

# Design and Access Statement – 67 York Way

## 1. Features on the Existing Site.

The site consists of a mid-terrace house in a conservation area.

The house has a ground, first, and second floor level and looks to be some 130 years old.

It is not listed and faces on to the relatively busy York Way (to the front). The property is in use as a single family dwelling and has no off street parking.

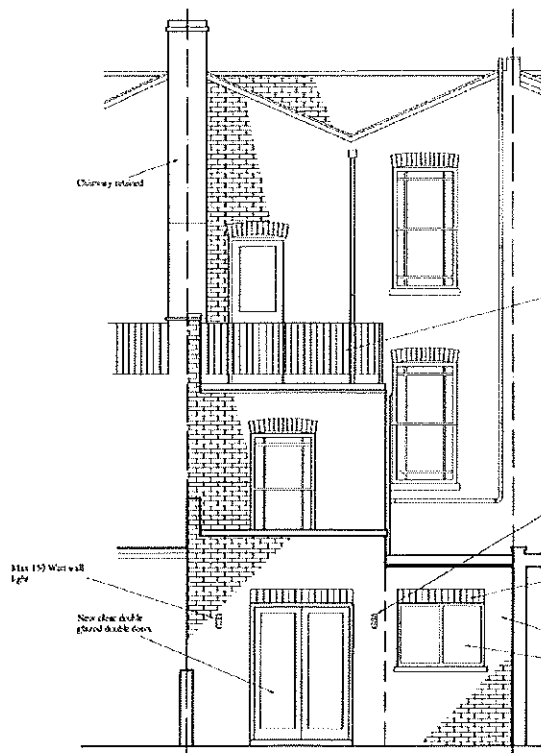
It is flat fronted, has timber windows and a 'Butterfly' style roof.

The property is in generally sound condition and has a ground floor extension. It also has a rear 2 storey extension / annex as part of the original building and the roof of this has for many years been used as terrace.

## 2. Access

As the application is for a simple rear / side extension there will be no proposed changes to the existing, front approach, front door, threshold, stairs, parking or corridor access. Nor will there be any change to internal or external surface finishes.

The only exception to this will be at the rear where new paving and a planted area will replace finish and planter in the yard.



**Proposed Rear**

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### **3. Works.**

The proposed works consist of a new single storey rear side addition. The precise configuration of this can be seen on the application drawings.

The new extension will be formed in brick to match the existing house and it will have a grey membrane roof. New windows / doors will have white painted timber frames.

No other external works are proposed other than the ground floor extension and some planter reconfiguration in the rear yard.

Internally there will be a new second floor bathroom and some new ground floor partitions (in addition to the extension).

### **4. Appearance.**

The front (street) appearance of the building will be unaffected by the works.

To the rear the only change will be the rear extension. (See drawings).

It is not believed that there will be any significant adverse impact on the neighbours in terms of view, sunlight, shading or privacy.

### **5. Summary**

With materials to match existing, a modernised interior, modest side extension and no works to the front or roof, the proposal will have no adverse impact on the Conservation Area.

Ends July 22