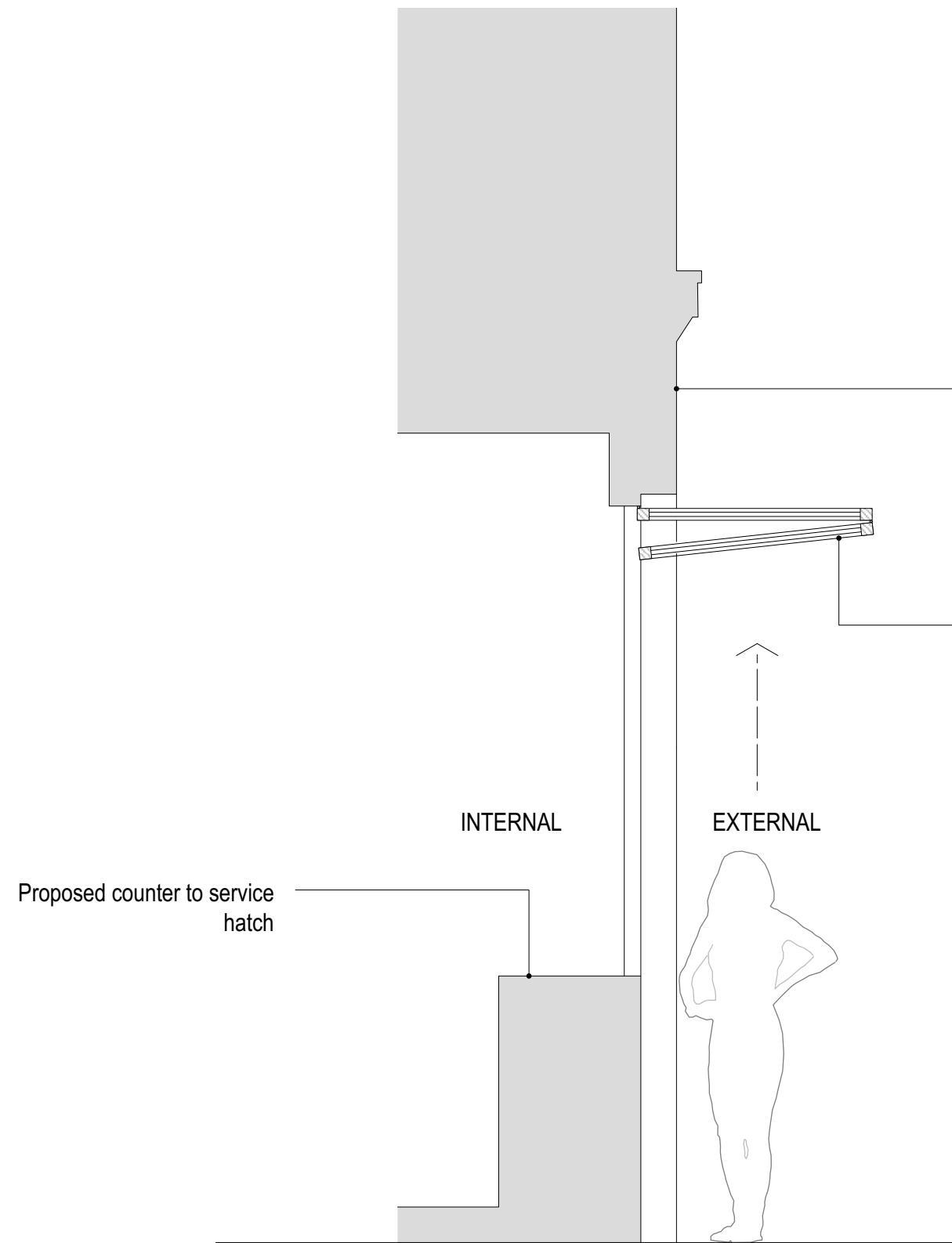
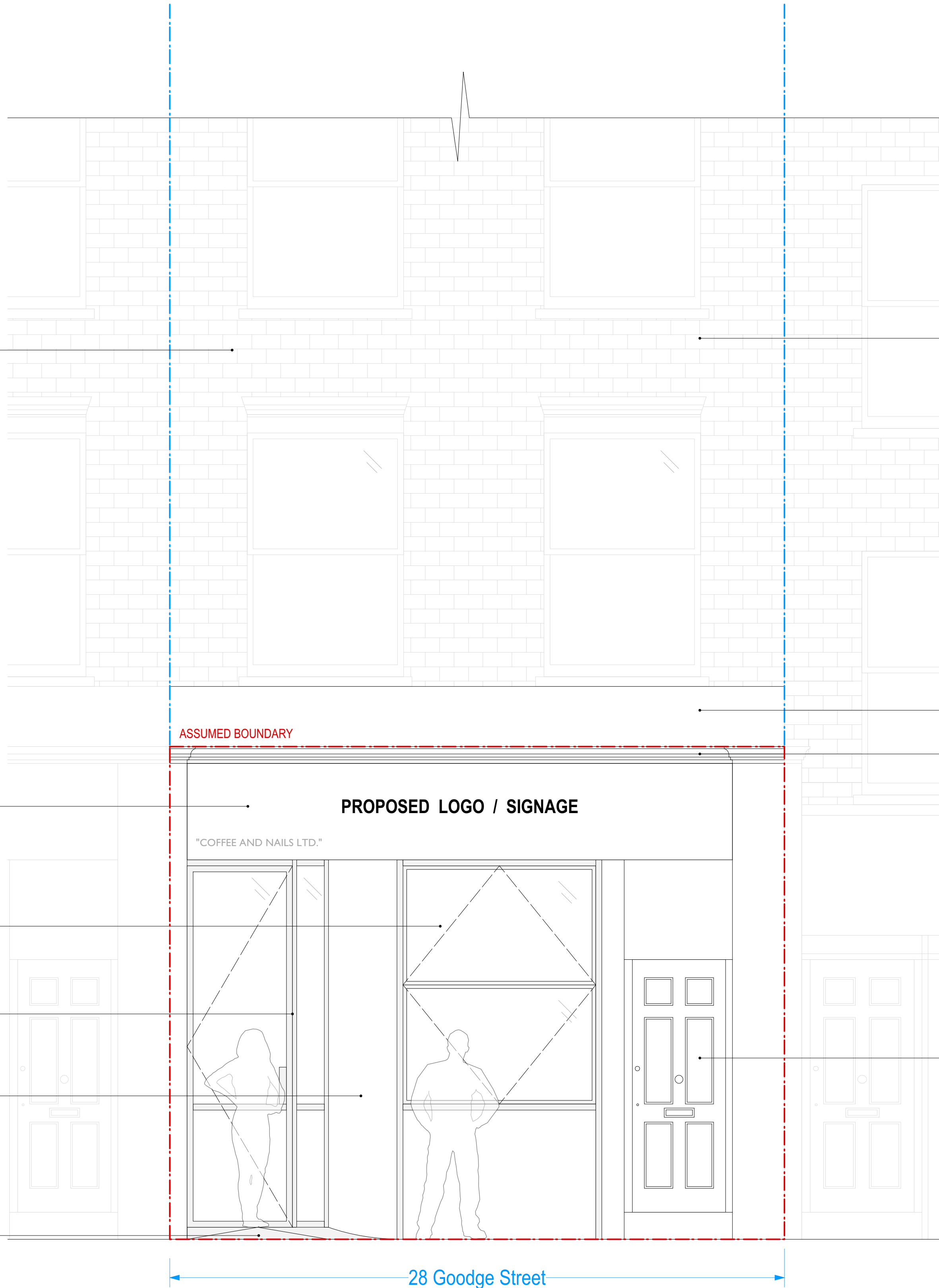


3 Scale: 1:100
Ground Floor Plan



2 Proposed Section - Storefront

FOR INFORMATION ONLY



Assumed elevation, details to be confirmed following measured survey

Existing facade above out of scope

Existing plaster render to be retained

Existing moulding to be retained

Existing access to Flat 1, 28 Goodge Street

Proposed signage to top of shopfront

Proposed metal frame vertical bi-folding glazed service hatch to serve coffee bar

Proposed metal frame full-height glazed door to shopfront

Proposed curved wall to shopfront entrance

Proposed ramp to provide level access to shopfront entrance

PROPOSED LOGO / SIGNAGE

"COFFEE AND NAILS LTD."

28 Goodge Street



Rev	Date	Description	By	Chkd	App	THE COPYRIGHT DESIGN AND PATENTS ACT 1988 THIS DRAWING IS THE COPYRIGHT OF TIGG COLL ARCHITECTS LTD AND MUST NOT BE COPIED OR REPRODUCED IN WHOLE OR PART, BY ANY METHOD WHATSOEVER, WITHOUT THE PRIOR WRITTEN APPROVAL OF TIGG COLL ARCHITECTS LTD ALL SETTING OUT MUST BE CHECKED ONSITE ALL LEVELS MUST BE CHECKED ONSITE ALL DIMENSIONS MUST BE CHECKED ONSITE DO NOT SCALE FROM THIS DRAWING THIS DRAWING MUST NOT BE USED ONSITE UNLESS ISSUED FOR CONSTRUCTION	Project
P1	21/07/2022	Information Issue - Planning Submission	FJ	MM	TCA		28 Goodge Street, W1T 2QQ
							Title
							Proposed Front Elevation and Section
							Date
							14.06.22
							Scale [A3] - 1:50
							Scale [A1] - 1:25
							Drawing no.
							577-28GST-200
							Rev.
							P1

TIGG+COLL ARCHITECTS

G23, THE SHEPHERDS BUILDING
ROCKLEY ROAD, W14 0DA
E:INFO@TIGGCOLLARCHITECTS.COM
T: 020 3170 6125
WWW.TIGGCOLLARCHITECTS.COM