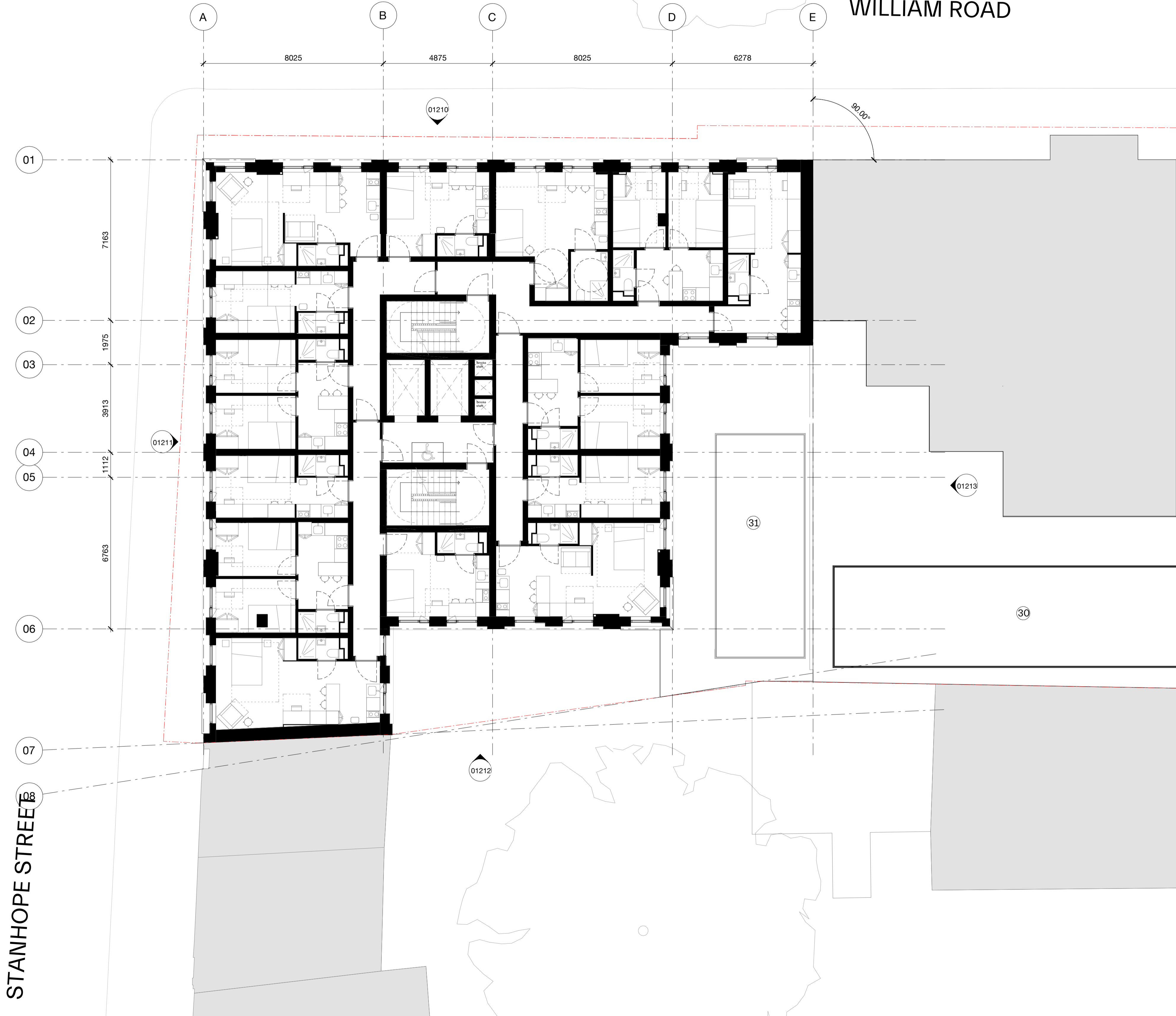
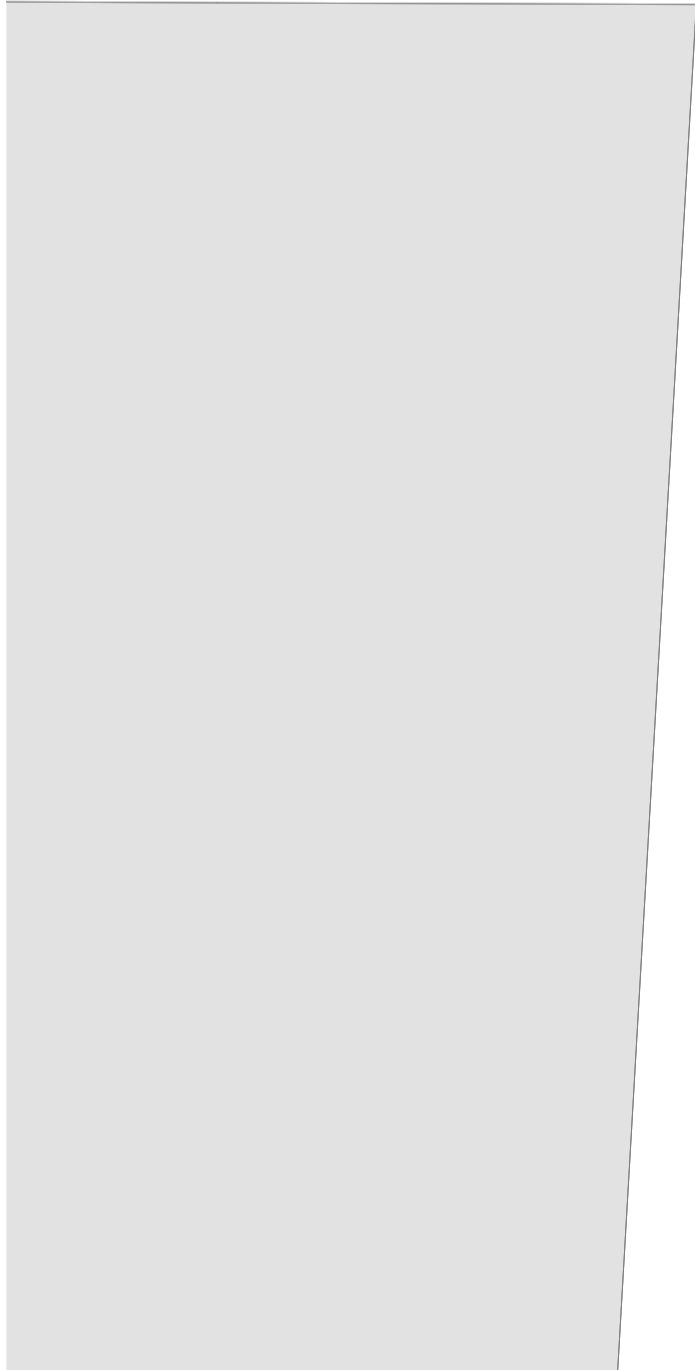
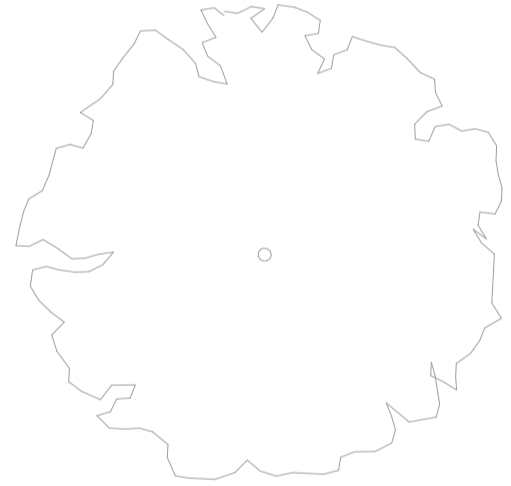
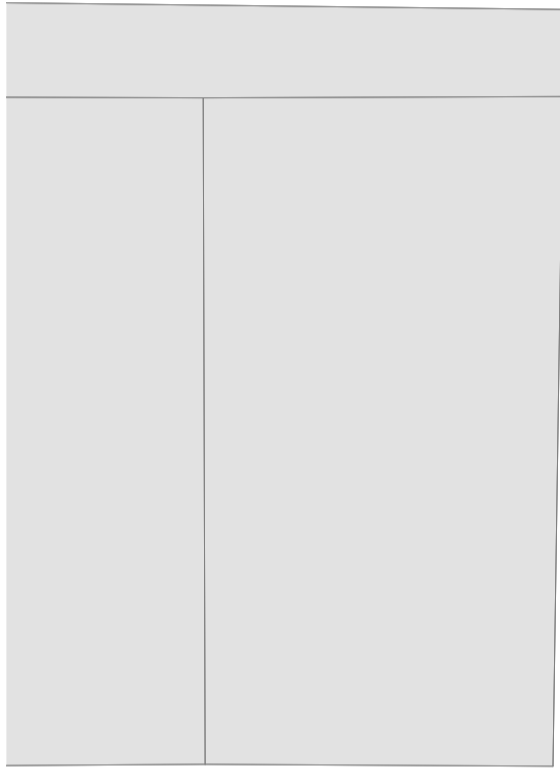
job title

WILLIAM ROAD

drawing title / location

PROPOSED GROUND FLOOR PLAN - PLOT A

status	PLANNING							
date	26/10/2020							
scale	1:100 @ A1				1:200 @ A3			
project	originator	zone	level	type	role	number	status - revision	
A295	MCO	BA	GO	DR	A	01100	S2	



NOTES:

KEY:

- Plot Boundary
- Lift
- Service Riser
- Circulation/Lobby
- Stair
- Storage
- O1A - Standard Studio
- O1B - Standard 'Deluxe' Studio
- O1C - Standard 'Deluxe' Studio, Chamfered
- O1D - Medium Shoulder Studio
- O1E - Medium Shoulder Studio, Chamfered
- O1F - Shoulder 'Deluxe' Studio
- O1G - Shoulder 'Deluxe' Studio, Chamfered
- O2A - Standard Accessible Studio
- O3A - Standard 'Twoclo', North/South
- O3B - Standard 'Twoclo', East/West/North
- Courtyard/Loggia/Terrace
- WC/Shower
- Laundrette
- Amenity
- Plant
- Office/Meeting Room
- Reception
- Residential Entrance
- Bike Store
- Bin Store
- Gym
- Cinema
- Management Room
- Post Room
- Existing Rooflight Above
- Proposed Rooflight Above
- Wheelchair Accessible Parking
- Sedum Roof
- Ballast Roof
- Light-grey Precast reconstituted stone planter
- Refuge Area
- Roof Hatch
- Lift Overrun
- Smoke Shaft
- Ramp
- Cleaner's Store
- Comms Room

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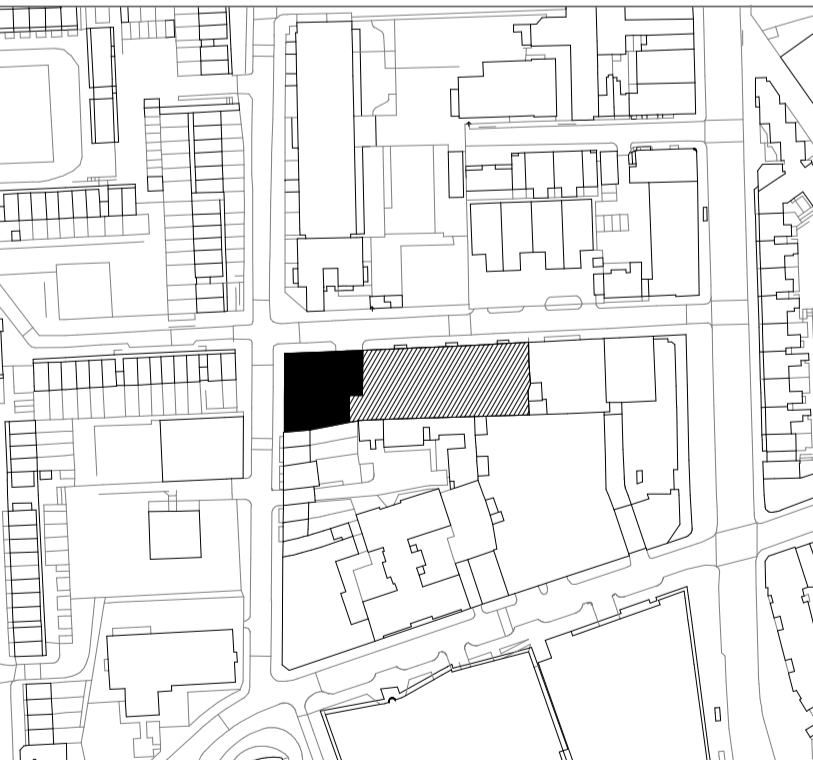
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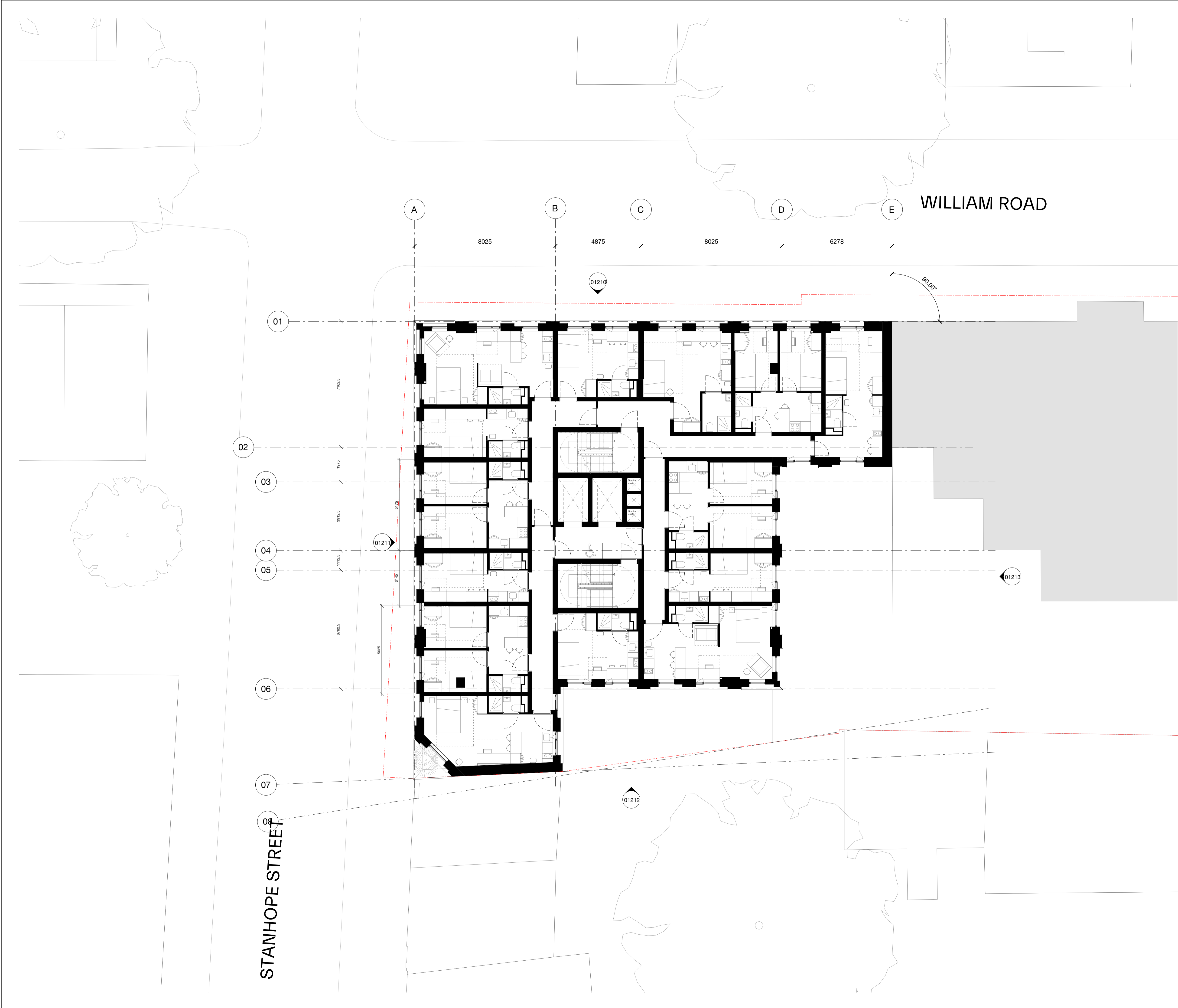
job title

WILLIAM ROAD

drawing title / location

PROPOSED LEVEL 01-03 FLOOR PLAN

status	PLANNING						
date	26/10/2020						
scale	1:100 @ A1				1:200 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	BA	O1	DR	A	01101	S2



NOTES:

KEY:

- Plot Boundary
- 1. Lift
- 2. Service Riser
- 3. Circulation/Lobby
- 4. Stair
- 5. Storage
- 6. O1A - Standard Studio
- 7. O1B - Standard 'Deluxe' Studio
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- 12. O1G - Shoulder 'Deluxe' Studio, Chamfered
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- 19. Amenity
- 20. Plant
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- 22. Reception
- 23. Residential Entrance
- 24. Bike Store
- 25. Bin Store
- 26. Gym
- 27. Cinema
- 28. Management Room
- 29. Post Room
- 30. Existing Rooflight Above
- 31. Proposed Rooflight Above
- 32. Wheelchair Accessible Parking
- 33. Sedum Roof
- 34. Ballast Roof
- 35. Light-grey Precast reconstituted stone planter
- 36. Refuge Area
- 37. Roof Hatch
- 38. Lift Overrun
- 39. Smoke Shaft
- 40. Ramp
- 41. Cleaner's Store
- 42. Commie Room

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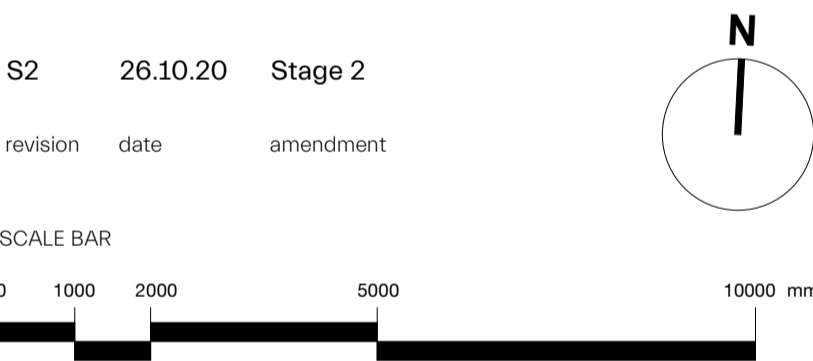
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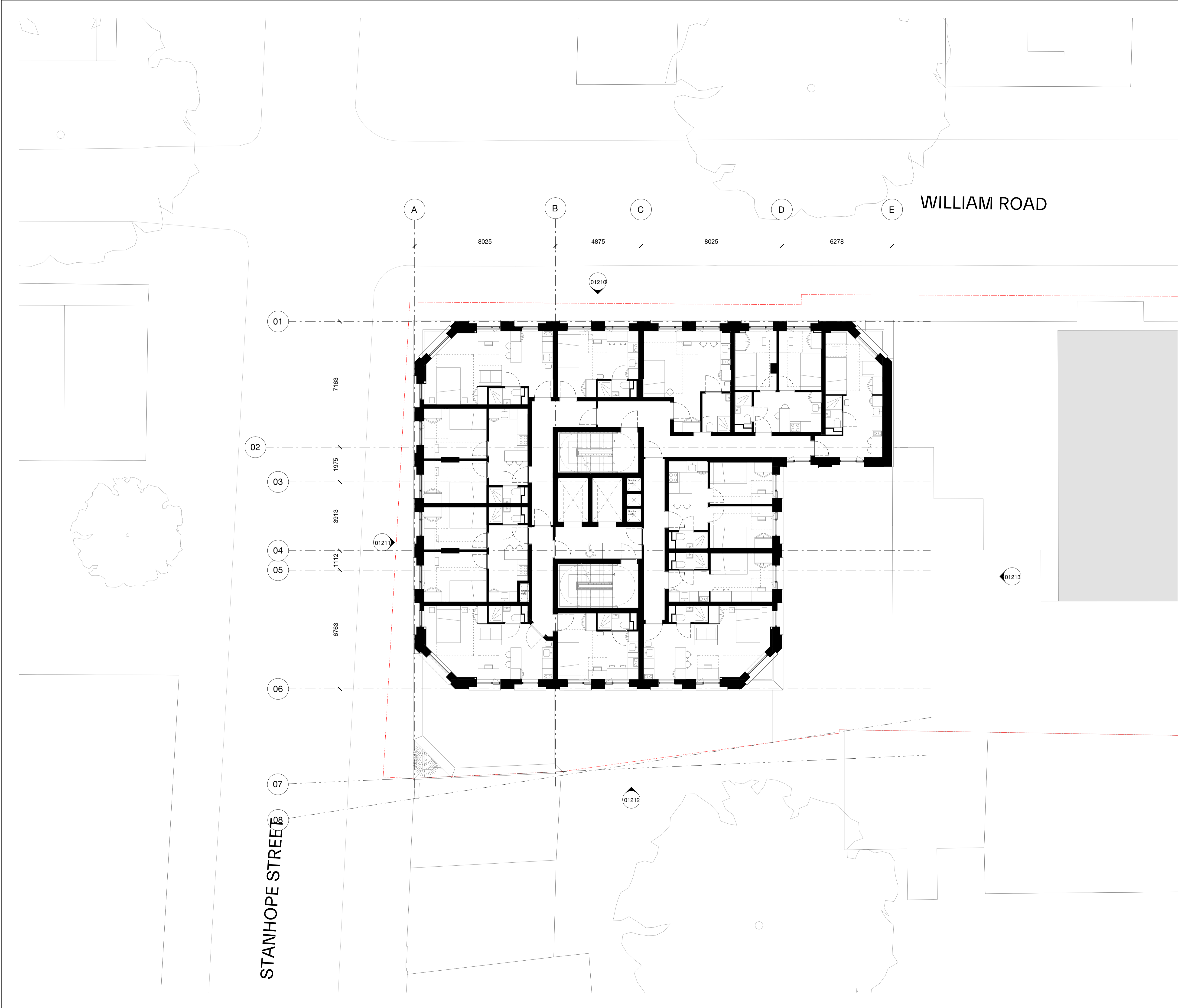


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job title							
WILLIAM ROAD							
drawing title / location							
PROPOSED LEVEL 04-05 FLOOR PLAN							
status	PLANNING						
date	26/10/2020						
scale	1:100 @ A1				1:200 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	BA	O4	DR	A	01104	S2



NOTES:

KEY:

- Plot Boundary
- 1. Lift
- 2. Service Riser
- 3. Circulation/Lobby
- 4. Stair
- 5. Storage
- 6. O1A - Standard Studio
- 7. O1B - Standard 'Deluxe' Studio
- 8. O1C - Standard 'Deluxe' Studio, Chamfered
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- 11. O1F - Shoulder 'Deluxe' Studio
- 12. O1G - Shoulder 'Deluxe' Studio, Chamfered
- 13. O2A - Standard Accessible Studio
- 14. O3A - Standard 'Twoio', North/South
- 15. O3B - Standard 'Twoio', East/West/North
- 16. Courtyard/Loggia/Terrace
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- 22. Reception
- 23. Residential Entrance
- 24. Bike Store
- 25. Bin Store
- 26. Gym
- 27. Cinema
- 28. Management Room
- 29. Post Room
- 30. Existing Rooflight Above
- 31. Proposed Rooflight Above
- 32. Wheelchair Accessible Parking
- 33. Sedum Roof
- 34. Ballast Roof
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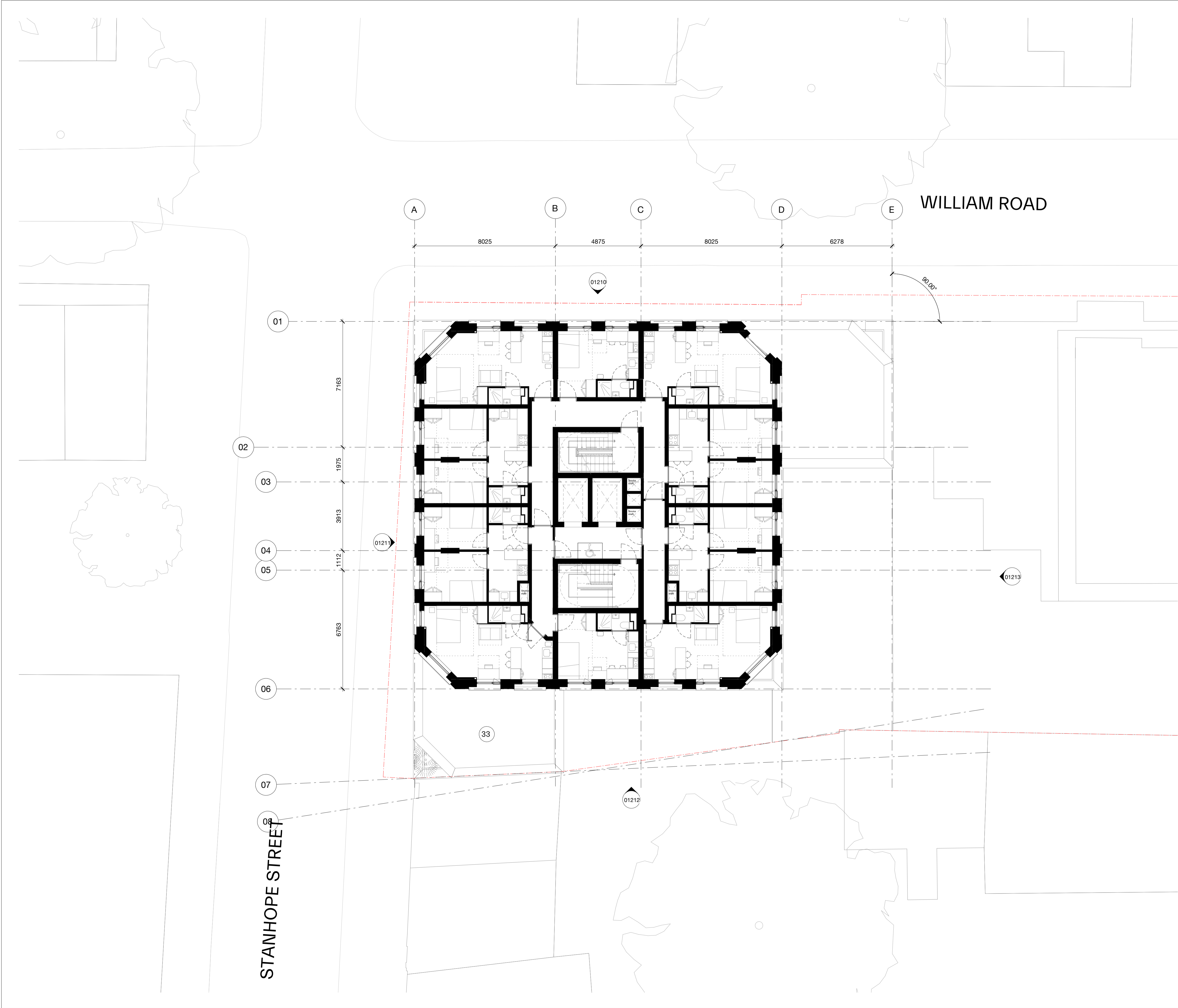
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job title							
WILLIAM ROAD							
drawing title / location							
PROPOSED LEVEL 06-07 FLOOR PLAN							
status	PLANNING						
date	26/10/2020						
scale	1:100 @ A1				1:200 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	BA	O6	DR	A	01106	S2



NOTES:

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- 29. Post Room
- 30. Existing Rooflight Above
- 31. Proposed Rooflight Above
- 32. Wheelchair Accessible Parking
- 33. Sedum Roof
- 34. Ballast Roof
- 35. Light-grey Precast reconstituted stone planter
- 36. Refuge Area
- 37. Roof Hatch
- 38. Lift Overrun
- 39. Smoke Shaft
- 40. Ramp
- 41. Cleaner's Store
- 42. Commis Room

General Notes:
These drawings have been produced by Morris+Company Ltd and reflect the current position of the scheme development at RIBA Stage 2; they should be read in conjunction with the following information prepared by Morris+Company Ltd:
- Designer's Health & Safety Risk Register
- Project Risk Register

This information should also be read in conjunction with the following information, prepared by other consultants, in order to demonstrate a coordinated design proposal at RIBA Stage 2:
- Structural Engineers Drawings and Specification (Jesji)
- MEP Engineers Drawings and Specification (Vitec)
- Acoustic Report (Hann Tucker)
- Transport & Servicing Strategy Report (Canaparo Associates)
- Fire Strategy Report (JGA)
- Approved Inspector Report (Meridian)

It should be noted that some areas of the scheme still require input from the specialist consultants in order to develop the design. Without input from these specialist consultants the design is based on a series of assumption and may be subject to design changes in the next stage. These are listed below, but not limited to:
- Sustainability consultant
- Landscape Architect
- Facade Access and Maintenance Consultant
- Facade Engineer

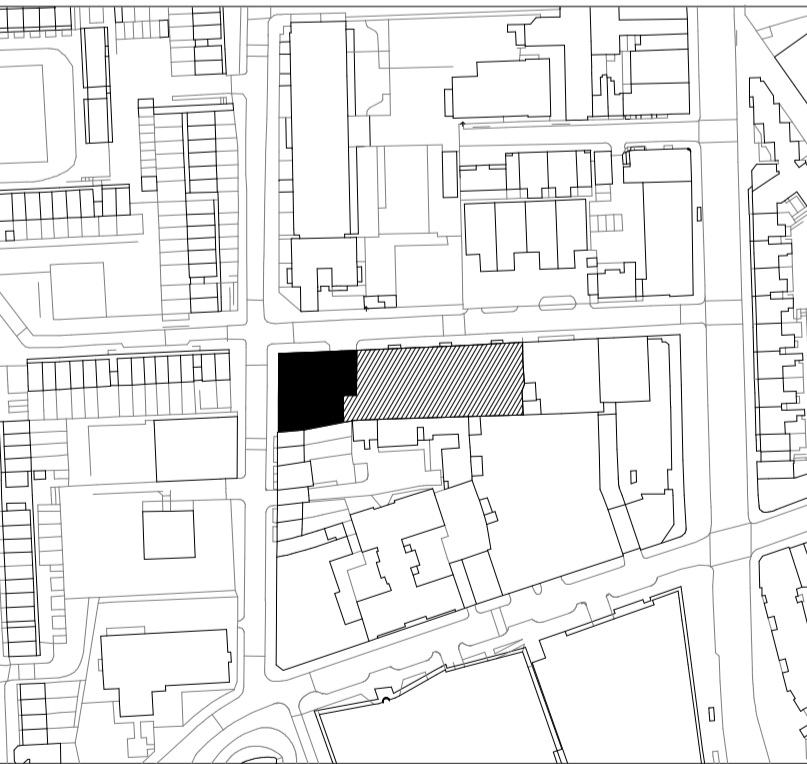
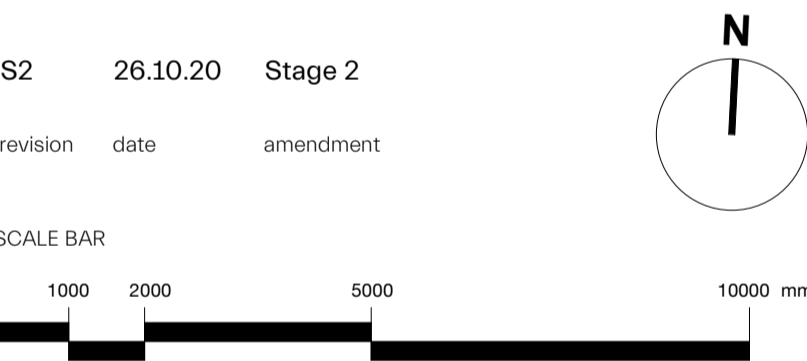
Survey Information:
- These drawings combine survey and site information produced by others and provided by client.
- Levels information received from Site Engineering Surveys Ltd.

Areas:
- All areas provided are intended for illustrative purposes only.
- Morris+Company advise that the validity of all quantities and numbers be subject to a detailed check, audit and sign off by an RICS chartered surveyor.

Health and Safety:
- The drawing shall be read in conjunction with the health and safety information.

Other:
- All floor to ceiling heights have been driven by the client's brief.
- Morris+Company do not accept any liability for decisions or actions derived from interpretation, extrapolation or use of the areas shown.

TO BE PRINTED IN COLOUR

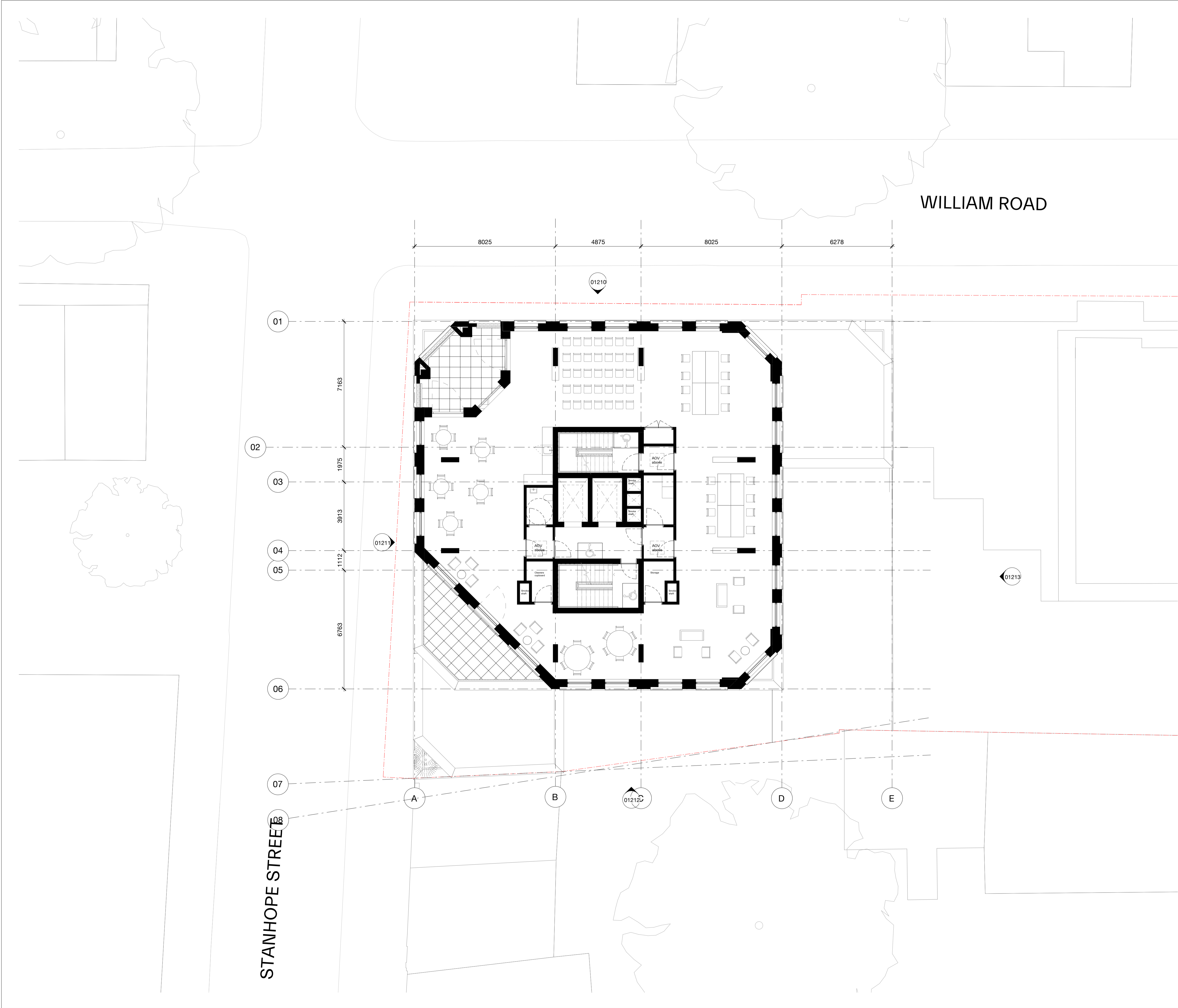


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- And such dimensions to be their responsibility
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- All dimensions in millimeters unless noted otherwise
- If in doubt ask Contract Administrator

job title							
WILLIAM ROAD							
drawing title / location							
PROPOSED LEVEL 08-13 FLOOR PLAN							
status	PLANNING						
date	26/10/2020						
scale	1:100 @ A1				1:200 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	BA	O8	DR	A	01108	S2



NOTES:

KEY:

- Plot Boundary
- Lift
- Service Riser
- Circulation/Lobby
- Stair
- Storage
- O1A - Standard Studio
- O1B - Standard 'Deluxe' Studio
- O1C - Standard 'Deluxe' Studio, Chamfered
- O1D - Medium Shoulder Studio
- O1E - Medium Shoulder Studio, Chamfered
- O1F - Shoulder 'Deluxe' Studio
- O1G - Shoulder 'Deluxe' Studio, Chamfered
- O2A - Standard Accessible Studio
- O3A - Standard 'Twodio', North/South
- O3B - Standard 'Twodio', East/West/North
- Courtyard/Loggia/Terrace
- WC/Shower
- Laundrette
- Amenity
- Plant
- Office/Meeting Room
- Reception
- Residential Entrance
- Bike Store
- Bin Store
- Gym
- Cinema
- Management Room
- Post Room
- Existing Rooftight Above
- Proposed Rooftight Above
- Wheelchair Accessible Parking
- Sedum Roof
- Ballast Roof
- Light-grey Precast reconstituted stone planter
- Refuge Area
- Roof Hatch
- Lift Overrun
- Smoke Shaft
- Ramp
- Cleaner's Store
- Commis Room

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Other:

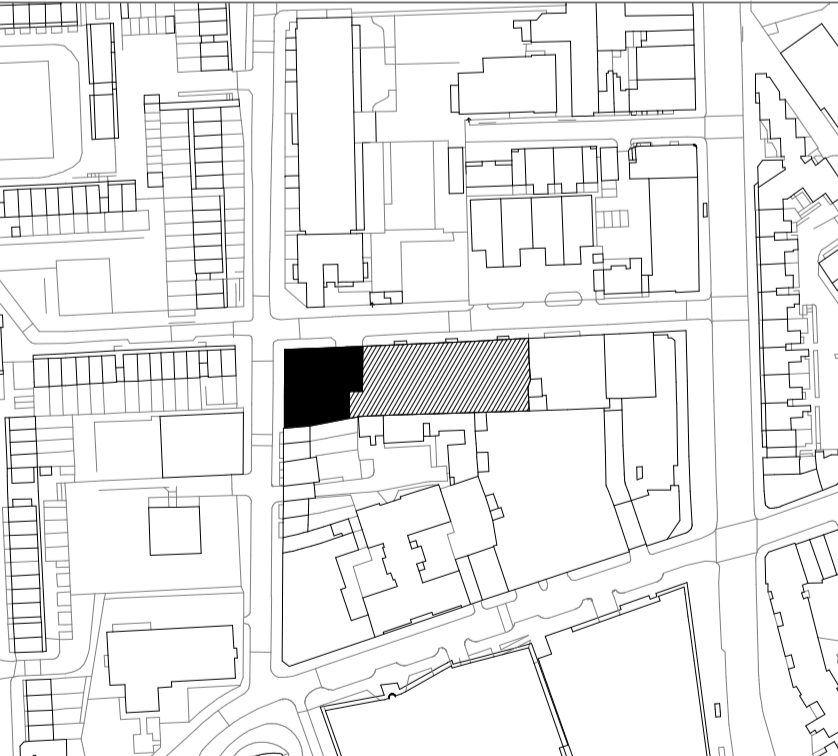
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TO BE PRINTED IN COLOUR

S2 26.10.20 Stage 2

revision date amendment

SCALE BAR



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- If in doubt ask Contract Administrator

job title

WILLIAM ROAD

drawing title / location

PROPOSED LEVEL 14 FLOOR PLAN

status

PLANNING

date

26/10/2020

scale

1:100 @ A1

1:200 @ A3

project

A295

originator

MCO

zone

BA

level

14

type

DR

role

A

number

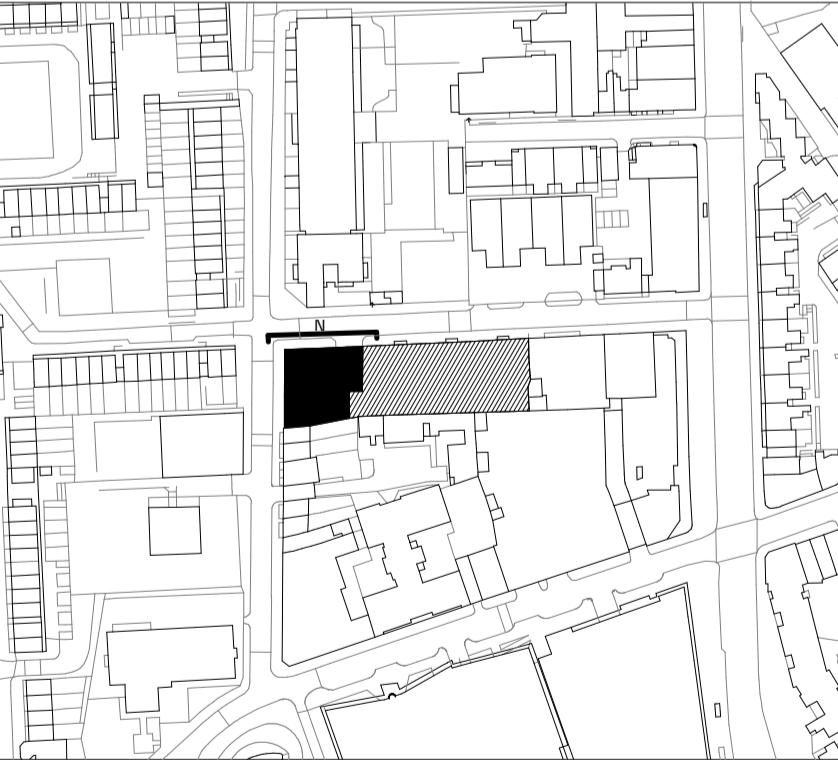
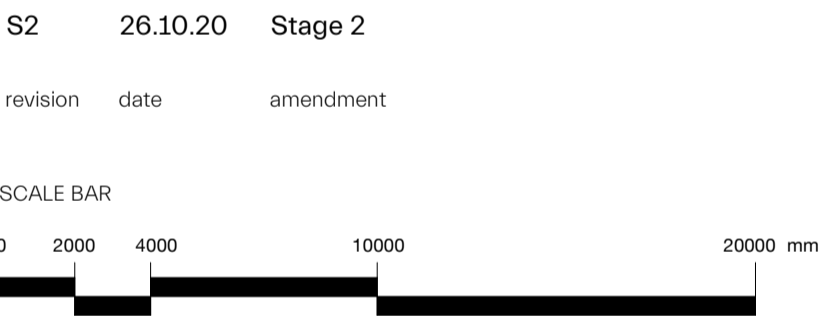
01114

status - revision

S2



- NOTES:
- KEY**
- Refer to Design and Access Statement for relevant material palettes, colours and textures.
1. Dark Plum coloured brickwork. Stretcher bond (brick-type 01)
 2. Light Grey/Cream coloured brickwork. Stretcher bond (brick-type 02)
 3. Light-Grey coloured Precast Reconstituted Stone lintel. Matte finish
 4. Light-Grey coloured Precast Reconstituted Stone Window sill. Matte Finish
 5. Light Grey/Cream coloured Aluminium window frame. Matte Finish coloured to match brick type 02
 6. Light Grey/Cream coloured Aluminium openable panel for ventilation. Matte Finish coloured to match brick type 02
 7. Light Grey/Cream coloured Aluminium spandrel panel. Matte Finish coloured to match brick type 02
 8. Light Grey/Cream coloured Louvered ventilated doors. Matte Finish coloured to match brick type 02
 9. Light Grey/Cream coloured Metal balustrade to loggia and terrace. Matte Finish coloured to match brick type 02
 10. Light Grey/Cream coloured Precast Reconstituted Stone coping. Matte finish
 11. Dark Grey/Charcoal black Metal panels. Matte Finish coloured to match existing stair core cladding in plot B.
 12. Dark plum coloured brickwork. Vertical stretcher bond (brick-type 01)
 13. Signage area. Embossed within Light-Grey coloured Precast Reconstituted Stone lintel.
 14. UKPN louvered door. Grey coloured metalwork door. to match other metalwork.
 15. Light-Grey coloured Precast Reconstituted Stone planter and bench
 16. Light-Grey coloured Aluminium frame glazed entrance doors. Matte Finish coloured to match brick type 02
 17. Light-Grey coloured Perforated Aluminium screen fixed to louveto roof plant enclosure. Matte Finish coloured to match brick type 02



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job title							
WILLIAM ROAD							
drawing title / location							
PROPOSED NORTH ELEVATION							
status	PLANNING						
date	26/10/2020						
scale	1: 200 @ A1				1:400 @ A3		
project	originator	zone	level	type	role	number	status - revision
A295	MCO	XX	ZZ	DR	A	01210	S2