

Holborn Links.

6 - 8 Southampton Place

HERITAGE ASSESSMENT | MAY 2022

On behalf of Hogarth Properties



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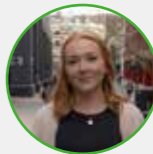
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Section 1

Introduction.

1 | Introduction

- 1.1 This Heritage Statement has been prepared to accompany a listed building consent application for 6,7 and 8 Southampton Place, London, WC1A 2DB (henceforth 'the Site').
- 1.2 The buildings form part of the Holborn Links Estate and are Grade II* listed buildings. They are also located within the Bloomsbury Conservation Area.
- 1.3 This report will:
 - Set out the relevant legislative and policy framework within which to understand the proposed redevelopment of the Site;
 - Provide a proportionate and robust analysis of the Site and surrounding area's historic development;
 - Describe the site and identify relevant designated heritage assets;
 - Appraise the heritage significance of the Site and identify its contribution to the Bloomsbury Conservation Area; and,
 - Provide a detailed assessment of impact for the proposals on the Site and its setting, and on the character and appearance of the Conservation Area.
- 1.4 The existing Site and surrounding area was appraised during site visits undertaken in 2021 and 2022, and a desk-based study was also undertaken which included review of the Bloomsbury Conservation Area Appraisal, and an Ordnance Survey map regression.
- 1.5 The report is produced by Icen Projects. Specifically, it is authored by Rebecca Mason BA (Hons) MSc MA IHBC, Associate - Built Heritage & Townscape with guidance and review by Laurie Handcock MA (Cantab) MSc IHBC, Director - Built Heritage & Townscape.

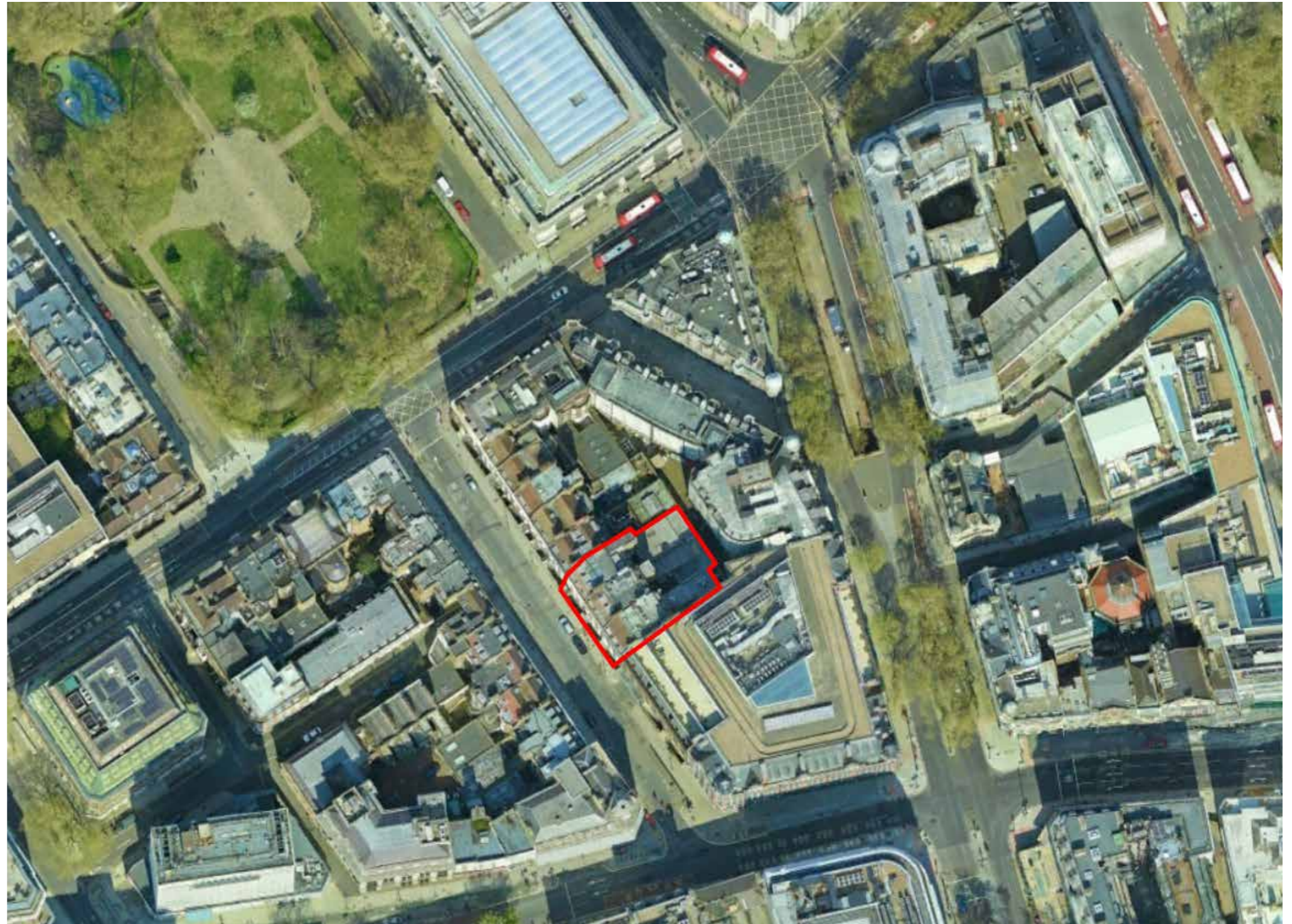


Figure 1.1 Site Location plan

Section 2

**Planning, Legislation, Policy &
Guidance.**

Legislation

- 2.1 Where any development may have a direct or indirect effect on designated heritage assets, there is a legislative framework to ensure the proposals are considered with due regard for their impact on the historic environment.
- 2.2 Primary legislation under Section 66 (1) of the Planning (Listed Buildings and Conservation Areas Act) 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority or Secretary of State, as relevant, shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest that it possesses.
- 2.3 Section 72(1) of the Act, meanwhile, states that:
- 'In the exercise, with respect to any buildings or other land in a conservation area, of any functions under or by virtue of any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'

National Policy

National Planning Policy Framework (July 2021) (As amended)

- 2.4 In July 2018, the government published the updated National Planning Policy Framework ("NPPF), which was again updated in February, June 2019 and July 2021. This maintains the focus on sustainable development that was established as the core of the previous, 2012, NPPF.
- 2.5 This national policy framework encourages intelligent, imaginative and sustainable approaches to managing change. Historic England has defined this approach, which is reflected in the NPPF, as 'constructive conservation': defined as 'a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment' (Constructive Conservation in Practice, Historic England, 2009).
- 2.6 Section 12, 'Achieving well-designed places', reinforces the importance of good design in achieving sustainable development, by ensuring the creation of inclusive and high quality places. This section of the NPPF affirms, in paragraph 130, the need for new design to function well and add to the quality of the surrounding area, establish a strong sense of place, and respond to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).
- 2.7 The guidance contained within Section 16, 'Conserving and enhancing the historic environment', relates to the historic environment, and developments which may have an effect upon it.
- 2.8 Heritage Assets are defined in Annex 2 of the NPPF as: 'A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).' Listed buildings and Conservation Areas are both designated heritage assets.
- 2.9 'Significance' is defined as 'The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site's Statement of Outstanding Universal Value forms part of its significance.'
- 2.10 The 'Setting of a heritage asset' is defined as 'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'
- 2.11 Paragraph 192 requires local authorities to maintain or have access to a historic environment record. This should contain up-to-date evidence about the historic environment in their area and be used to assess the significance of heritage assets and the contribution they make to their environment.
- 2.12 Paragraph 194 states that, when determining applications, local planning authorities should require applicants to describe the significance of the heritage assets affected and any contribution made by their setting. The level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance. According to Paragraph 190, local planning authorities are also obliged to identify and assess the significance of any heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.
- 2.13 Paragraph 197 emphasises that local planning authorities should take account of: the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.
- 2.14 Paragraph 199 states that when considering

the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. It emphasises that the weight given to an asset's conservation should be proportionate to its significance, and notes that this great weight should be given irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

2.15 Paragraph 200 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

2.16 Paragraphs 201 and 202 address the balancing of harm against public benefits. If a balancing exercise is necessary (i.e. if there is any harm to the asset), considerable weight should be applied to the statutory duty where it arises. Proposals that would result in substantial harm or total loss of significance should be refused, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss (as per Paragraph 201). Whereas, Paragraph 202 emphasises that where less than substantial harm will arise as a result of a proposed development, this harm should be weighed against the public benefits of a proposal, including securing its optimum viable use.

2.17 Paragraph 203 requires a balanced judgment for proposals that affect non-designated heritage assets, having regard to the scale of any harm or loss and the significance of the heritage asset.

2.18 Paragraph 206 encourages opportunities for new development within, and within the setting of, Conservation Areas and World Heritage Sites, to enhance or better reveal their significance. It requires favourable treatment for proposals that preserve those elements of the setting that make a positive contribution to the asset or which better reveal its significance.

2.19 Paragraph 207 notes that not all elements of Conservation Areas and World Heritage Sites will contribute to their significance, but that, if harm to their significance is caused, decisions should follow the balancing exercise set out in paragraph 201 and 202, as appropriate.

2 | Planning Legislation, Policy & Guidance

Planning Practice Guidance (“PPG”) (Department for Communities and Local Government, last updated July 2019)

2.20 The guidance on Conserving and enhancing the historic environment in the PPG supports the NPPF. Paragraph 002 states that conservation is an active process of maintenance and managing change that requires a flexible and thoughtful approach, and that neglect and decay of heritage assets is best addressed through ensuring that they remain in active use that is consistent with their conservation.

2.21 Paragraph 006 sets out how heritage significance can be understood in the planning context as archaeological, architectural, artistic or historic, defined as follows:

archaeological interest: As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.

architectural and artistic interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.

historic interest: An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

2.22 The PPG emphasises in paragraph 007 the importance of assessing the nature, extent and importance of a heritage asset in understanding the potential impact and acceptability of development proposals.

2.23 Paragraph 018 explains that, where potential harm to designated heritage assets is identified, it needs to be categorised as either less than substantial harm or substantial harm (which includes total loss) in order to identify which policies in the National Planning Policy Framework (paragraphs 200-202) apply. It goes on to state that whether a proposal causes substantial harm will be a judgment for the decision-maker, having regard to the circumstances of the case and the policy in the National Planning Policy Framework. In general terms, substantial harm is a high test, so it may not arise in many cases. For example, in determining whether works to a listed building constitute substantial harm, an important consideration would be whether the adverse impact seriously affects a key element of its special architectural or historic interest.

2.24 Harm may arise from works to the heritage asset or from development within its setting. A thorough assessment of the impact on setting needs to take into account, and be proportionate to, the significance of the heritage asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it.

2.25 The PPG also provides clear guidance in paragraph 020 on the meaning of ‘public benefits’, particularly in relation to historic environment policy, including paragraphs 201 to 202 of the NPPF. The PPG makes clear that public benefits should be measured according to the delivery of the three key drivers of sustainable development: economic, social and environmental outcomes, all of which are reflected in the objectives of the planning system, as per Paragraph 8 of the NPPF. Public benefits include heritage benefits, and do not always have to be visible or accessible to the public in order to be genuine public benefits, for example, works to a listed private dwelling which secure its future as a designated heritage asset could be a public benefit.

Historic Environment Good Practice Advice in Planning

2.26 To support the national policies, three separate Good Practice Advice in Planning Notes (GPA’s) have been published by Historic England.

2.27 GPA 1: The Historic Environment in Local Plans [March 2015]

2.28 This advice note focuses on the importance of identifying heritage policies within Local Plans. The advice stresses the importance of formulating Local Plans that are based on up-to-date and relevant evidence about the economic, social and environmental characteristics and prospects of the area, including the historic environment, as set out by the NPPF.

2.29 The document provides advice on how information about the local historic environment can be gathered, emphasising the importance of not only setting out known sites, but in understanding their value (i.e. significance). This evidence should be used to define a positive strategy for the historic environment and the formulation of a plan for the maintenance and use of heritage assets and for the delivery of development including within their setting that will afford appropriate protection for the asset (s) and make a positive contribution to local character and distinctiveness.

2.30 The document gives advice on how the heritage policies within Local Plans should identify areas that are inappropriate for development as well as defining specific Development Management Policies for the historic environment.

2.31 GPA 2: Managing Significance in Decision-Taking in the Historic Environment [March 2015]

2.32 This document provides advice on numerous ways in which decision-taking in the historic environment could be undertaken, emphasising that the first step for all applicants is to understand the significance of any affected heritage asset and the contribution of its setting to its significance. In line with the NPPF and PPG, the document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged. The advice suggests a structured staged approach to the assembly and analysis of relevant information and is as follows:

- Understand the significance of the affected assets;
- Understand the impact of the proposal on that significance;
- Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
- Look for opportunities to better reveal or enhance significance;
- Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;
- Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

2.33 The advice reiterates that heritage assets may be affected by direct physical change or by change in their setting. Assessment of the nature, extent and importance of the significance of a heritage asset and the contribution of its setting at an early stage can assist the planning process in informed decision-taking.

- 2.34 The document sets out the recommended steps for assessing significance and the impact of development proposals upon it, including examining the asset and its setting and analysing local policies and information sources. In assessing the impact of a development proposal on the significance of a heritage asset the document emphasises that the cumulative impact of incremental small-scale changes may have as great an effect on the significance of a heritage asset as a larger scale change. Crucially, the nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be necessary.
- 2.35 GPA 3: The Setting of Heritage Assets (2nd Edition) [December 2017]
- 2.36 This advice note focuses on the management of change within the setting of heritage assets. It replaces The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3 – 1st edition, (2015) and Seeing the History in the View: A Method for assessing Heritage Significance within Views (English Heritage, 2011).
- 2.37 The advice in this document, in accordance with the NPPF, emphasises that the information required in support of applications for planning permission and listed building consent should be no more than is necessary to reach an informed decision, and that activities to conserve or invest need to be proportionate to the significance of the heritage assets affected and the impact on the significance of those heritage assets. At the same time those taking decisions need enough information to understand the issues.
- 2.38 This note gives assistance concerning the assessment of the setting of heritage assets and the statutory obligation on decision-makers to have special regard to the desirability of preserving listed buildings and their settings; and that settings can contribute to the significance of a heritage asset.
- 2.39 This note gives general advice on understanding setting and how it may contribute to the significance of heritage assets. It also provides a staged approach to taking decisions on the level of the contribution which setting and related views make to the significance of heritage assets. It suggests that, at the pre-application or scoping stage, the local authority, having due regard to the need for proportionality:
- 2.40 indicates whether it considers a proposed development has the potential to affect the setting of (a) particular heritage asset(s), or
- specifies an ‘area of search’ around the proposed development within which it is reasonable to consider setting effects, or
 - advises the applicant to consider approaches such as a ‘Zone of Visual Influence’ or ‘Zone of Theoretical Visibility’ in relation to the proposed development in order to better identify heritage assets and settings that may be affected.
- 2.41 Particularly for developments that are not likely to be prominent or intrusive, the assessment of effects on setting may often be limited to the immediate surroundings, while taking account of the possibility that setting may change as a result of the removal of impermanent landscape or townscape features, such as hoardings or planting.
- 2.42 This should be followed by an analysis to assess whether the setting of an affected heritage asset makes a contribution to its significance and the extent and/or nature of that contribution; both setting, and views which form part of the way a setting is experienced, may be assessed additionally for the degree to which they allow significance to be appreciated.
- 2.43 The next stage is to identify the effects a development may have on setting(s) and to evaluate the resultant degree of harm or benefit to the significance of the heritage asset(s).
- 2.44 At the proposal stage, ways to maximise enhancement and avoid or minimise harm should be considered. Enhancement (see NPPF, paragraph 137) may be achieved by actions including:
- removing or re-modelling an intrusive building or feature
 - replacement of a detrimental feature by a new and more harmonious one
 - restoring or revealing a lost historic feature or view
 - introducing a wholly new feature that adds to the public appreciation of the asset
 - introducing new views (including glimpses or better framed views) that add to the public experience of the asset, or
 - improving public access to, or interpretation of, the asset including its setting.

Regional Policy

The London Plan

- 2.45 Regional policy for the London area is defined by the London Plan. The New London Plan has now been adopted (March 2021) and deals with heritage issues in Chapter 7 Heritage and Culture, covering policies HC1 – HC7, London’s Living Spaces and Places – Historic environment and landscapes.
- 2.46 Policy HC1 Heritage Conservation and Growth requires boroughs to develop evidence that demonstrates a clear understanding of London’s historic environment. It further requires Boroughs to use this knowledge to inform the effective integration of London’s heritage in regenerative change by:
- 2.47 1.setting out a clear vision that recognises and embeds the role of heritage in place-making;
- 2.48 2.utilising the heritage significance of a site or area in the planning and design process;
- 2.49 3.integrating the conservation and enhancement of heritage assets and their settings with innovative and creative contextual architectural responses that contribute to their significance and sense of place; and,
- 2.50 4.delivering positive benefits that conserve and enhance the historic environment, as well as contributing to the economic viability, accessibility and environmental quality of a place, and to social wellbeing.
- 2.51 Part C - E of Policy HC 1 state that:
- 2.52 C “Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process”.

- 2.53 D “Development proposals should identify assets of archaeological significance and use this information to avoid harm or minimise it through design and appropriate mitigation. Where applicable, development should make provision for the protection of significant archaeological assets and landscapes. The protection of undesignated heritage assets of archaeological interest equivalent to a scheduled monument should be given equivalent weight to designated heritage assets”.
- 2.54 E “Where heritage assets have been identified as being At Risk, boroughs should identify specific opportunities for them to contribute to regeneration and place-making, and they should set out strategies for their repair and reuse”.

Local Development Plan

London Borough of Camden Local Plan, 2017

- 2.55 The London Borough of Camden’s Local Plan was adopted by the Council on 3 July 2017. Along with the Local Plan, Supplementary Planning Documents (SPDs) also form a key part of LB Camden’s Local Development Framework. Relevant heritage policies contained within Local Development Plan documents are as follows:
- Policy D1 Design part (q)
 - Policy D2 Heritage.
- Policy D1 ‘Design’ requires high quality design that, relevant to this assessment:
- ‘respects local context and character’;
 - ‘preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage’;
 - ‘comprises details and materials that are of high quality and complement the local character’;
 - ‘preserves strategic and local views’.
- Policy D2 Heritage states that ‘The Council will preserve and, where appropriate, enhance Camden’s rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens and locally listed heritage assets’. Regarding Conservation Areas, the Council will:
- ‘require that development within Conservation Areas preserves or, where possible, enhances the character or appearance of the area;
 - resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a Conservation Area;
 - resist development outside of a Conservation Area that causes harm to the character or appearance of that Conservation Area; and
 - preserve trees and garden spaces which contribute to the character and appearance of a Conservation Area or which provide a setting for Camden’s architectural heritage.’

Section 3

Historic Development of the Site and Surroundings.

3 | Historic Development of the Site and Surroundings

Methodology

3.1 The following historic development of the site and its surroundings is based upon map regression and the secondary sources listed in Appendix 2.

Early History of the Surrounding Area

3.2 The Site lies adjacent to a major Roman route running along High Holborn / Oxford Street. The Roman road remained in use through the Saxon period and lay close to the predictable resources of the River Thames and the River Fleet.

3.3 By the 10th century a settlement had developed in the area and took its name from the Holebourne stream (a tributary of the Fleet River) and it is first recorded as land granted to Westminster Abbey by King Edgar.

3.4 The route remained an important trade route and has supplied the city with goods such as wool, corn, and timber since the thirteenth century.

3.5 Holborn remained relatively rural, but a small suburb developed from the Middle Ages and several grand suburban houses were constructed. A few of these were later established as lawyers' colleges. If the colleges in the area, two now survive in Lincoln's Inn (1422) and Gray's Inn (established 1569).

17th Century Onwards

3.6 The Site sits within the wider area of Bloomsbury which takes its name from the Blemond family, whose manor stood in the now Bloomsbury Square. The construction of Southampton House and Bloomsbury Square was instructed by Lord Southampton in 1657 after the Civil War.

3.7 A period of expansion began following the Plague of 1665 and the Great Fire of London in 1666, and a series of the medieval manor houses and their associated agricultural land were demolished and replaced by housing, commercial premises, and churches.

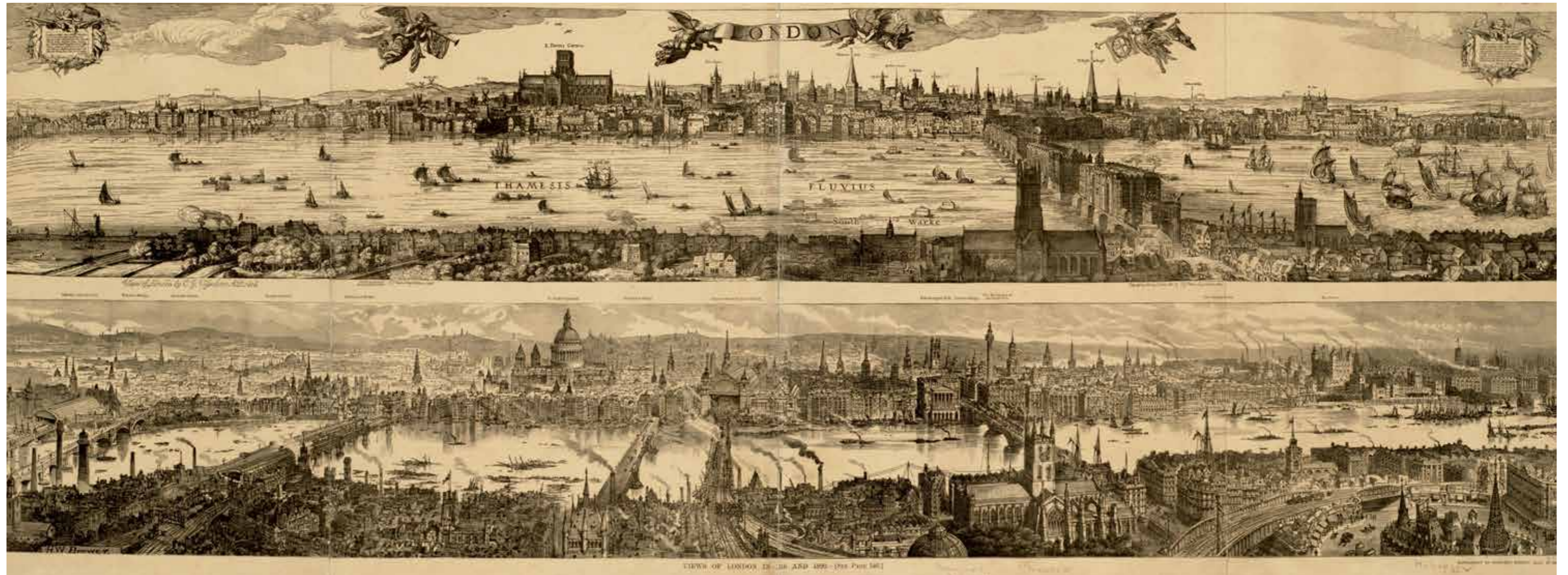


Figure 3.1 Comparative views of London in 1616 and 1890 showing large scale development
Source: map reproduction courtesy of the Norman B. Leventhal Map & Education Center at the Boston Public Library

3 | Historic Development of the Site and Surroundings

- 3.8 The 18th century saw the growth of the fashionable Bloomsbury, characterised by new squares and linking streets. Development also continued to the west, and it became an increasingly desirable area to live. This process of expansion continued for many years until roughly 1840, yet a consistency in style and building type was adhered to.
- 3.9 The Victorian Era saw an increase of industrial uses on the eastern fringes of Bloomsbury and the establishment of University College, Great Ormond Street Hospital, and the British Museum. A number of slums had appeared in the older areas of Bloomsbury such as St Giles High Street, these were demolished and replaced by the construction of New Oxford Street and expanded commercial areas.
- 3.10 During the 20th century, expansion of academic and cultural uses proceeded, with buildings such as the hospital experiencing numerous additions and alterations.
- 3.11 Bloomsbury suffered significant bomb damage during World War Two and areas to the east of the Site were significantly affected, this led to the replacement of some older housing with new larger scale developments (figure 3.6).



Figure 3.2 'Agas Map' originally printed 1581 and reproduced in 1633 (Site location circled)
Source: <https://www.layersoflondon.org/>



Figure 3.3 Mapping by William Morgan 1682 showing the expansion northwards (Site location circled)
Source: <https://www.layersoflondon.org/>



Figure 3.4 Mapping produced by William Gough 1746
Source: <https://www.oldmapsonline.org/>

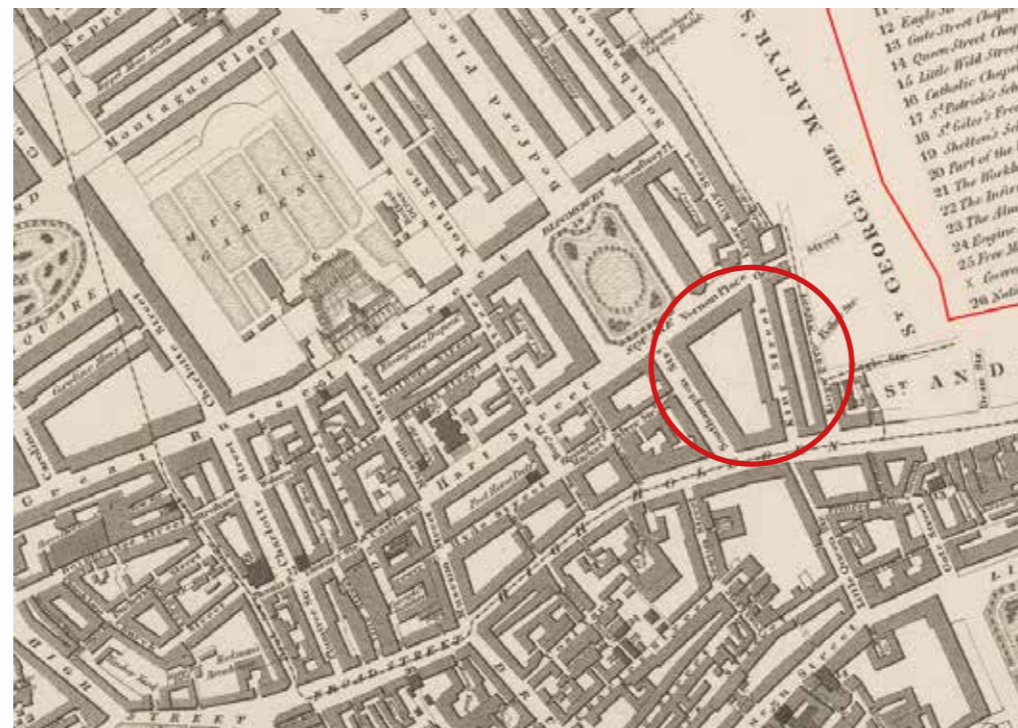


Figure 3.5 Mapping produced for the Duke of Bedford 1824 (Site location circled)
Source: <https://www.oldmapsonline.org/>



Figure 3.6 Mapping produced for the Duke of Bedford 1824 (Site location circled)
Source: <https://www.oldmapsonline.org/>

3 | Historic Development of the Site and Surroundings

Historical Development of the Site

- 3.12 Number 6, 7 and 8 Southampton Place form a group of terraced townhouses from numbers 1 through to 8, that date to the mid 18th century circa 1758 - 1763.
- 3.13 These Georgian townhouses were constructed at a time of expansion northwards from the City of London to create fashionable residential suburbs centred around public or private squares.
- 3.14 Southampton Place leads off from Bloomsbury Square, which is visible on the mapping from 1682 (figure 3.3), the engraving of c.1720 (figure 3.8) and figure 3.9. Figure 3.3 shows the beginnings of residential neighbourhoods in Bloomsbury and Bloomsbury Square with larger estates and open land to the north.
- 3.15 Although the current buildings that occupy the Site date to the Georgian Era. Figure 3.3 clearly shows a row of buildings running along Southampton Place, then called Southampton Street. This road ran central to Bloomsbury Square, directly opposite Southampton House. Southampton House was constructed by Lord Southampton in 1657 and remains visible in the mapping from 1746 (3.4). However, it was demolished in 1800 to make way for more Georgian townhouses, now known as Bedford Place and Russel Square Gardens designed by Humphry Repton.
- 3.16 It is possible that the original buildings occupying the Site on Southampton Place (then Street) were associated with the estate of Lord Southampton and Southampton House. This would mean they were constructed in the mid 17th century and demolished roughly 100 years later.
- 3.17 The Georgian townhouses on Southampton Place were designed or at least constructed under the direction of Henry Flintcroft. Flintcroft also designed the numbers 5 and 6 on the south western corner of Bloomsbury Square, which are now Grade II* listed. 5 and 6 are a similar style to the terrace of Southampton Place and consist of three storeys and stock brick with a simple stone banding.
- 3.18 Numbers 6, 7 and 8 Southampton Place are faced in darkened London stock brick, with a simple stone band at first floor level. The buildings have a basement level and tiled mansard roofs. The buildings maintain a consistent facade with three sash windows per floor and an entrance doorway occupying the left side bay on the ground floor.

- 3.19 Originally residential properties, 6 - 8 Southampton Place were sympathetically converted into offices at some point during the 20th century.
- 3.20 Each building is a separate townhouse, however 6 and 7 have interconnecting doors in the basement, ground floor and fourth floor level.
- 3.21 To the rear of 6,7 and 8 there are numerous extensions and later additions including some of 19th century Victorian construction. However, these have been extensively remodelled to fit the buildings various uses throughout the 20th century.

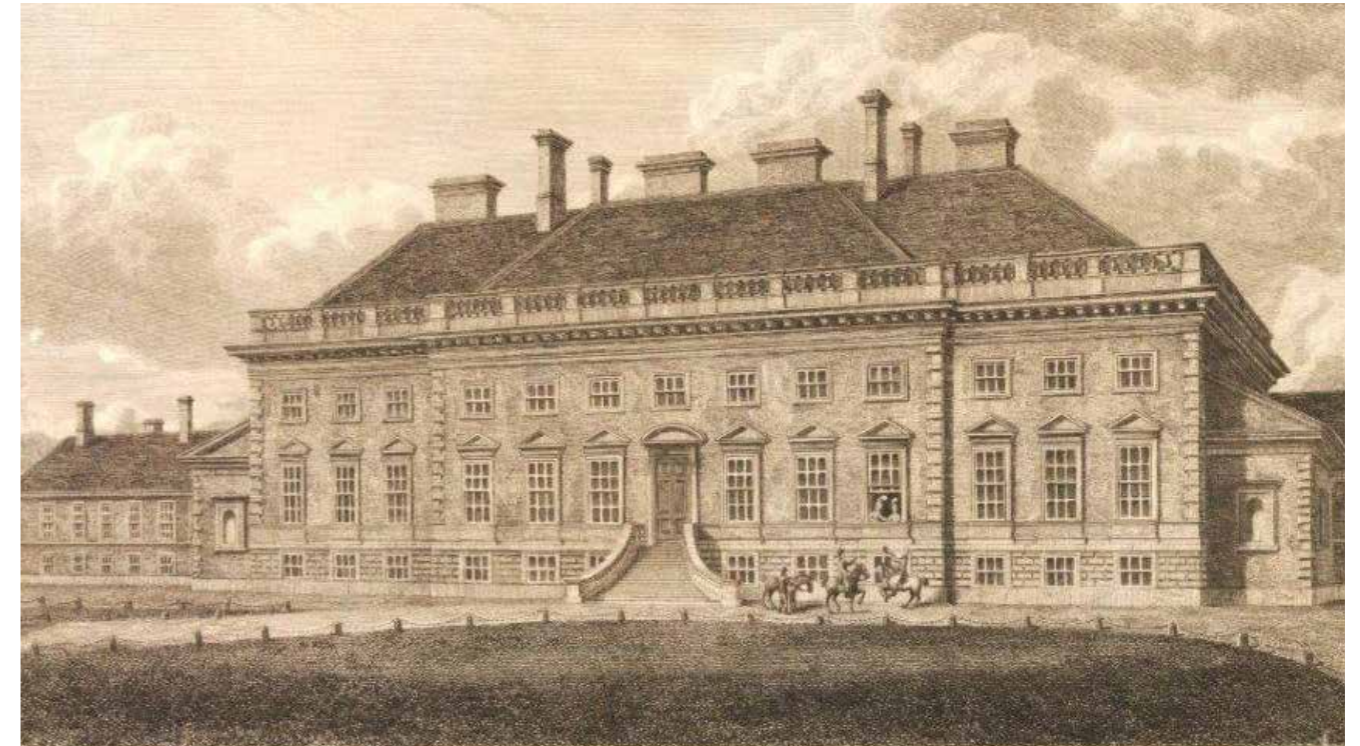


Figure 3.7 Engraving of Southampton House (also known as Bedford House) demolished in 1800. Source: <https://www.bedfordstates.com>

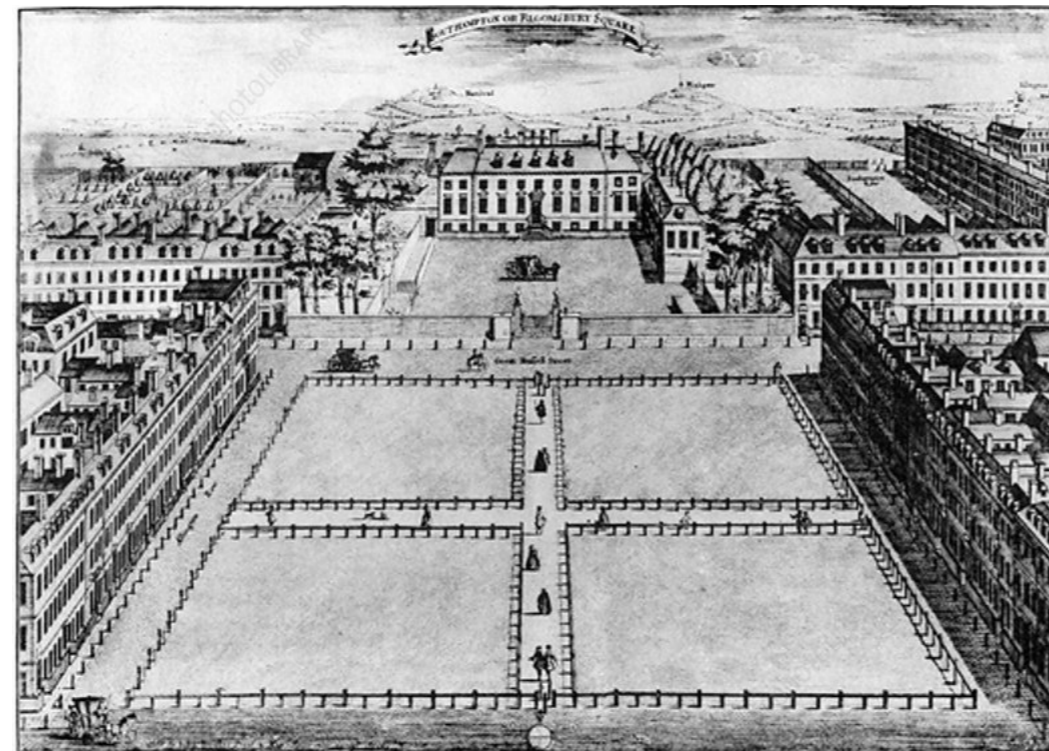


Figure 3.8 Southampton House and Bloomsbury Square by Sutton Nicholls c.1720. Source: <https://www.sciencephoto.com>



Figure 3.9 View of Bloomsbury Square in the 18th century. Source: <https://www.bedfordstates.com>

Section 4

Site Description and Identification of Assets.

4 | Site Description and Identification of Assets

Site Description

- 4.1 The Site consists of three Georgian terraced townhouses that date back to the mid 18th century. It is bounded by Bloomsbury Square to the north and High Holborn to the south.
- 4.2 6-8 Southampton Place sit within the Bloomsbury Conservation Area in the Borough of Camden and within the CA sub area 6: Bloomsbury Square / Russell Square / Tavistock Square.
- 4.3 Originally intended as residential homes, the three townhouses were converted to office use during the 20th century. Internally, whilst there has been a lot of alteration throughout their history, the historic plan has remained relatively unaltered and all staircases remain in their original locations.

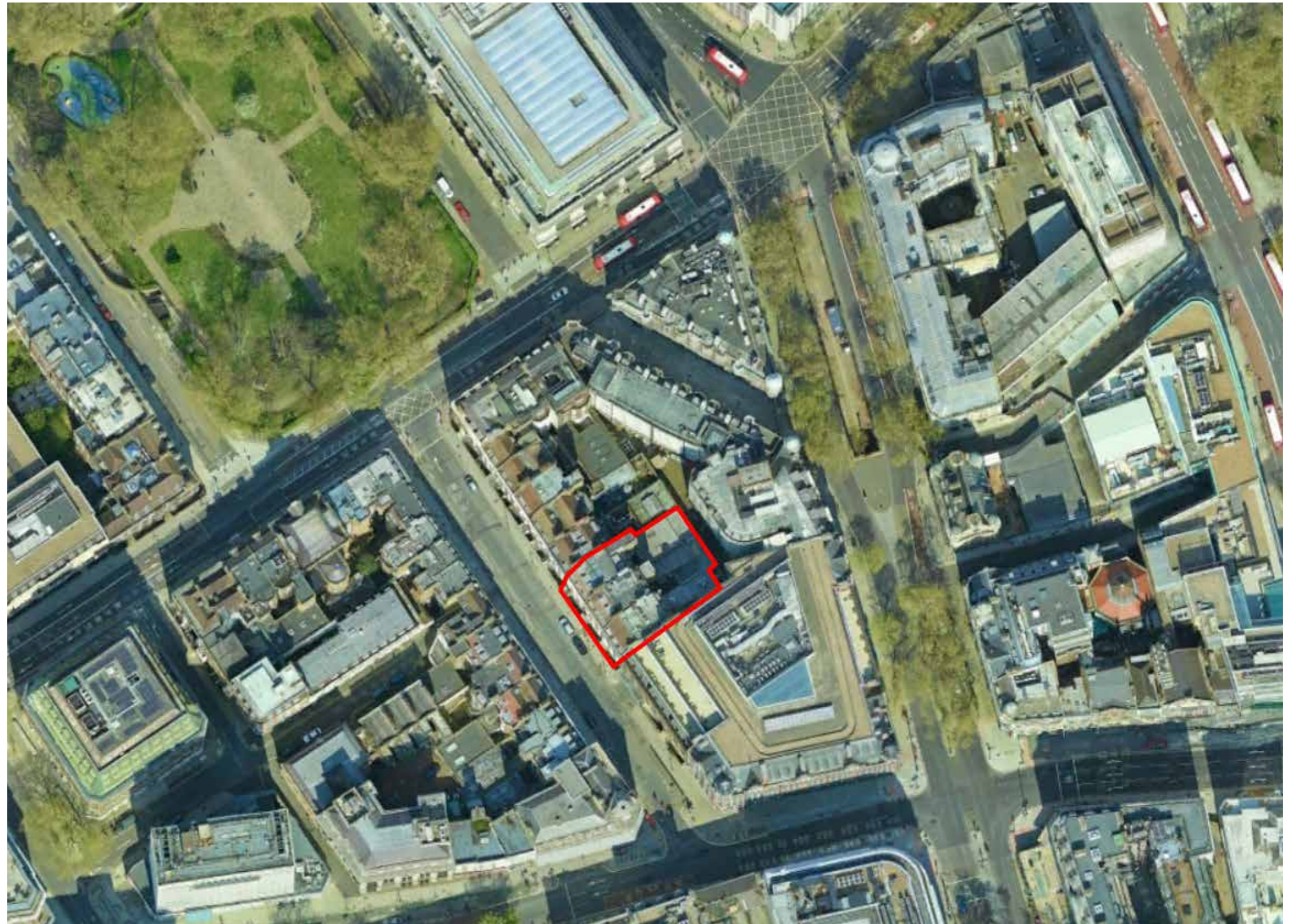


Figure 4.1 Site location outlined in Red
Source: edited from Google

4 | Site Description and Identification of Assets

Assessment of Significance

Methodology

4.4 The assessment methodology used here for assessing the significance of the identified heritage assets and their settings is as set out in Annex 2 of the National Planning Policy Framework. This proposes the use of three heritage interests – historical, archaeological, and architectural and artistic – in assessing what makes a place and its wider context special. The definitions for these interests are included in the online Planning Practice Guidance:

- Archaeological interest: As defined in the Glossary to the National Planning Policy Framework, there will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- Architectural and artistic interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skill, like sculpture.
- Historic interest: An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

4.5 These interests are also used in the November 2017 consultation draft of Historic England’s best-practice guidance document, Conservation Principles. They replace the heritage values – evidential [now archaeological], historical, aesthetic [now architectural and artistic], and communal [now part of historical] – set out in the previous, 2008 version.

- 4.6 The level of value is assessed using five criteria: high, medium, low, neutral, and negative.
- 1. High – the element is critical to understanding of significance.
 - 2. Medium – the element is important to understanding of significance.
 - 3. Low – the element makes some limited contribution to understanding of significance.
 - 4. Neutral – the element is not negative, and could be enhanced to make a positive impact of the understanding of significance.
 - 5. Negative – the element is harmful or intrusive and detracts from the understanding of significance.

Identification of Assets

4.7 The Site is located within the Bloomsbury Conservation Area. There are numerous heritage assets within the setting of the Site. The heritage assets which have the potential to be affected by the heritage assets are set out below, and will be assessed as part of this planning application. The list descriptions for designated heritage assets are recorded in Appendix 2.

Conservation Area

1. Bloomsbury Conservation Area

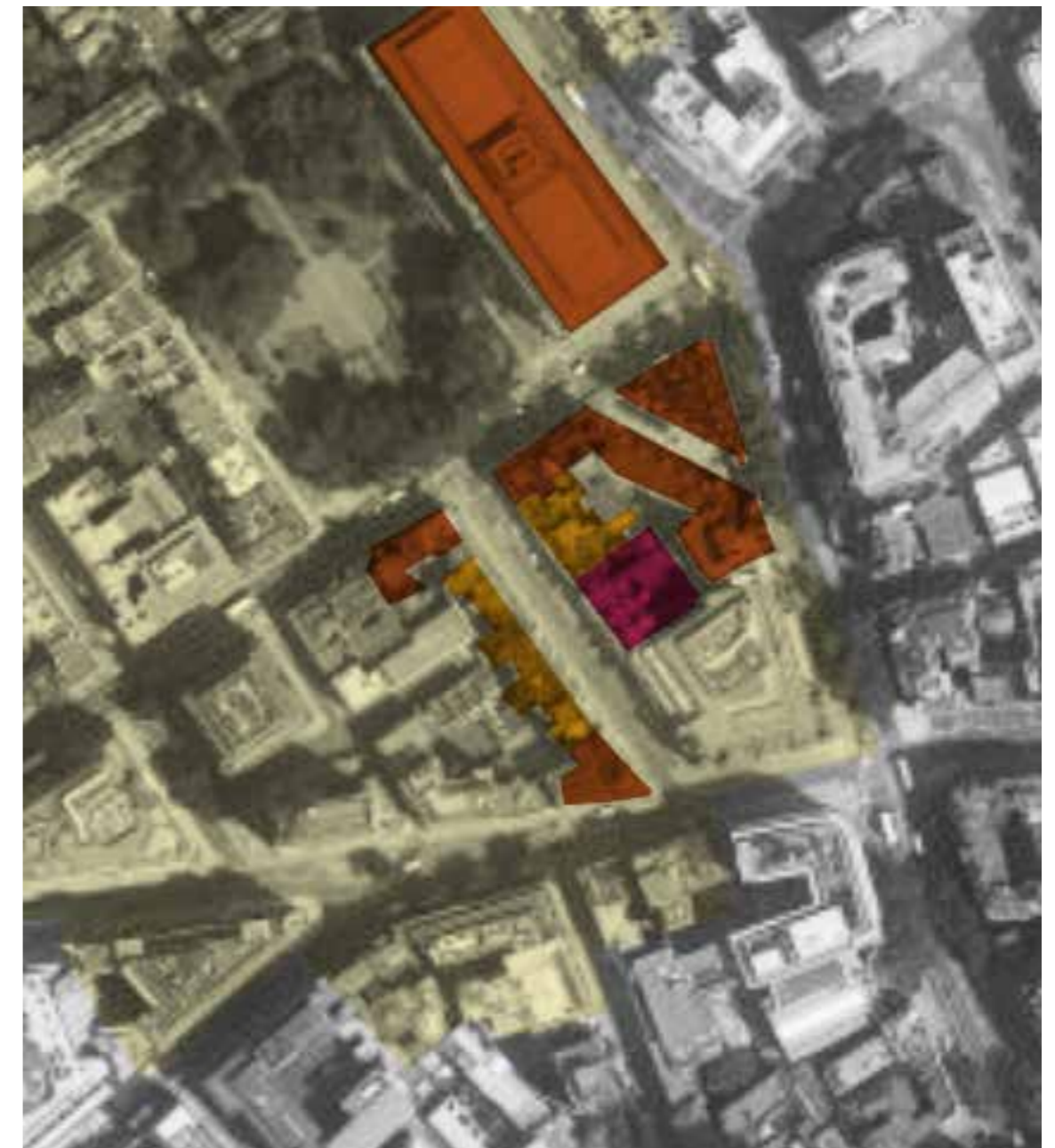
Grade II* Listed Buildings

2. 1 - 8 Southampton Place and attached railings
3. 14 - 22 Southampton Place and attached railings

Grade II Listed Buildings

4. 15 - 23 Southampton Row
5. 1-29 Sicillian Avenue
6. 127 and 129 High Holborn

Heritage Asset Plan



- Key
- Bloomsbury Conservation Area
 - Grade I Listed
 - Grade II* Listed
 - Grade II Listed

Figure 4.2 Gibson Thornley Architects Limited

Section 5

Assessment of Significance.

5 Assessment of Significance

6, 7 and 8 Southampton Place

- 5.1 Number 6, 7 and 8 Southampton Place are a group of three terraced town houses that date to the mid to late 18th century circa 1758- 1763. Designed or at least constructed under the direction of Henry Flitcroft, they are faced in darkened London stock brick, with a stone band running between ground and first floor level. Each building has a basement level, and is topped with a tiled mansard roof with a number of dormers. No. 7 has an Edwardian double mansard roof. Similarly, each building is accentuated with three sash windows per floor (with the entrance door occupying one bay on the ground floor), making for not only a handsome facade on a very attractive streetscape, but also one that is highly significant historically and architecturally.
- 5.2 To the rear of these buildings a number of alterations have been made in the form of rear extensions. Some of the extensions have 19th century Victorian origins, which have been extensively reconstructed to provide lifts. As these are of limited significance, are detrimental to the historic fabric, their rooms have not been mentioned in the internal audit. Nevertheless, much of the rear elevation of the buildings retain historic elements which are of high significance.
- 5.3 Internally, whilst these buildings have seen a lot of alteration throughout their history, the historic plan form has remained relatively unaltered with very little adaptation. This, along with the location of the staircases remaining in their original locations, are all of highly significant historical and architectural value.
- 5.4 There is also significant historical value in the historic fixtures and fittings of the buildings, with this interest generally congregating on the ground, first and second floors. Many items found here, such as the windows and their joinery, the fireplaces, and pieces such as the dado panelling, skirting and cornices, are either original dating to the mid-18th century, or of historical interest dating from a later date. Where these pieces have been replaced, they have tended to have been reinstated to the original design in a sympathetic manner.

- 5.5 Despite the large amounts of historical elements that have survived, not all areas have been untouched. The basements of all three buildings are almost universally limited value, except for a few minor items and the coal cellars. Similarly, the floors within the mansards are also generally devoid of great historical significance.
- 5.6 It is important to note that whilst the internal significance of these buildings has been audited, this level of detail has not yet been applied to the building's exteriors.

Bloomsbury Conservation Area

- 4.8 The Bloomsbury Conservation Area extends approximately 160 hectares from Euston Road to High Holborn and was designated on 1st December 1968, only a year after Conservation Areas were legislated in 1967.
- 4.9 Initially the Conservation Area only covered a small number of Georgian Bloomsbury but amendments and expansions in 1973, 1974, 1982, 1984, 1991, 1992, 1999, and finally 2011 resulted in a large Conservation Area that has been divided into 14 sub areas. The Site is located within sub area 6: Bloomsbury Square / Russell Square / Tavistock Square.
- 4.10 Bloomsbury is predominantly noted for its spacial arrangement of public / residential squares. The character of the Conservation Area is defined by the squares and grid of streets enclosed by mostly three and four storey buildings. Regardless of construction date, the buildings are typically of a classical style and a consistent material palette consisting of brick with elements of stucco and stone detailing.
- 4.11 Sub area 6 is largely made up of three and four storey Georgian terraces surrounding a series of formal squares such as Bloomsbury Square and Russell Square. Throughout this sub area, there is a strong consistency of architectural style with terraces of three / four storeys with a basement level and mansard roofs. Southampton Place is a fine example of the typical character within Bloomsbury and connects Bloomsbury Square to High Holborn.
- 4.12 Currently, the Site positively contributes to the character of the Conservation Area and is highly consistent with the architectural style, material palette, and landscape form of Bloomsbury. 6, 7 and 8 Southampton Place are designed by an eminent architect, Henry Flitcroft, and as such are Grade II* listed. Henry Flitcroft designed numerous buildings within the area including nearby 5 and 6 Bloomsbury Square, further increasing the coherent contribution to the Site to the wider Conservation Area.

Section 5

Description of Proposals.

6 | Description of Proposals

- 6.1 Listed building consent is sought for internal alterations and external repair works to 6,7 and 8 southampton Place. The works can be summarised as:

Internal works

1. Historic rooms and features will be refurbished
2. The original plan form will be reinstated to No.6 and 7 on floors 1-3
3. New kitchenettes and WCs are proposed in either existing locations or within the later additions to the rear
4. New heating and cooling units will be floor mounted and housed within castings that reflect the mouldings of the historic rooms
5. Vertical service risers will be carefully integrated into the historic fabric
6. New lighting and power are proposed throughout

External works

7. The existing historic windows to the principal buildings are to be refurbished
8. The windows and roof lights to the later extensions are proposed to be replaced with higher performing double-glazed units
9. The finishes to the external courtyards are replaced and improved

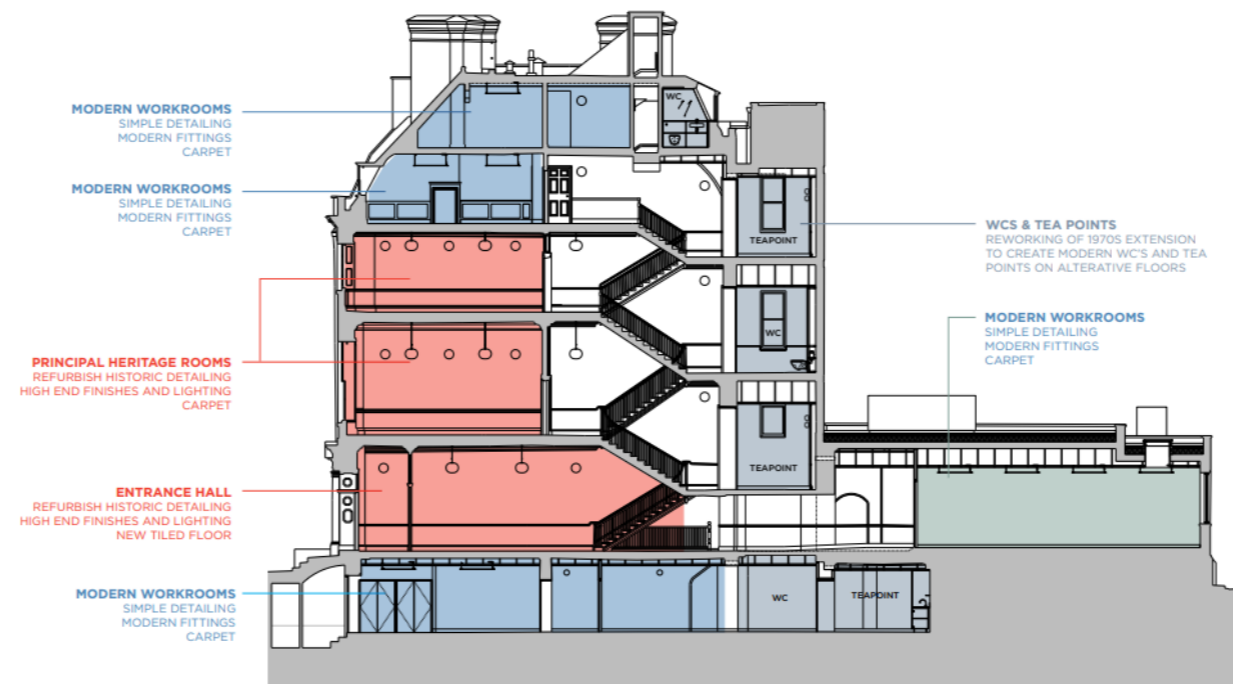


Figure 7.1 Proposed strategy to internal spaces. Gibson Thornley Architects Limited

Section 6

Assessment of Impact.

Impact on 6,7 and 8 Southampton Place

Internal Works

- 7.1 The primary objective of the works is to refurbish and improve the interior of the Grade II* listed buildings. As such the proposals prioritise sensitive repair and remedial works to the existing buildings, including the reinstatement of lost plan form and features of interest.
- 7.2 This is evident on the first, second and third floor where the original plan form will be reinstated to No.6 and 7. Where historic door openings have been infilled, these will be reinstated with a traditionally scaled and detailed door. All modern partitions which currently subdivide the principal rooms will be removed and the modern lift relocated. These alterations to the plan form are an enhancement to the special interest of the building, restoring the original plan form and removing features which detract.
- 7.3 Where present, doors between the individual building are also proposed to be removed. Whilst this removes a modern intervention it also restores the individuality of the units, removing the appreciation of lateral conversion.
- 7.4 Existing features will be refurbished and where later additions and services will be removed features will be restored or reinstated. The resultant appearance will be that of the original room proportions and detailing, which is an enhancement.
- 7.5 New kitchenettes and WC's are proposed in all three buildings. In No. 6 and 7, this will be located in either existing locations or within the 1970s extensions to the rear. The impact of historic fabric of interest through these additions is therefore limited, and the siting of these modern additions will not impact on the historic plan form. As such their positioning within the buildings is sympathetic.
- 7.6 In No.8, all WC's are located in existing locations resulting in no harm to historic fabric.
- 7.7 A servicing strategy is proposed to all buildings. This is a holistic approach to all services and has been consciously designed to encapsulate all services and to future-proof impact on fabric as a result of maintenance work.

- 7.8 In the first instance the proposals include the removal of all redundant services. The removal of clutter will better reveal the historic fabric of interest and is a benefit of the holistic approach.
- 7.9 A new service riser is proposed within the void behind the staircase within No.8 and within the 1970s extension where possible on the lower levels. On the upper levels in No. 6 and 7 risers are also located within the stairwell. As such there are no new risers within the restored front and rear rooms. These have been sensitively located and accessible for future maintenance.
- 7.10 New floor mounted VRF heating and cooling are proposed, replacing the unsympathetic additions which have been inserted historically. All units will be free-standing and located within painted casings. This approach is minimally invasive and allows the units to be easily removed if required. This is sympathetic to the historic fabric and the special interest of the buildings.
- 7.11 In summary, the internal works seek to better reveal the significance of the designated heritage assets, with the works being sensitive to historic fabric and the longevity of the buildings.

External Works

- 7.12 The external works are limited to the fenestration and refurbishment and redecoration of the courtyards..
- 7.13 The existing historic windows are to be retained and refurbished which will ensure their longevity and improve performance. Where present shutters and shutter boxes are to be refurbished as well as associated joinery.
- 7.14 The windows and roof lights to the later extensions are proposed to be replaced with higher performing double glazed units. These windows are located on courtyard elevations and the later rear infills, principally the rear elevation. The existing openings will be retained and new windows inserted. Owing to the scale and proportions these openings lend themselves to a modern design of fenestration and as such the use of a double glazed unit is appropriate.

- 7.15 The new windows will not be read as part of the historic core and the scale of the glazing can be incorporated into the detailed design of the new unit. Furthermore most of the windows will only be seen from within the buildings, with any publicly visible windows minimal in number and on a rear elevation. As such the impact on the special interest of the heritage asset is limited.
- 7.16 The scope of the works in the courtyards is limited to new paving and additional planting, both of which will enhance the setting of the buildings.

Section 7
Conclusion.

8 | Conclusion

- 8.1 This report has been prepared to accompany an application for internal alteration and external repairs to 6, 7 and 8 Southampton Place. It has been written with regard to Historic England Advice notes and relevant policy and guidance.
- 8.2 The assessment has considered the historic development of the Site and the surrounding area to demonstrate and inform an assessment of significance of the asset. Site visits have been undertaken, to identify the special interest of the listed buildings and an assessment of the proposals has been made.
- 8.3 The proposals have built upon heritage specific guidance to ensure the significance of the heritage assets is preserved.
- 8.4 As a result of the proposals it is considered that the special interest of the buildings will be preserved, with a number of works resulting in an enhancement. The intrinsic architectural and historic values associated within the building being maintained.
- 8.5 Overall, therefore, the proposals are considered to be in alignment with the London Borough of Camden's policies on listed buildings and in alignment with the requirements of the NPPF Chapter 16.

Appendix 1

References.

Appendix 1 | References

Policy Documents

- London Plan (2021)
- Camden Local Plan 2017
- Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (GPA2) (Historic England, March 2015)
- National Planning Policy Framework, MHLCG, February 2019
- 'Historic Environment', Planning Practice Guidance, MHLCG, July 2019

Primary and Secondary Sources

- National Heritage List for England <https://historicengland.org.uk/listing/the-list/map-search>
- Britain from Above <https://britainfromabove.org.uk/>
- Survey of London, Volume XL
- OS Historic Maps
- British Library Maps
- Camden Archives
- The National Archives
- Old Maps Online (historic maps) MAP of LONDON and its ENVIRONS 209 (oldmapsonline.org)
- Layers of London Mapping
- Panton, K., London: A Historical Companion (Tempus 2001), p.183.
- Romantic London (historic maps) Introducing Horwood's Plan (1792-99) – Romantic London

Image Sources

- London Picture Archive
- London Metropolitan Archive
- National Archives
- Camden Local Archive
- Bedford Estates

Appendix 2

Statutory List Entries.

Appendix 2 | Statutory List Entries

15 - 23 Southampton Row

Official list entry

Heritage Category: Listed Building

Grade: II

List Entry Number: 1378786

Date first listed: 14-May-1974

Statutory Address 1: 15-23, SOUTHAMPTON ROW

Location

Statutory Address:n15-23, SOUTHAMPTON ROW

The building or site itself may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden (London Borough)

Parish: Non Civil Parish

National Grid Reference: TQ 30468 81595

Details

CAMDEN

TQ3081NW SOUTHAMPTON ROW 798-1/100/1479 (West side) 14/05/74 Nos. 15-23 (Odd)

GV II

Shopping parade with offices, formerly flats, over, forming the south-east return to Sicilian Avenue (qv). 1906-10. By RJ Worley. For the Bedford Estate, altered C20. Red brick with white terracotta dressings and slate roof. EXTERIOR: 4 storeys 4 1/2 window bays, plus a 4-storey tourelle, with 2-light transom and mullion windows, from 1st floor level on the right hand return to Sicilian Avenue. Ground floor with C20 plate glass windows now includes original 1st floor (see Nos 25-35 Southampton Row (qv) for original design). Corinthian columns on plinths support entablature with plain terracotta frieze at new 1st floor level. Goods entrance at left. 1st, 2nd and 3rd floors with, to left 3-light windows, then three 5-light canted bay windows, to the right single-light recessed windows. All windows with terracotta transoms and mullions. Terracotta modillion cornice. Above the penultimate bays, pedimented gables with small Venetian

windows. The 4th floor of the tourelle is above the cornice and topped with a conical roof. INTERIORS: not inspected. Nos 15-23 (odd) Southampton Row form a homogeneous development with Nos 1-29 (odd) and 6-20 (even) Sicilian Avenue (qqv), Nos 25-35 (odd) and 35A Southampton Row (qv) and Nos 1-6 (consec) Vernon Place (qv). (Harwood E and Saint A: Exploring England's Heritage, London: -1991: 121-22).

Listing NGR: TQ3044681612

Legacy

The contents of this record have been generated from a legacy data system.

Legacy System number: 478140

Legacy System: LBS

Numbers 1-29 and Attached Screen

Official List Entry

Heritage Category: Listed Building

Grade: II

List Entry Number: 1378665

Date first listed: 14-May-1974

Statutory Address 1: NUMBERS 1-29 AND ATTACHED SCREEN, 1-29, SICILIAN AVENUE

Location

Statutory Address: NUMBERS 1-29 AND ATTACHED SCREEN, 1-29, SICILIAN AVENUE

The building or site itself may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden (London Borough)

Parish: Non Civil Parish

National Grid Reference: TQ 30440 81615

Details

CAMDEN

TQ3081NW SICILIAN AVENUE 798-1/100/1439 (South side) 14/05/74 Nos. 1-29 (Odd) and attached screen

GV II

Shopping parade with offices (formerly flats) over. 1906-10. By RJ Worley. For the Bedford Estate. Red brick with white terracotta dressings and 1st floor. EXTERIOR: 5 storeys 14 1/2 window bays plus a projecting oriel on return to Bloomsbury Square with 2 bays. Ground floor with later C20 shopfronts separated by Corinthian columns on plinths carrying an entablature with plain terracotta frieze at 2nd floor level. Pilasters at either end. 1st floor with 4 and 2-light square-headed casement windows with mullions plus an oriel window on the 4th bay in from Southampton Row. 2nd, 3rd and 4th floors with canted transom and mullion bay windows, flanked by 2-light transom and mullion windows and bowed oriel windows rising from the 2nd floor. End bays with 2-light windows.

All windows with small leaded panes, some with shields. Projecting oriel of 7 lights, with transoms and mullions, from 2nd to 4th floor. Beneath, an arched entrance with 4 large brackets supporting a cornice over. Projecting modillion cornice surmounted by a balustrade. Tall slab chimneys. INTERIORS: not inspected. Attached to No.29 is a screen across the Avenue. 2 Ionic columns on plinths carrying an entablature with the words "Sicilian Avenue" on the frieze, surmounted by a balustrade with urns on the 2 central piers. Nos 1-29 (odd) Sicilian Avenue form a homogeneous development with Nos 6-20 (even) Sicilian Avenue (qv), Nos 15-23 (odd) Southampton Row (qv), Nos 25-35 (odd) and 35A Southampton Row (qv) and Nos 1-6 Vernon Place (qv). (Harwood E & Saint A: Exploring England's Heritage, London: -1991: 211-12).

Listing NGR: TQ3044681612

Legacy

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Legacy System number: 477999

Legacy System: LBS

Numbers 1 - 8 and Attached Railings

Official List Entry

Heritage Category: Listed Building

Grade: II*

List Entry Number: 1378772

Date first listed: 24-Oct-1951

Statutory Address 1: NUMBERS 1-8 AND ATTACHED RAILINGS, 1-8, SOUTHAMPTON PLACE

Location

Statutory Address: NUMBERS 1-8 AND ATTACHED RAILINGS, 1-8, SOUTHAMPTON PLACE

The building or site itself may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden (London Borough)

Parish: Non Civil Parish

National Grid Reference: TQ 30420 81587

Details

CAMDEN

TQ3081NW SOUTHAMPTON PLACE 798-1/100/1471 (East side) 24/10/51 Nos.1-8 (Consecutive) and attached railings

GV II*

Terrace of 8 houses. c1785-63. Probably under the direction of Henry Flitcroft. Darkened multi-coloured stock brick with a stone band at 1st floor level. Tiled mansard roofs with dormers. 3 storeys, attics and basements. 3 windows each. Gauged brick flat arches to recessed sash windows. Bracketed cornices below parapets. No.1: wooden architraved doorcase with carved consoles and pedimented cornice. Nos 2 & 3: semicircular headed entrances with patterned fanlights and panelled doors. No.2 with margin lights. No.3 doorframe with fluted frieze and cornice and fluted pilasters at sides with foliated capitals. Nos 4, 5 and 7: wooden doorcases with engaged Doric columns carrying entablature and pediment; fanlights and panelled door. Nos 6 and 8: stone doorcases with

carved consoles and cornices, No.8 pedimented. All entrances approached by steps over basement areas. INTERIORS: not inspected but noted to retain good staircases, fireplaces and panelling, those of Nos 4, 5, 6 and 8 being especially fine. SUBSIDIARY FEATURES: attached cast-iron railings with torch flambe finials to areas.

Listing NGR: TQ3043181570

Legacy

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Legacy System number: 478125

Legacy System: LBS



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