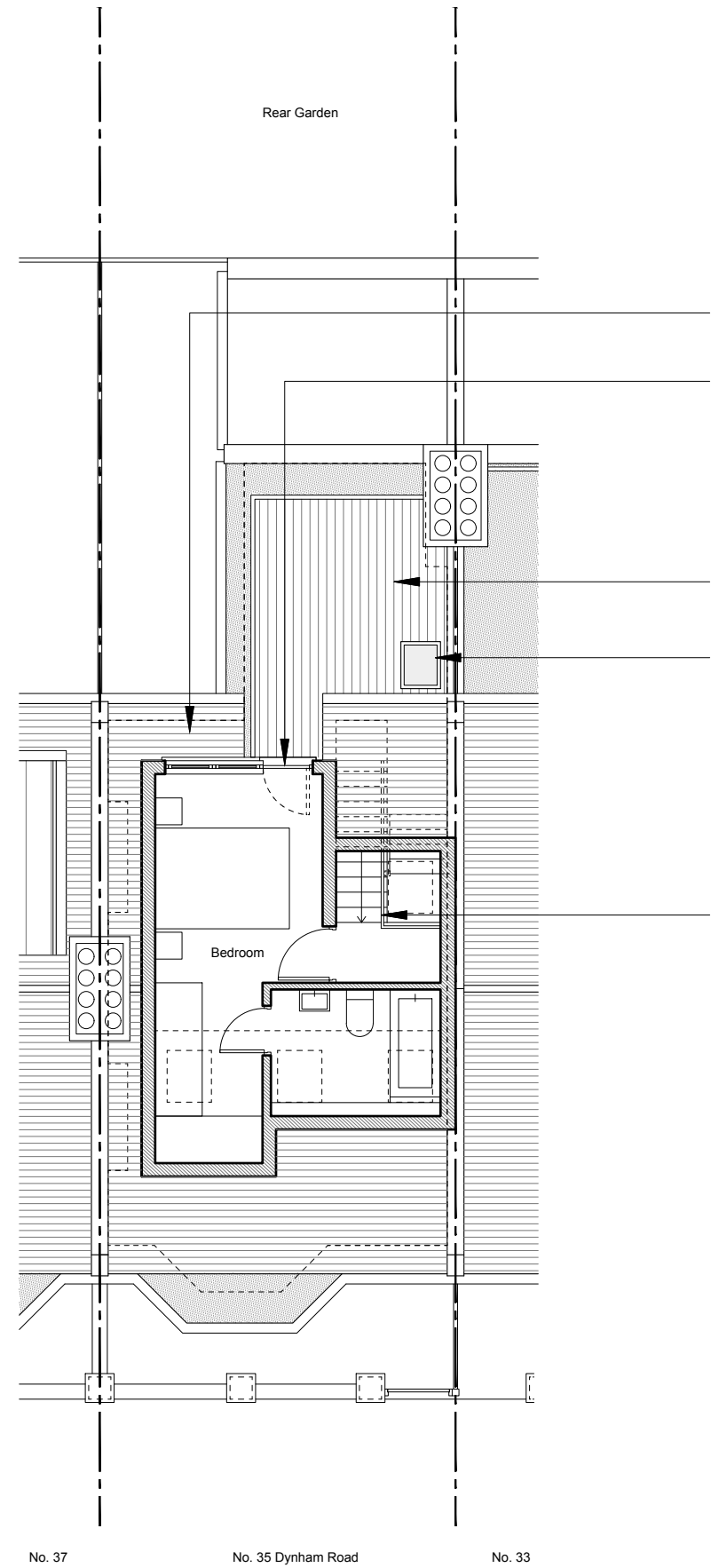


LOFT PLAN



Existing terrace, accessible from
dormer extension at No. 33

1000mm eaves to pitched roof to be
maintained in front of dormer

New double glazed timber door
and windows to dormer extension

1.8m high privacy screen to be
inset from all edges minimum
500mm to prevent overlooking to
the rear windows of the adjacent
properties facing Hemstal Road

New timber decking to flat roof

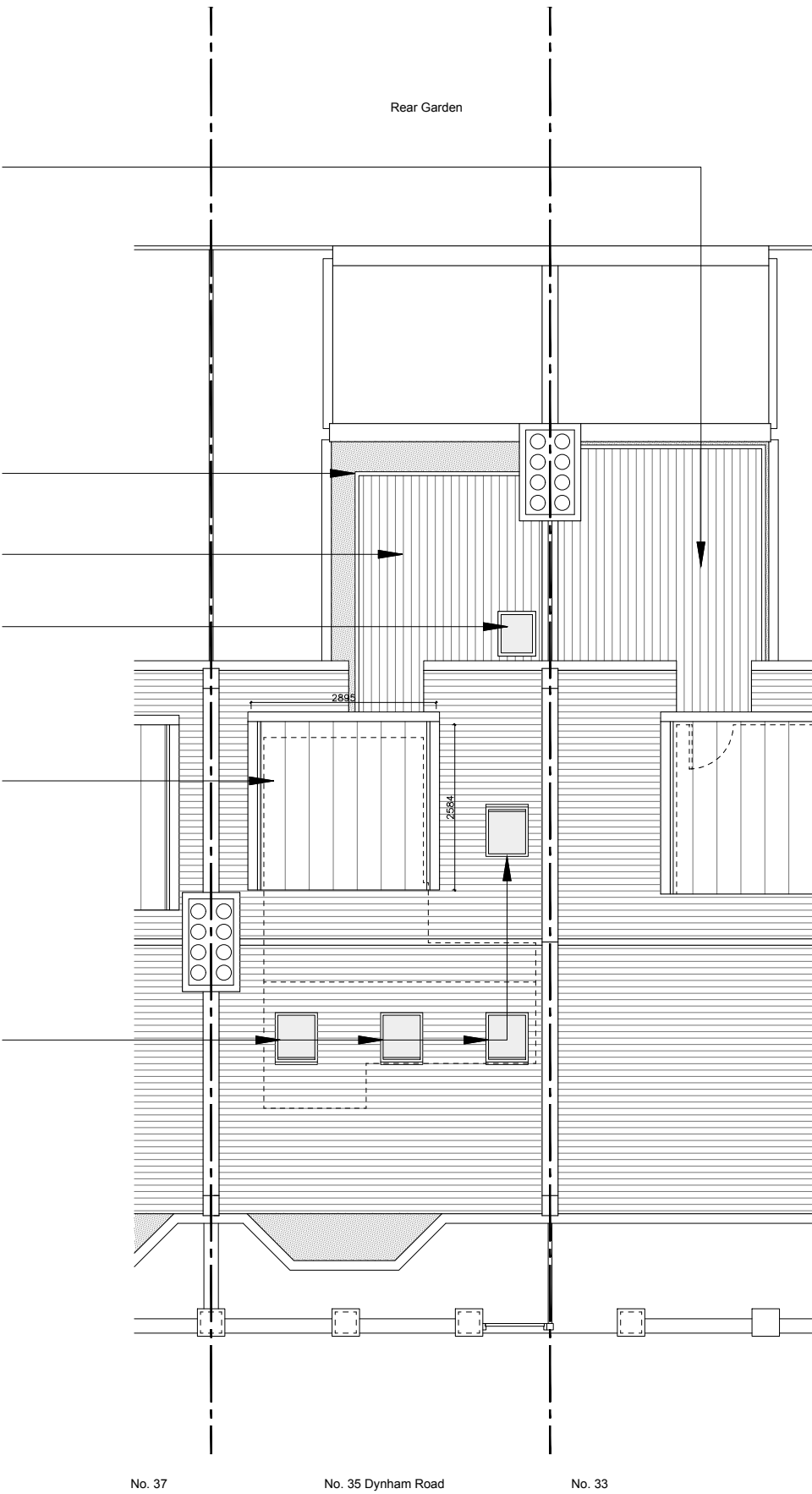
New roof light double glazed with
self cleaning glass and safe
access for cleaning via mansafe
anchor or other approved system

Grey fibreglass roof and fascia
boards to dormer

New staircase to loft extension

New pivot double glazed Velux
windows

ROOF PLAN



NOTES

DO NOT SCALE FROM THIS DRAWING EXCEPT FOR THE
PURPOSES OF PLANNING AND BUILDING REGULATIONS.
ALL DIMENSIONS TO BE CHECKED ON SITE.

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REVISION: **A** 04.07.2022

PROJECT TITLE

35B DYNHAM ROAD

AURAA
STUDIO

www.auraa.studio 1A Chalk Farm Parade
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TITLE

LOFT AND ROOF PLANS
AS PROPOSED

DATE

04.07.2022

SCALE

1/100 @ A3

DRAWN

GC / RL

STATUS

INFORMATION

DRG No

2037_PA_110

REV: **A**

