

6.0

PROPOSED LAYOUTS

6.3

1ST FLOOR ALTERATIONS

The drawing below indicates the existing and proposed arrangement of the rear room of No. 6 Southampton Place. The Edwardian paneling is removed and replaced with skirtings and dado rails in keeping with the original layout. The door between front and rear rooms is reinstated using the existing opening.

01.

Wall made good where joinery/door/non-original feature removed
02.

New door to match existing with fire/smoke seals and ironmongery
03.

Refurbished door with new fire/smoke seals and ironmongery
04.

New VRF unit housed within painted casing
05.

New lighting
06.

Dado rail/skirting reinstated to match existing
07.

Cornice reinstated to match historic detail
08.

Floor box (location indicative) for power and data
09.

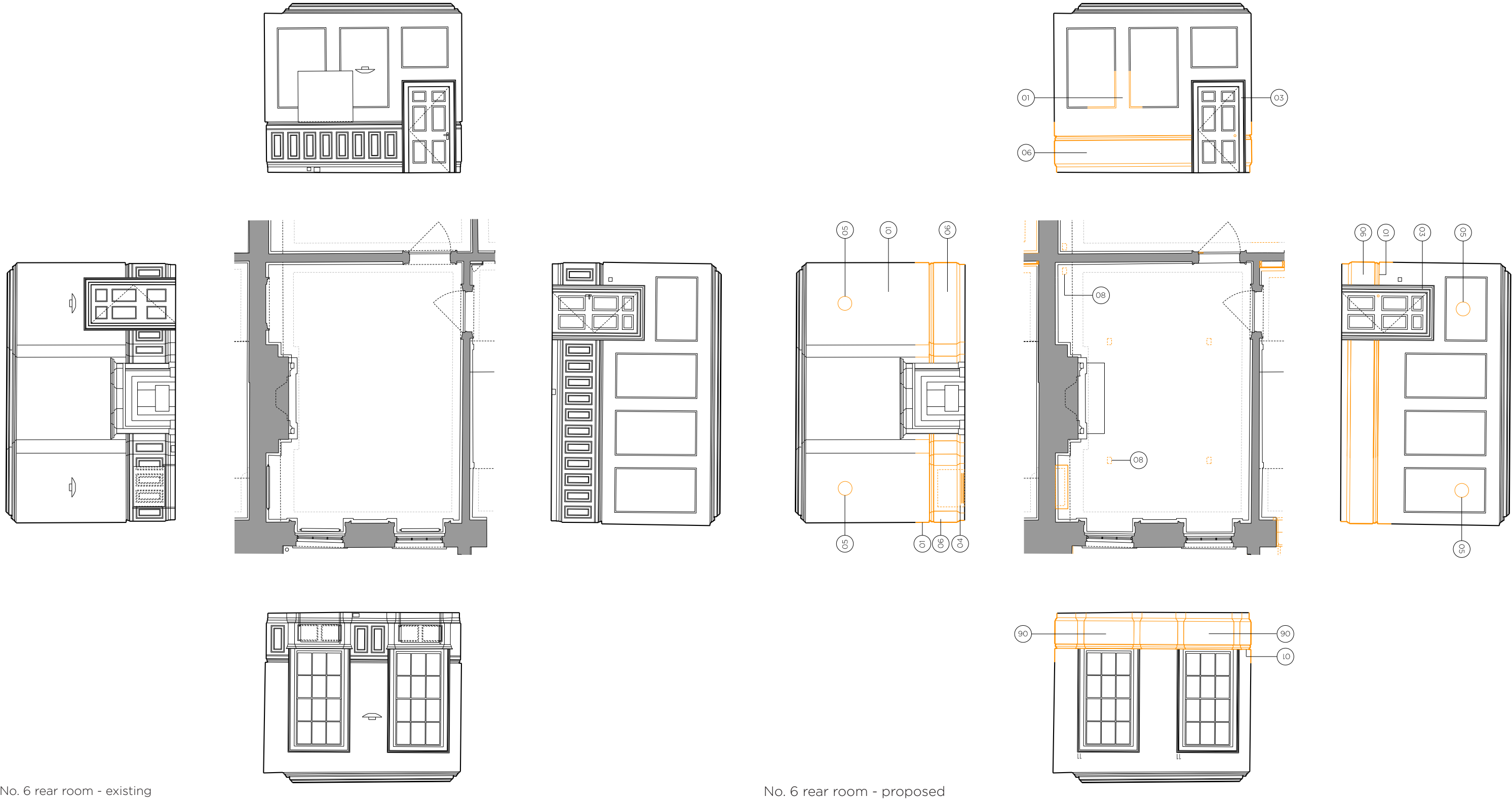
New wall and/or extended door frame to incorporate new mechanical/electrical risers
10.

New access panel to riser flush, flush and painted to match wall
11.

Refurbished window

Key

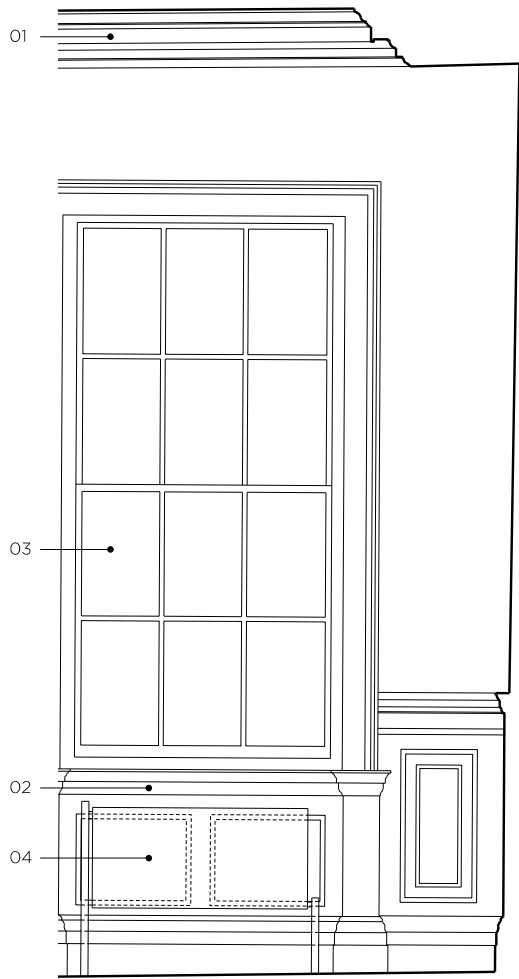
Proposed elements



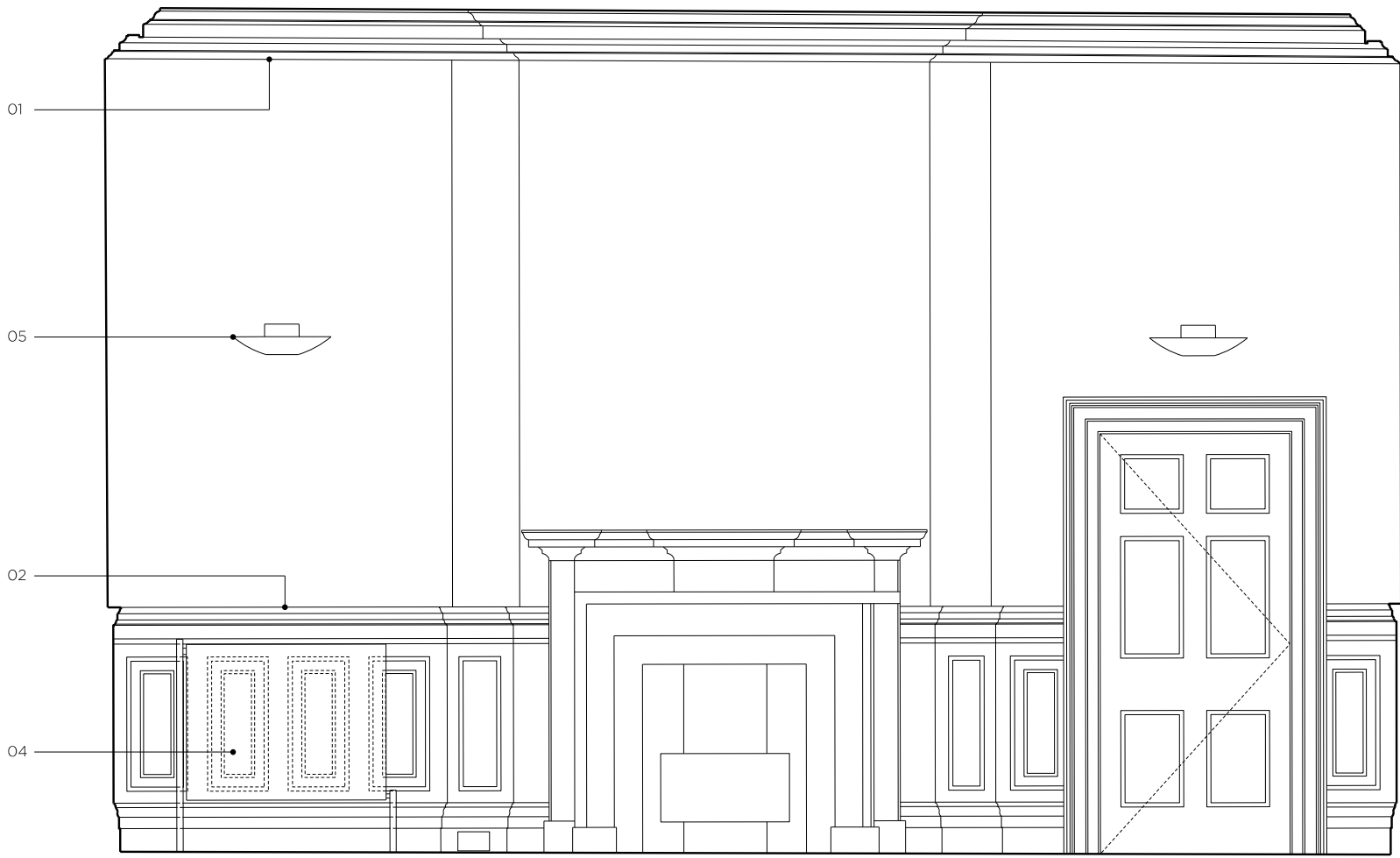
6.0 PROPOSED LAYOUTS

6.3 1ST FLOOR ALTERATIONS

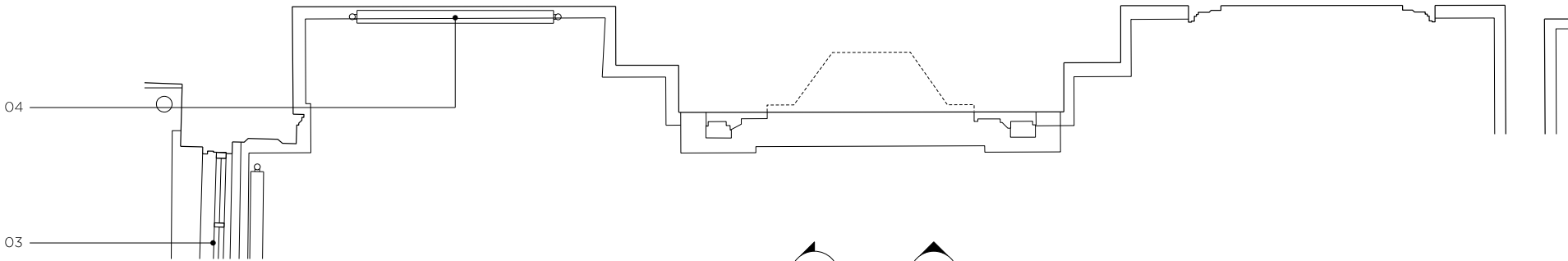
The adjacent drawing focuses in on the detail proposed. The drawing shows the existing layout of the rear room on no. 6 Southampton Place



EXISTING INTERNAL ELEVATION 02



EXISTING INTERNAL ELEVATION 01



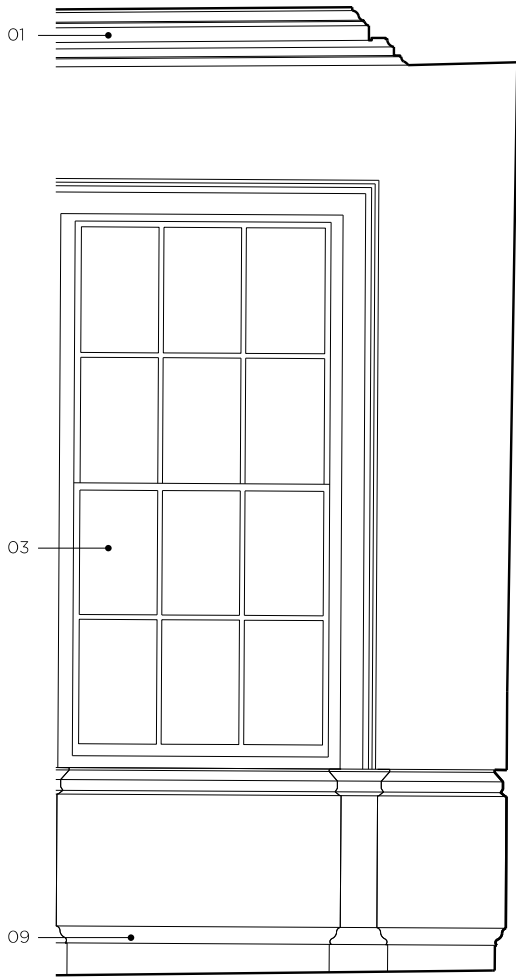
EXISTING PLAN

- Existing Key
- 01 Existing cornicing
 - 02 Existing timber panelling
 - 03 Existing sash window
 - 04 Existing radiator
 - 05 Existing light fitting

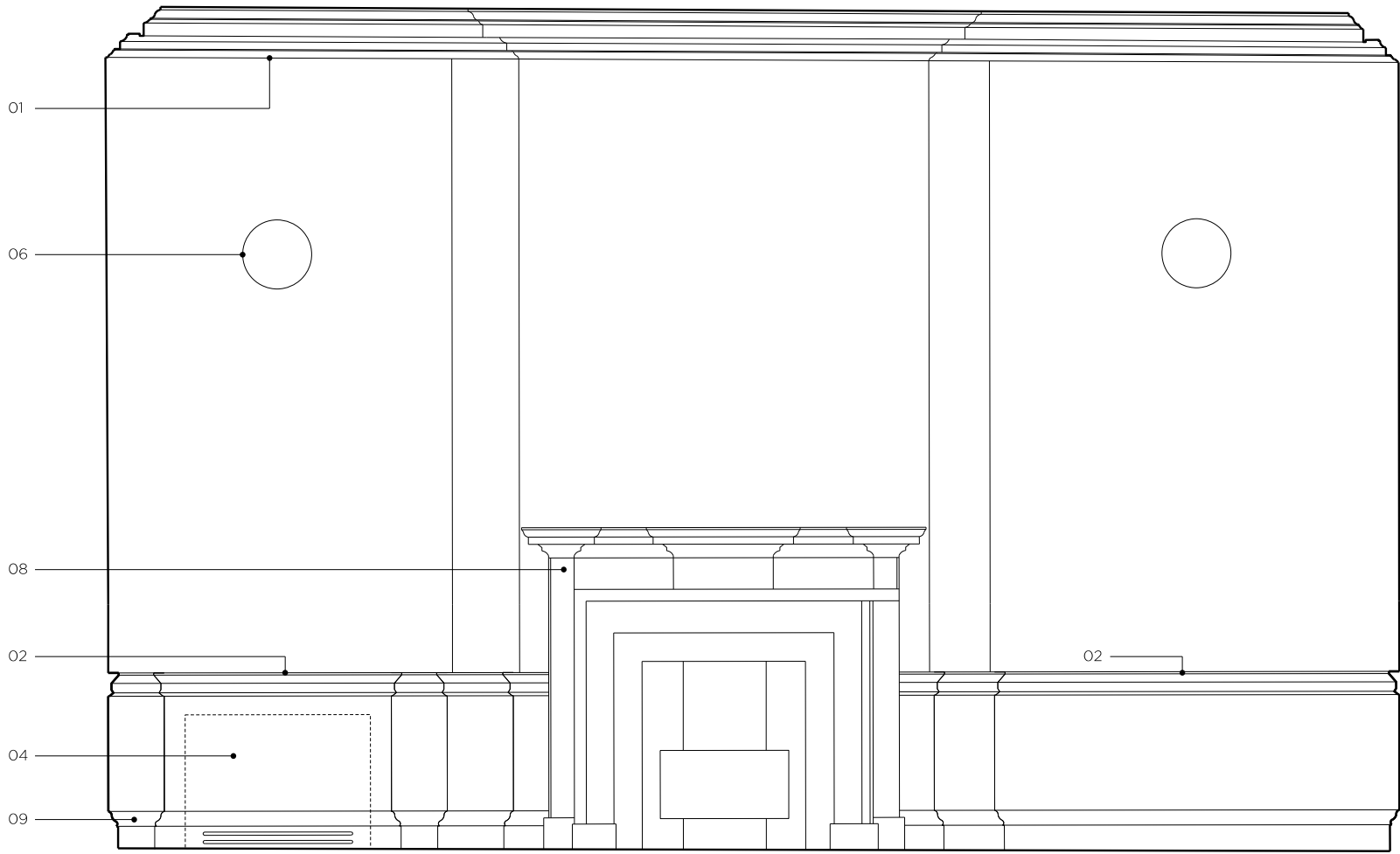
6.0 PROPOSED LAYOUTS

6.3 1ST FLOOR ALTERATIONS

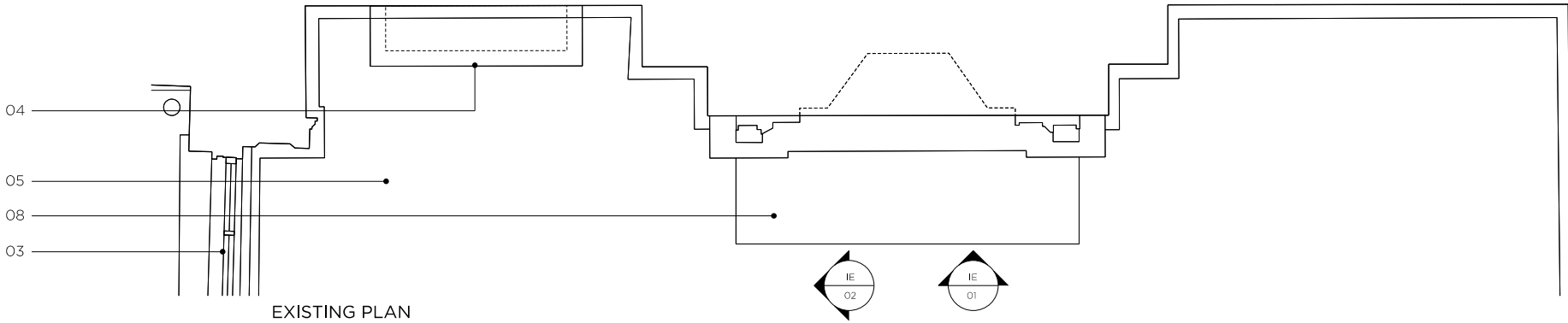
The adjacent drawing shows the proposed configuration of the rear room of no. 6. The Edwardian paneling is removed and skirtings and dado's are reinstated. A new fire place is proposed, in keeping with the ground floor fire place, The room is refurbishing and re-serviced in a sensitive manor.



EXISTING INTERNAL ELEVATION 02



EXISTING INTERNAL ELEVATION 01



EXISTING PLAN

- Proposed Key
- 01 Existing cornice
 - 02 New dado rail to match existing
 - 03 Existing sash window refurbished
 - 04 New VRF unit housed in painted casing
 - 05 New proposed carpet
 - 06 Proposed light fittings
 - 07 Refurbished fireplace
 - 08 Reinstatement of fireplace hearth
 - 09 New skirting to match existing

6.0 PROPOSED LAYOUTS

6.3 1ST FLOOR ALTERATIONS

The drawing below indicates the existing and proposed arrangement of the front room of No. 7 Southampton Place. The internal partitions are proposed to be removed to create a singular front space, with any cornicing, dado, or skirting details to be reinstated to match existing.

- 01. Wall made good where joinery/door/non-original feature removed
- 02. New door to match existing with fire/smoke seals and ironmongery
- 03. Refurbished door with new fire/smoke seals and ironmongery
- 04. New VRF unit housed within painted casing
- 05. New lighting
- 06. Dado rail/skirting reinstated to match existing
- 07. Cornice reinstated to match historic detail
- 08. Floor box (location indicative) for power and data
- 09. New wall and/or extended door frame to incorporate new mechanical/electrical risers
- 10. New access panel to riser flush, flush and painted to match wall
- 11. Refurbished window

Key

 Proposed elements



No. 7 front room - existing

No. 7 front room - proposed

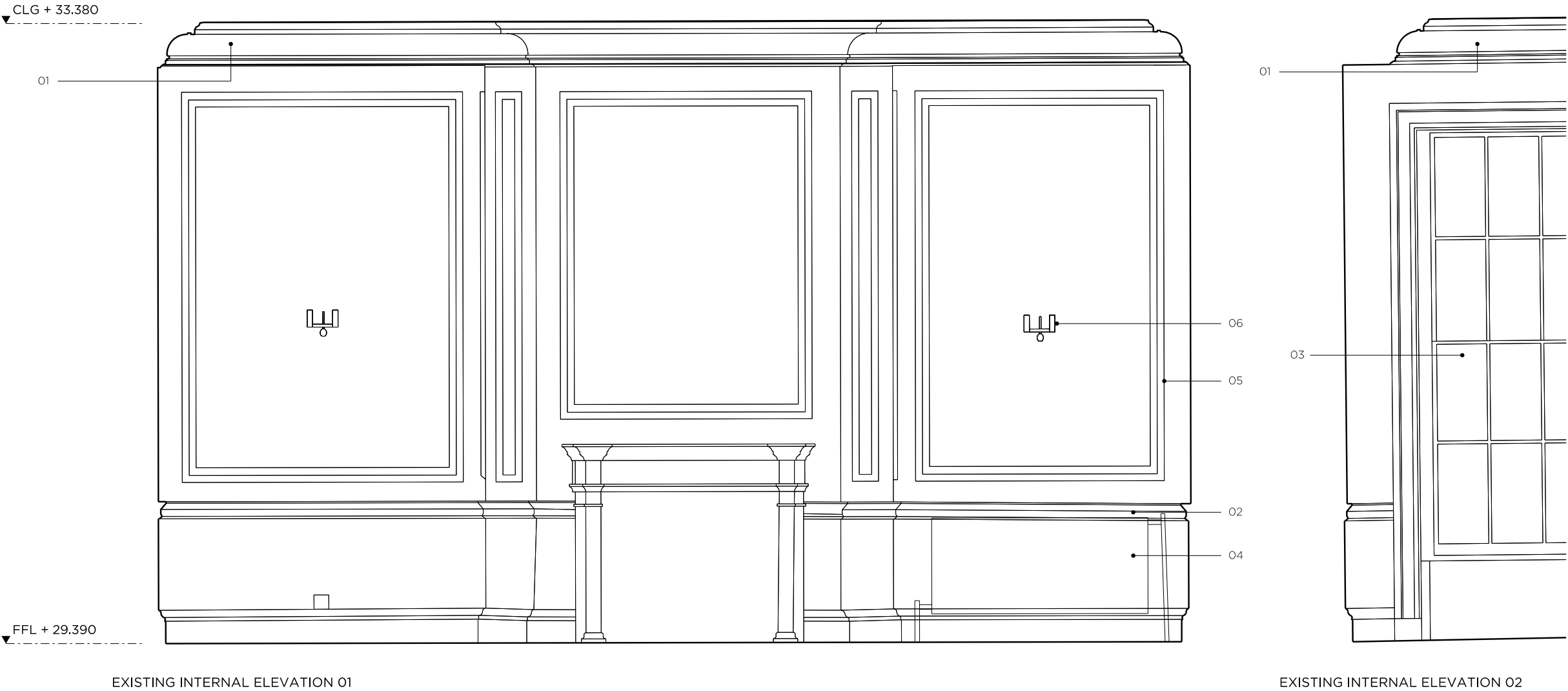
6.0

PROPOSED LAYOUTS

6.3

1ST FLOOR ALTERATIONS

The adjacent drawing focuses in on the detail proposed. The drawing shows the existing layout of the front room on no. 7 Southampton Place

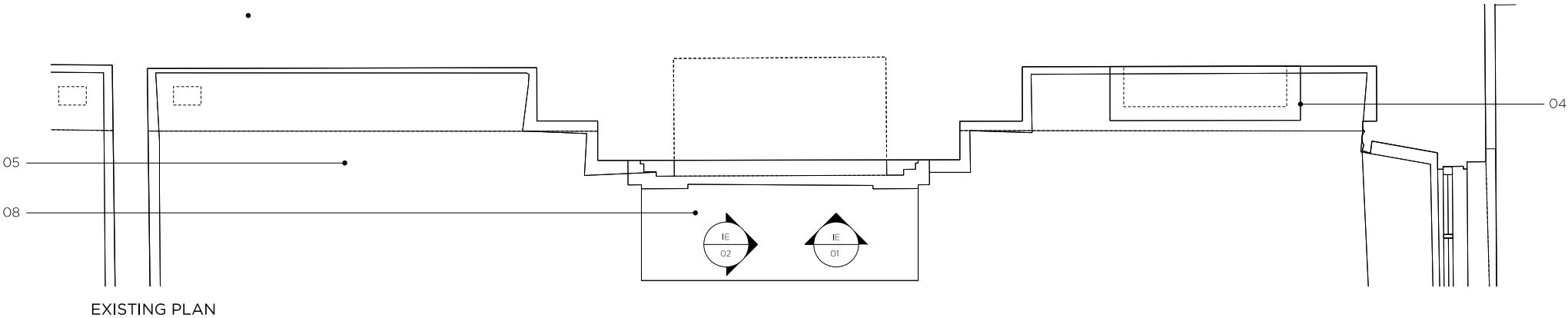
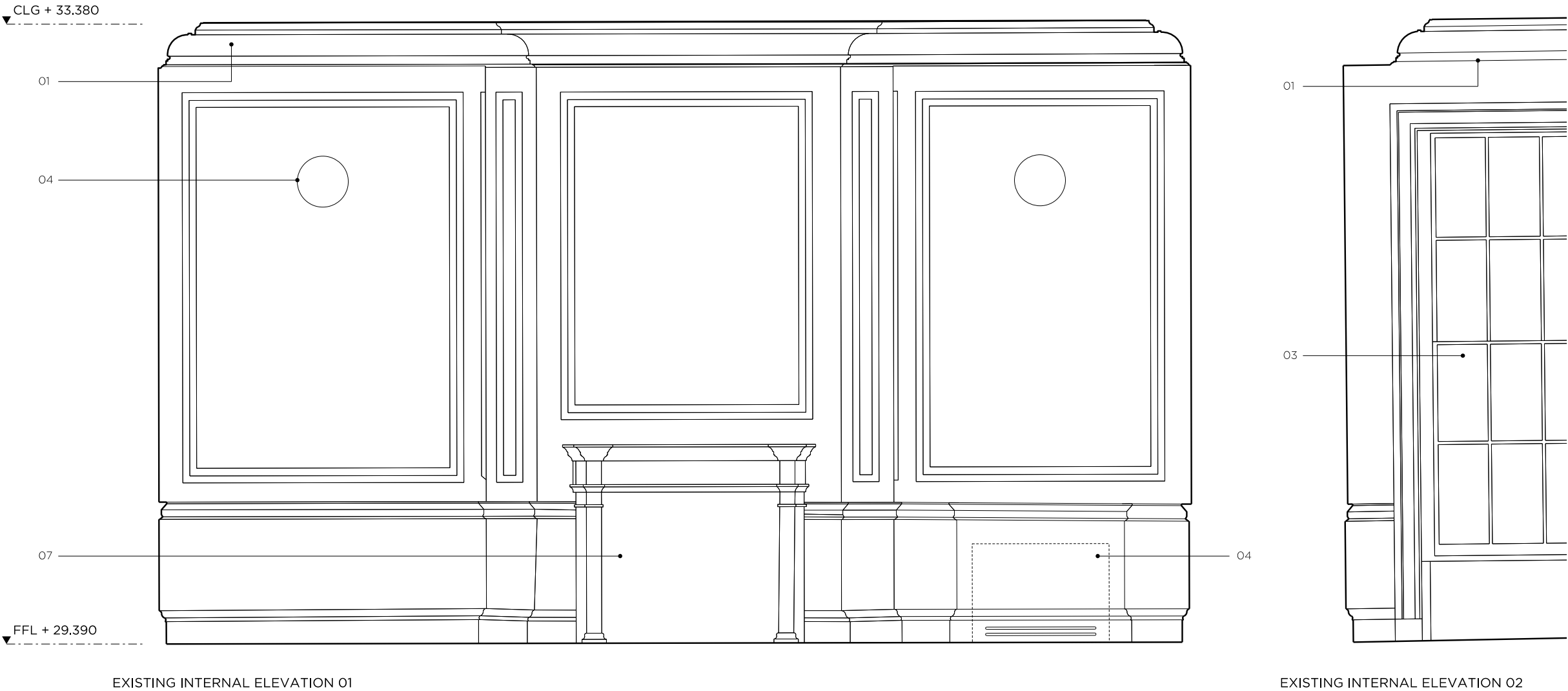


- Existing Key
- 01 Existing cornicing
 - 02 Existing dado rail
 - 03 Existing sash window
 - 04 Existing radiator
 - 05 Existing timber panelling
 - 06 Existing light fitting

6.0 PROPOSED LAYOUTS

6.3 1ST FLOOR ALTERATIONS

The adjacent drawing shows the proposed configuration of the front room of no. 7. The room is refurbishing and re-serviced in a sensitive manor.



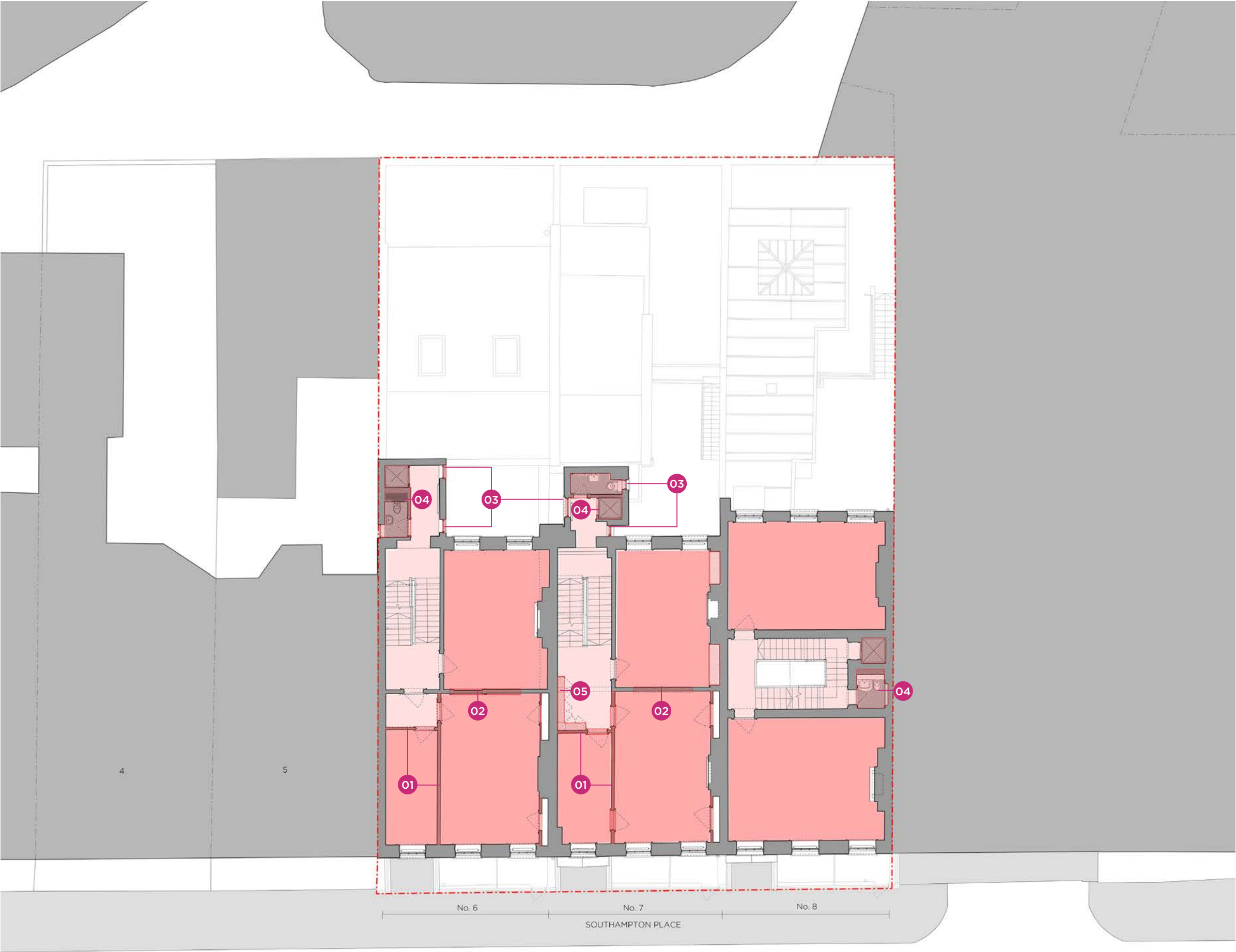
- Proposed Key
- 01 Existing cornicing
 - 02 New dado rail to match existing
 - 03 Existing sash window repaired and redecorated
 - 04 New VRF unit housed in painted casing
 - 05 New proposed carpet
 - 06 Proposed light fittings
 - 07 Refurbished fireplace
 - 08 Reinstatement of fireplace hearth
 - 09 New skirting to match existing

6.0 PROPOSED LAYOUTS
6.4 2ND FLOOR ALTERATIONS

The adjacent plan indicates the changes proposed to the existing fabric. The key changes are as follows:

- The internal partitions to the front rooms of no. 6 and 7 are removed
- The existing WC's and lifts are stripped out
- Windows to the rear extensions of no. 6 and 7 removed.

- Key
- 01 Removal partitions
 - 02 Door reinstated
 - 03 External window removed
 - 04 Existing WC and lift removed
 - 05 Joinery removed

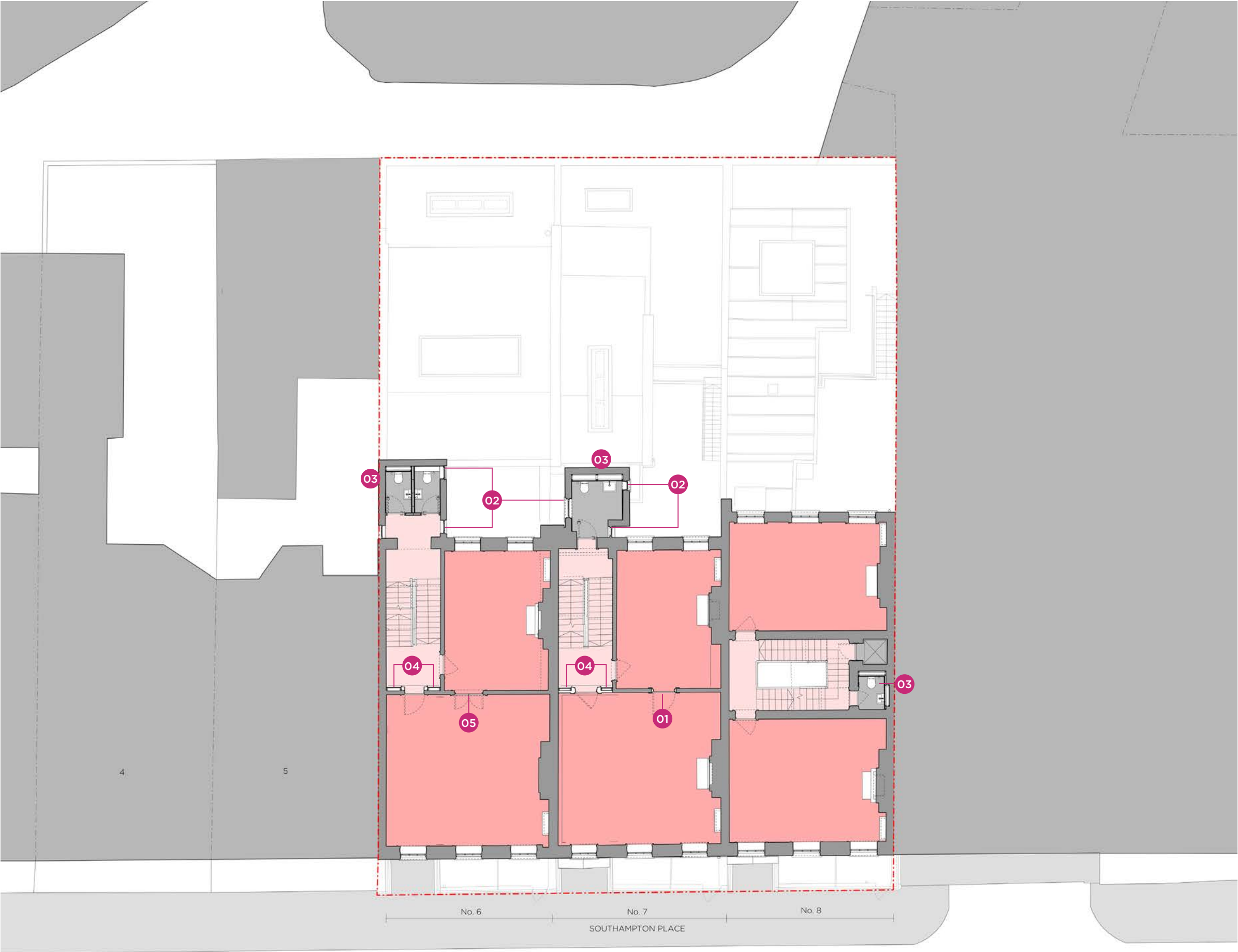


6.0 PROPOSED LAYOUTS
6.4 2ND FLOOR ALTERATIONS

The adjacent plan indicates the proposed layout. The non original partitions removed from no. 6 and 7, reinstating the original plan form.

New risers are formed adjacent to the stair. The design strategy for this is covered later within this report.

The rear extensions to no. 6 and 7 are modernised with new WC's New windows are installed to the rear extensions, improving the thermal performance of the buildings.



- Key
- 01 Door reinstated between front and rear rooms
 - 02 New window
 - 03 New WC
 - 04 New Risers
 - 05 New heritage door in existing door opening



6.0 PROPOSED LAYOUTS

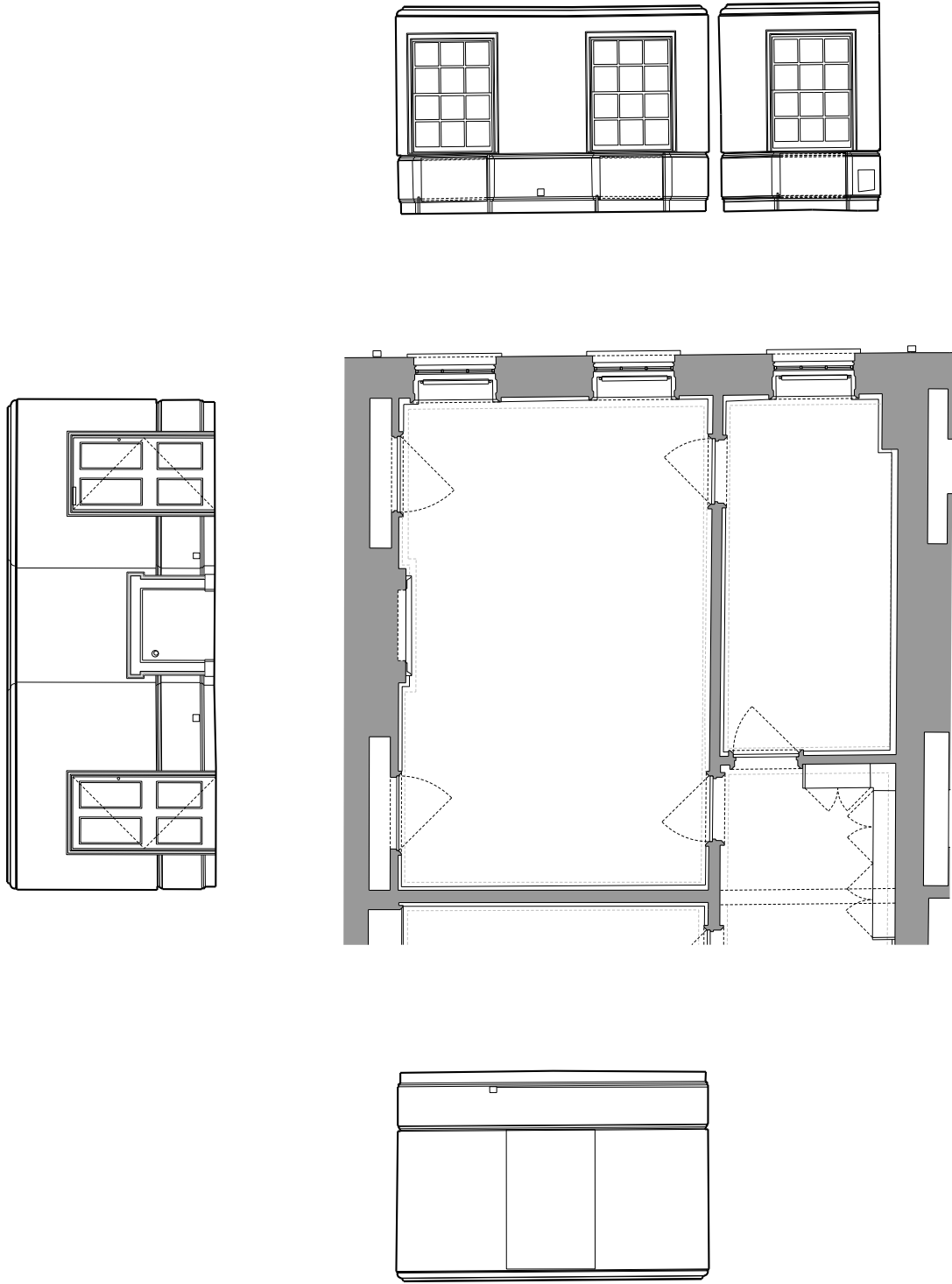
6.4 2ND FLOOR ALTERATIONS

The drawing below indicates the existing and proposed arrangement of the front room of No. 7 Southampton Place. The Edwardian paneling is removed and replaced with skirtings and dado rails in keeping with the original layout. The door between front and rear rooms is reinstated using the existing opening.

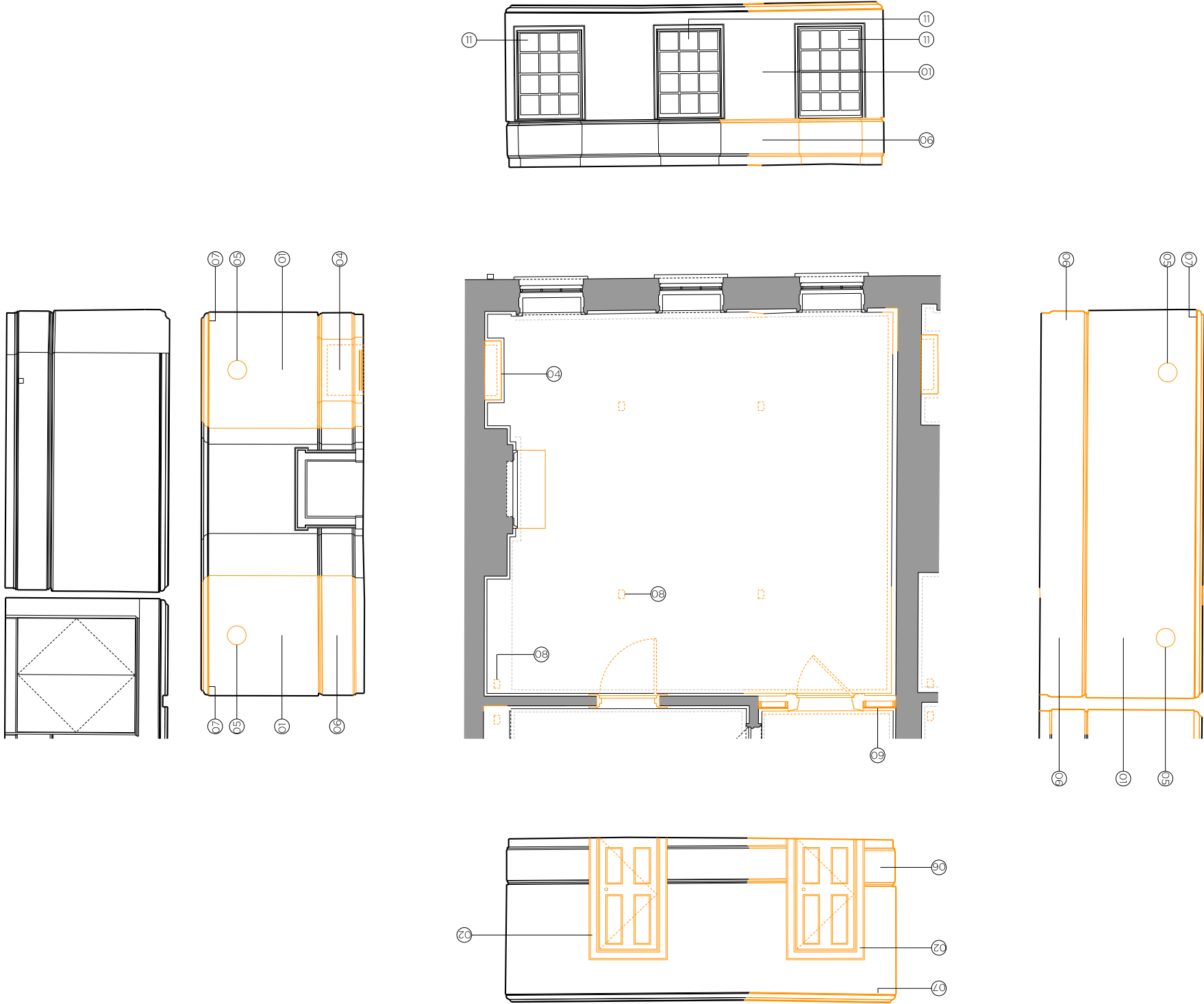
- 01. Wall made good where joinery/door/non-original feature removed
- 02. New door to match existing with fire/smoke seals and ironmongery
- 03. Refurbished door with new fire/smoke seals and ironmongery
- 04. New VRF unit housed within painted casing
- 05. New lighting
- 06. Dado rail/skirting reinstated to match existing
- 07. Cornice reinstated to match historic detail
- 08. Floor box (location indicative) for power and data
- 09. New wall and/or extended door frame to incorporate new mechanical/electrical risers
- 10. New access panel to riser flush, flush and painted to match wall
- 11. Refurbished window

Key

Proposed elements



No. 7 front room - existing



No. 7 front room - proposed

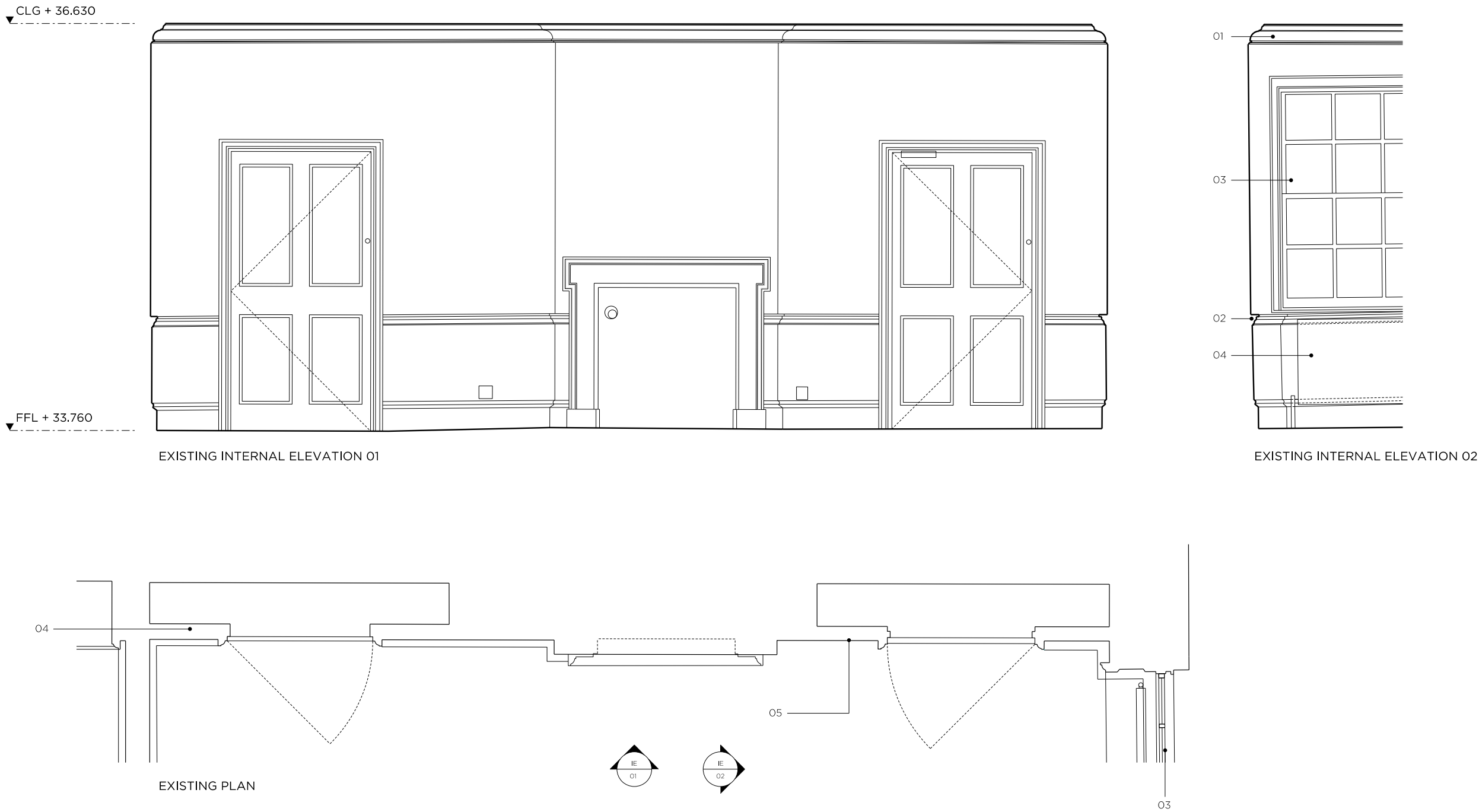
6.0

PROPOSED LAYOUTS

6.4

2ND FLOOR ALTERATIONS

The adjacent drawing focuses in on the detail proposed. The drawing shows the existing layout of the front room on no. 7 Southampton Place

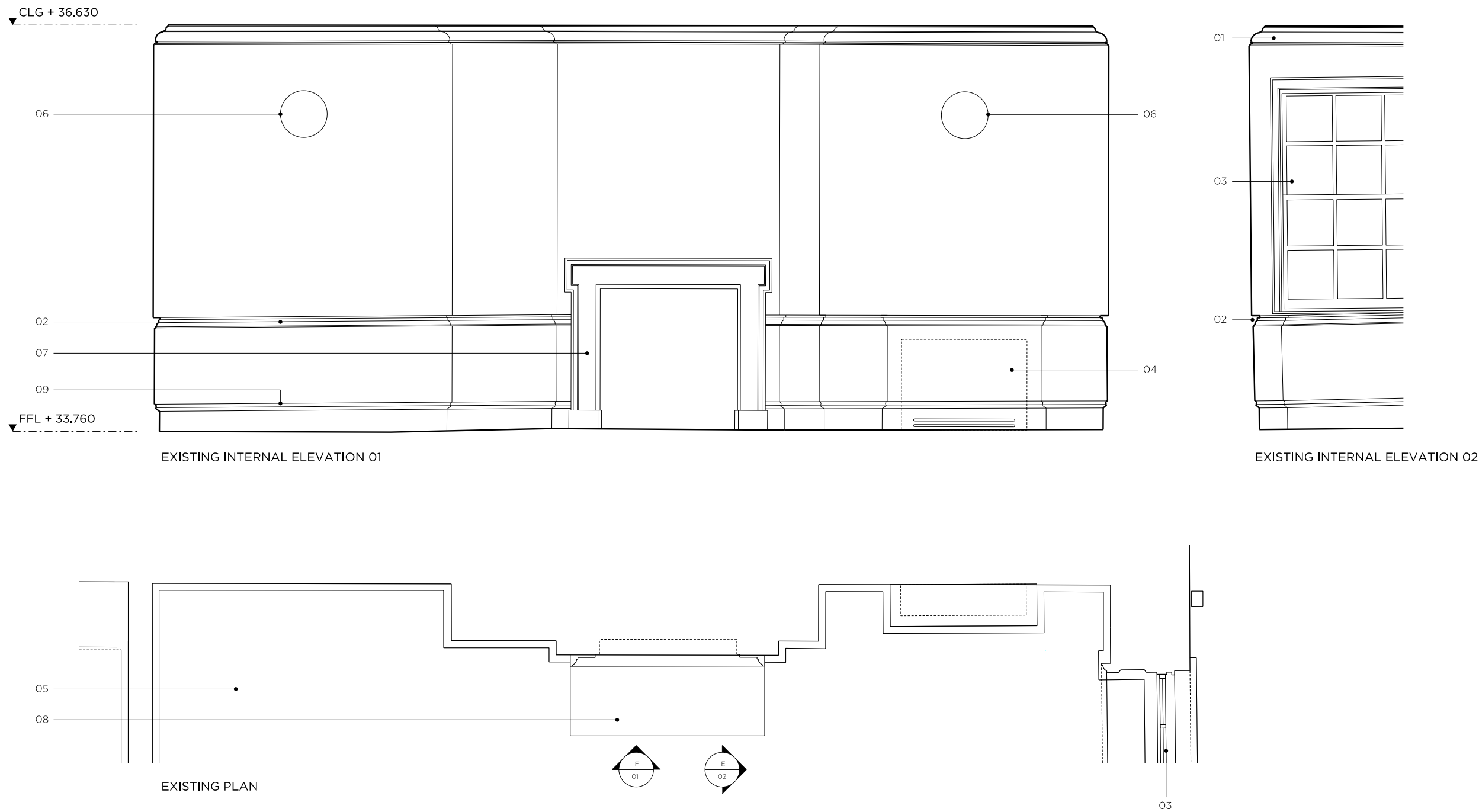


- Existing Key
- 01 Existing cornicing
 - 02 Existing dado rail
 - 03 Existing sash window
 - 04 Existing heating fitting
 - 05 Existing cupboard

6.0 PROPOSED LAYOUTS

6.4 2ND FLOOR ALTERATIONS

The adjacent drawing shows the proposed configuration of the front room of no. 7. The room is refurbishing and re-serviced in a sensitive manor.



- Proposed Key
- 01 Existing cornicing
 - 02 New dado rail to match existing
 - 03 Existing sash window refurbished
 - 04 New VRF unit housed in painted casing
 - 05 New proposed carpet
 - 06 Proposed light fittings
 - 07 Refurbished fireplace
 - 08 Reinstatement of fireplace hearth
 - 09 New skirting to match existing

6.0 PROPOSED LAYOUTS
6.5 3RD FLOOR ALTERATIONS

The adjacent plan indicates the changes proposed to the existing fabric. The key changes are as follows:

- The internal partitions to the front room of no. 6 and rear room of no.8 removed
- The existing WC's and lifts are stripped out
- Windows to the rear extensions of no. 6 and 7 removed.



- Key
- 01 Removal of partitions
 - 02 New door formed
 - 03 Door removed
 - 04 External window removed
 - 05 Existing WC and lift removed
 - 06 Joinery removed



6.0 PROPOSED LAYOUTS
6.5 3RD FLOOR ALTERATIONS

The adjacent plan indicates the proposed layout. The non original partitions removed from no. 6 and 8, reinstating the original plan form.

New risers are formed adjacent to the stair. The design strategy for this is covered later within this report.

The rear extensions to no. 6 and 7 are modernised with new tea points. New windows are installed to the rear extensions, improving the thermal performance of the buildings.



- Key
- 01 Door reinstated between front and rear rooms
 - 02 New window
 - 03 New tea point
 - 04 New WC
 - 05 New Risers
 - 06 Wall filled in



6.0 PROPOSED LAYOUTS
6.6 4TH FLOOR ALTERATIONS

The adjacent plan indicates the changes proposed to the existing fabric. The key changes are as follows:

- The internal partitions and ceilings are removed
- The existing residential bathrooms and kitchens are stripped out
- The existing WC's and lifts are stripped out
- Windows to the rear extensions of no. 6 are removed.



- Key
- 01 Removal partitions
 - 02 Removal of interconnecting door
 - 03 Bathroom removed
 - 04 Plant space stripped out
 - 05 External window removed



6.0 PROPOSED LAYOUTS
6.6 4TH FLOOR ALTERATIONS

The adjacent plan indicates the proposed layout. The partitions removed to create larger, open plan space.

A new floor is installed within the rear extension to no. 6 creating space for new WC's

New risers are formed adjacent to the stair. The design strategy for this is covered later within this report.



- Key
- 01 New doors
 - 02 New partitions
 - 03 New window
 - 04 New tea point
 - 05 New WC
 - 06 New Risers



6.0 PROPOSED LAYOUTS

6.7 ROOF ALTERATIONS

The adjacent plan indicates the changes proposed to the existing fabric. The key changes are as follows:

- New openings are formed above each stair case to take new fire safety devises
- Redundant services are removed including the water tank to no. 7
- The edge protection on no. 8 is adjusted.

- Key
- 01 New openings formed
 - 02 Redundant services removed
 - 03 Edge protection adjusted



6.0 PROPOSED LAYOUTS

6.7 ROOF ALTERATIONS

The alterations at the upper roof are minor. New automatic opening vents are installed above the staircases to each property, improving the fire protection and escape strategy for the buildings.

The roofs will be repaired with finishes to match existing.

A new VRF plant enclosure is located above the risers on no. 8. The location ensures that this cannot be seen from the street. The existing edge projecting is adjusted to suit.



Key
01 New AOV's
02 Enclosure is included within the seperate application for full planning permission and does not form part of this listed building consent application.



7.0 EXTERNAL WORKS

7.1 SCOPE OF WORKS

Although the main focus of the works are on the buildings interiors, refurbishment works are proposed to the buildings exterior. These include:

- Repair and redecoration of external railings including support
- Clean and repair existing stone entrance steps and mosaic (no.6)
- Repair and redecoration of existing render to lower ground floor
- Refurbishment of the existing front doors
- New external lighting
- New access control at the front entrances
- New external doors to basement level
- Refurbishment and re-decoration of existing sash windows
- New external windows and roof lights to the rear extensions
- Repair of lead work to upper level windows
- Brickwork/mortar repairs
- Cornice repairs
- Install lead capping over cornices
- Repair/replace to rainwater goods like for like
- Repairs to roof covering to rear extension at No.8
- Repairs/replacement to existing roof finishes and flashings

The following section looks at the main areas of change across the three properties.



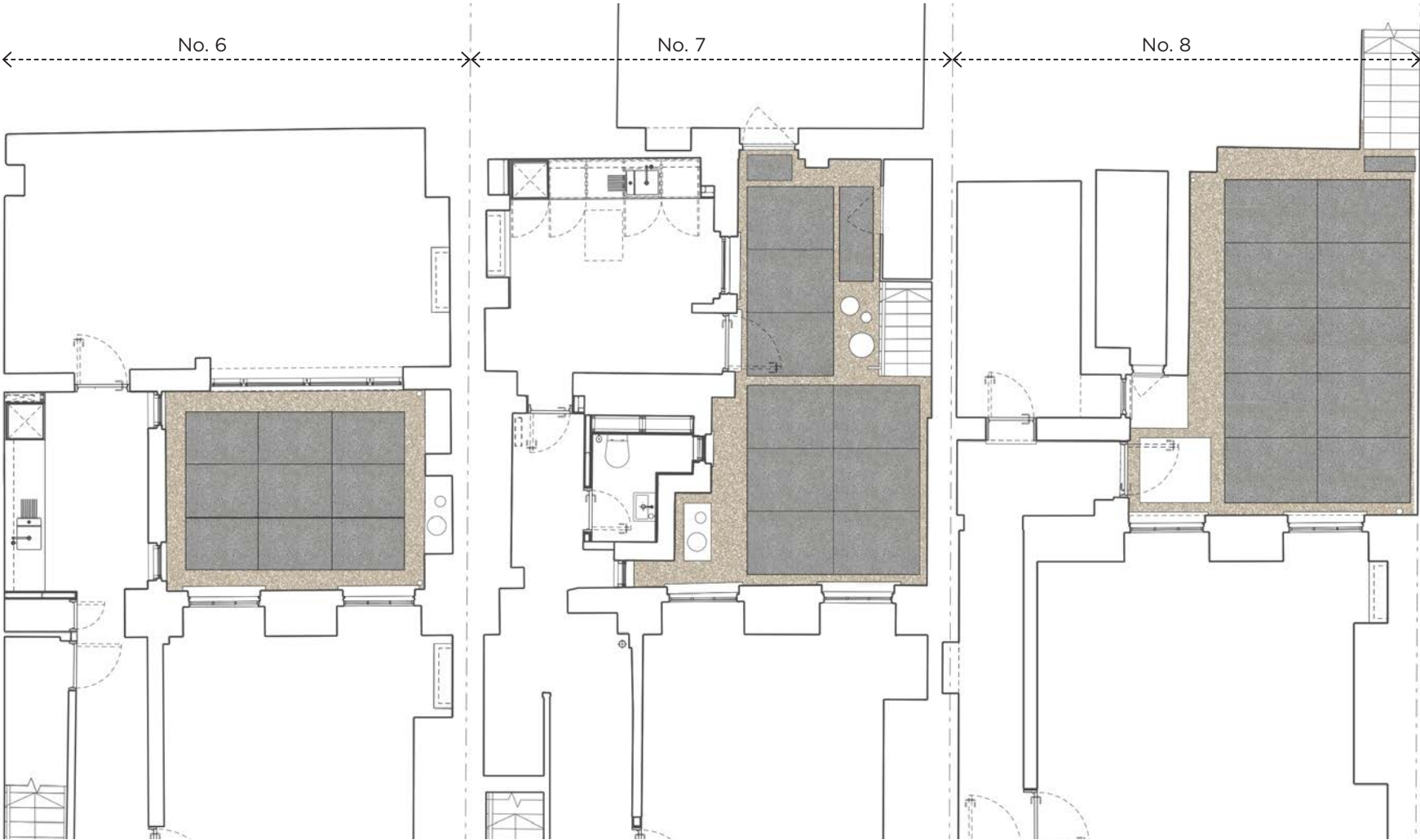
7.0 EXTERNAL WORKS
7.2 EXTERNAL COURTYARDS

There are basement courtyards on all three properties. These are currently underused, with load grade finishes.

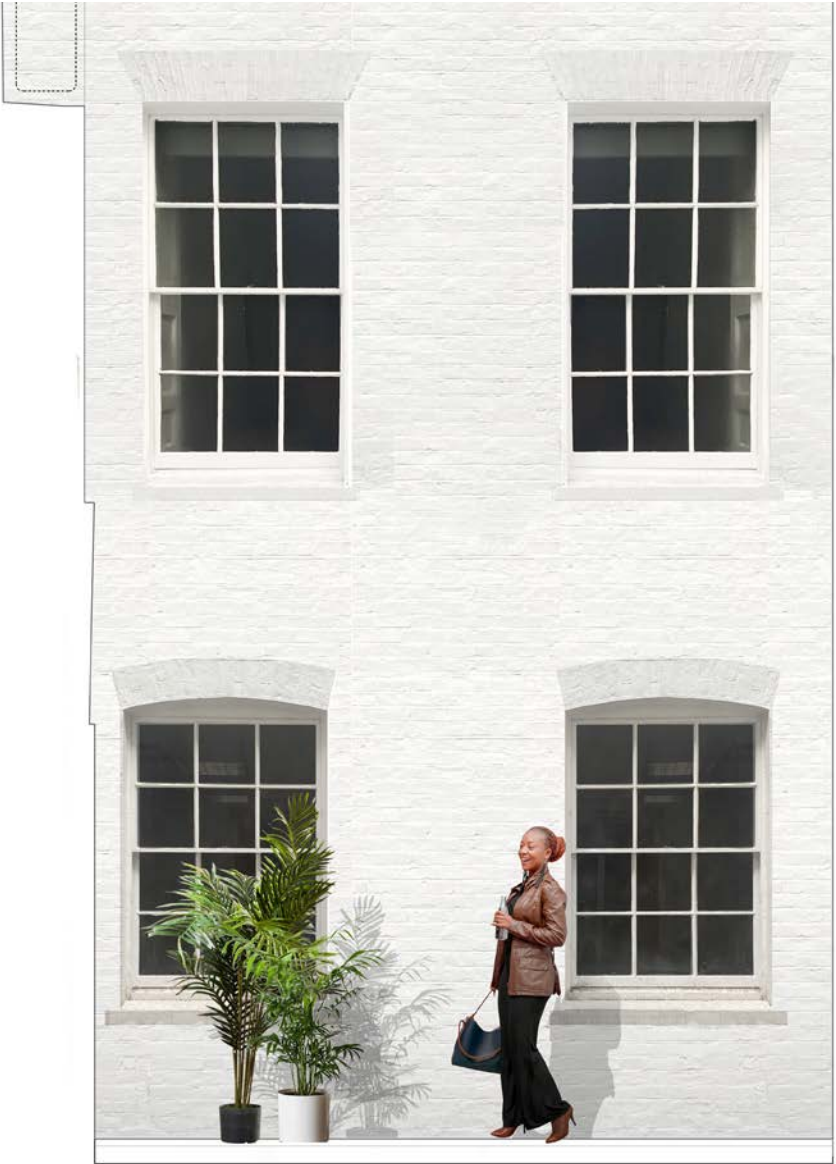
The rear courtyards will be re-paved and additional planting provided. New external lighting will improve the quality of the spaces.



Precedent images of courtyards



Detail of basement layout showing repaving of courtyards



Detailed view of the proposed courtyard and rear elevation to No. 6.

7.0 EXTERNAL WORKS

7.3 LOWER FLAT ROOF ALTERATIONS

The existing roof lights across the flat roofs are in need of replacement. The two rooflights in no. 6 are proposed to be removed and replaced with a single enlarged opening instead, with a new flat glass roof light installed. The existing rooflights to no. 7 and 8 are proposed to be removed and replaced again with flat glass roof lights.



Precedent images showing proposed type of flat glass roof light and sedum roof

KEY

- New flat glass roof light to replace existing
- Existing roof coverings repaired where necessary



Proposed 1st floor roof plan, colour coded to show proposals for repair/replacement

7.0 EXTERNAL WORKS
7.4 UPPER ROOF

There are limited works proposed to the upper roof. New automatic opening vents (AOV's) are installed above the existing staircases to improve the fire safety and escape strategy for each building. The redundant services are removed and the roof repaired on a like for like basis.

KEY

New automatic opening ventilation panel

New roof lights

Existing roof coverings repaired where necessary

Roof of No. 6



Water tank enclosure proposed to be removed



Stepped access accross roofs of No. 8 and 7



Typical existing roof light proposed to be replaced



Photographs of existing roof of No. 6-8 Southampton Place



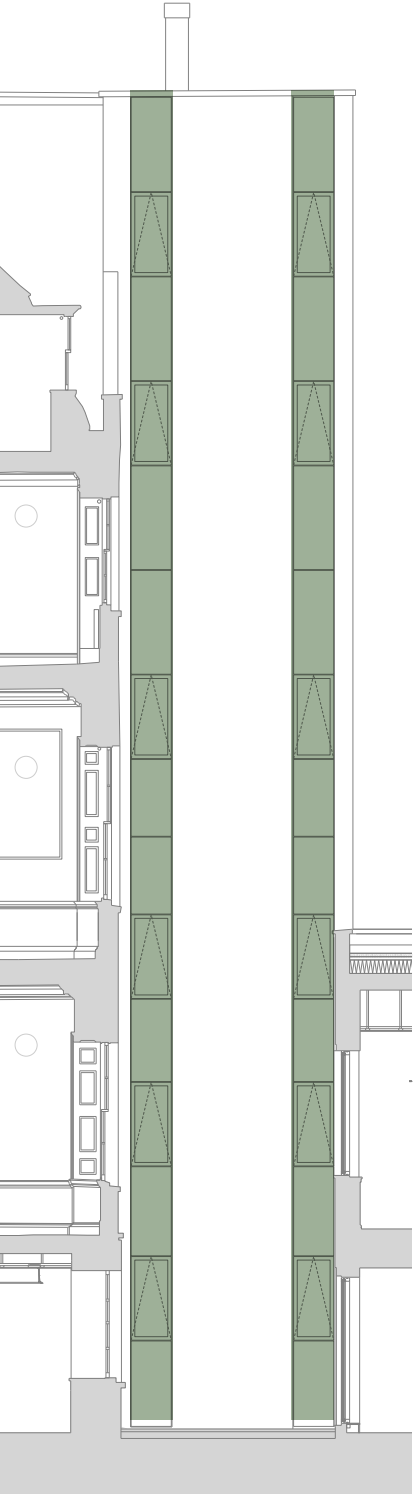
Proposed upper floor roof plan, colour coded to show proposals for repair/replacement

7.0 EXTERNAL WORKS

7.5 PROPOSED REPLACEMENT WINDOWS

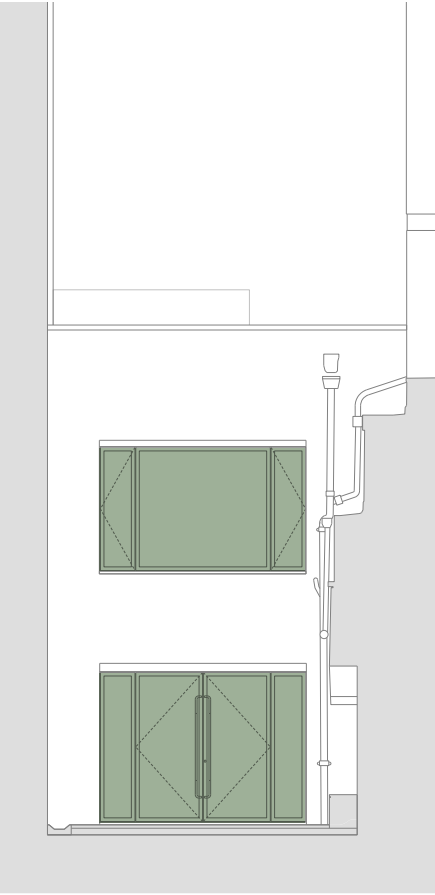
The windows into the extensions to the rear of the building are low grade and non original. Our proposals replace these with new, high performing double glazed units within the existing openings. The frames and metal panels proposed will have a natural anodised aluminum finish. These windows are located in the following areas:

- No. 6 rear tower extension (basement / 4th floor)
- No. 6 Ground floor rear extension
- No. 7 rear tower extension (basement / 3rd floor)
- No. 7 Ground floor rear extension
- No. 8 Ground floor rear extension



A - No. 6 courtyard elevation 1

Proposed replacement windows



B - No. 6 courtyard elevation 2



C - No. 6 courtyard elevation 3

