

21 Windmill Hill, NW3 6RX

Planning, Design & Access Statement

July 2022

Prepared by:

SANYA POLESCUK ARCHITECTS

8a Belsize Court Garages
London NW3 5AJ

t: 020 7431 8580

e: enquiries@polescukarchitects.com

w: www.polescukarchitects.com



Garage of 21 Windmill Hill in Spring 2022.

Table of Contents

1.0 Introduction	3
2.0 Background	4
2.1 Practice Profiles	4
2.2 Site and Surrounding Area	4
3.0 Planning History	5
4.0 Design & Access	6
4.1 Use	6
4.2 Amount	6
4.3 Layout	6
4.4 Access	7
4.5 Scale	7
4.6 Appearance	7
6.0 Conclusion	8
Appendix I - Consented precedent 2021/4447/P	10
Appendix I - Consented precedent 2021/3128/P	11
Appendix II - Consented precedent 2019/6141/P	12

1.0 Introduction

This Design and Access Statement has been prepared by Sanya Polescuk Architects to support the planning application submission for works at 21 Windmill Hill, NW3 6RX.

The property is a two-storey detached house, currently in residential use with a detached uninhabited garage, currently used as a storage.

Planning permission is sought from The Camden Council in respect of the proposal, which aims to change the use of an unheated garage into a habitable space - an artist's studio that will allow owners of the property to work from home. The large, metal garage door will be removed, all existing windows replaced, and the internal layout of the garage will also be altered, to improve functionality and increase the energy efficiency of the building. All the changes will be in keeping with the existing footprint of a garage and remain within the existing walls.

In summary, the proposal has the following benefits:

- A high-quality architectural approach,
- Preservation of the character and appearance of the conservation area,
- Facilitating working from home.

The building is not listed but it is located in the Hampstead Conservation Area.



Figure 1. Hampstead Conservation Area.

2.0 Background

2.1 Practice Profiles

Sanya Polescuk Architects (“SPA”) is a well-established architectural practice based in NW3 with extensive knowledge of the local area. Winner of the AJ Retrofit Award in 2013, SPA has a reputation for skilfully upgrading sensitive building fabric to modern efficiency levels without compromising the special historical characteristics.

2.2 Site and Surrounding Area

No. 21 Windmill Hill is located in the Hampstead Conservation Area (Figure 1), Sub Area Four - Church Row/Hampstead Grove (Figure 2), Fenton House Area. According to Hampstead Conservation Area Appraisal, “Windmill Hill has three green Public Open Spaces, comprising lawn and shrubberies and designated in the UDP. In addition [...] at the foot of Windmill Hill is a small triangular green, defined as Holly Bush Hill Public Open Space in the UDP and listed in the London Squares Act 1931”.

The Windmill Hill includes three fine 1730s listed houses on its north side (Wolta House, Bolton House and Windmill Hill House) and one building considered to make a positive contribution (1-6 Willow Cottage). No. 21 Windmill Hill is considered a neutral building however, it is included in the Second Schedule of Article Four Direction.

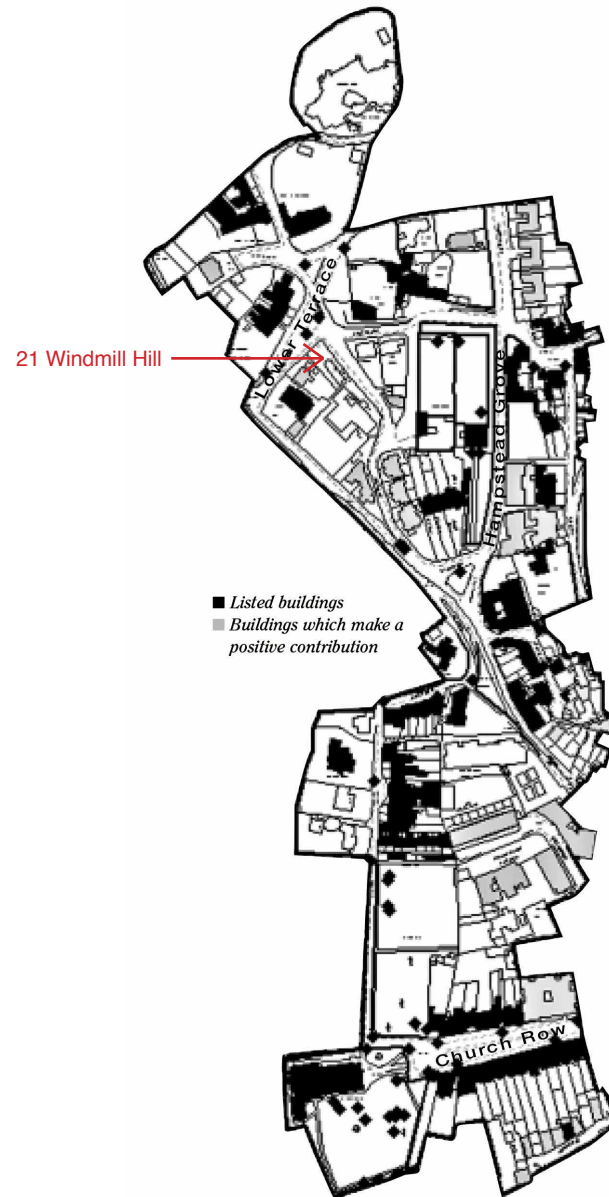


Figure 2. Hampstead Conservation Area, Sub Area 4.



Figure 3. 21 Windmill Hill as seen from the public pathway.

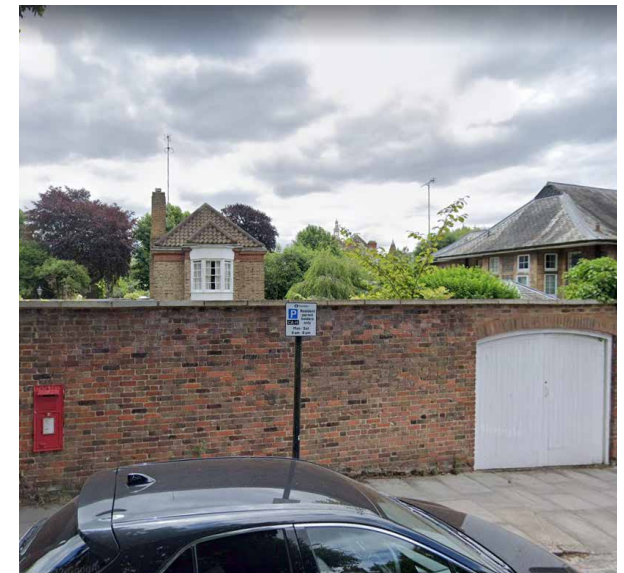


Figure 4. 21 Windmill Hill as seen from the public pathway.

3.0 Planning History

A comprehensive review of the Statutory Register of Planning Applications held by the London Borough of Camden has been carried out.

Online records show the following applications:

- 4257/CY (18.09.1967) - Alterations and additions, the erection of a car port and the formation of a means of access to the highway, at 'Windrush', 21 Windmill Hill, Camden Decision: Conditional.

- 2008/5406/C (11.02.2009) - Demolition of existing dwellinghouse and ancillary garage Decision: Refused.

- 2008/5305/P (11.02.2009) - Erection of a two storey plus basement dwellinghouse (Class C3) Decision: Refused.

The applicant, as owner-occupier, has made personal approaches to all immediate neighbours to invite their views prior to the submission of this application.

A number of permissions for alterations and changes of use to garages have been granted in the Hampstead Town Ward. There are three precedents particularly relevant to this proposal:

- 2021/4447/P (09.12.2021) - Alterations to dwellinghouse including new raised roof, erection of

a rear dormer and rooflight, **conversion of garage into habitable room**, replacement of front ground floor doors and windows by new fenestration, new double glazed doors and windows throughout, new timber cladding on front elevation and new front garden boundary gate and landscaping Decision: Granted.

- 2021/3128/P (07.09.2021) - Erection of replacement single storey rear extension, alterations to front and rear fenestration including reconfigured front entrance and **replacement of garage door with window in association with conversion of garage to habitable accomodation**; replacement boundary treatment Decision: Granted.

- 2019/6141/P (27.10.2021)- Erection of a ground floor front extension; **conversion of the existing garage into habitable room**; erection of a ground floor rear extension including a green roof; excavation of a single storey basement below the host dwelling; erection of a garden room with a green roof in the rear garden following demolition of the existing rear shed and bike store; alterations to the existing front fenestration; alterations to the existing rear boundary treatment; and alterations to the front and rear landscaping Decision: Granted subject to a Section 106 Legal Agreement.



Figure 5. Garage door to be removed.



Figure 6. Garage door to be removed.

4.0 Design and Access

The works to be undertaken to achieve the conversion will include retrofitting features to significantly reduce the studio's carbon footprint such as: introducing insulation to the floor, walls and roof, upgrading windows and doors to thermally efficient, triple-glazed, aluminium, and installing underfloor heating.

4.1 Use

The main house is currently a use class 'C3 Dwellinghouses' and will remain unchanged. The existing detached garage is currently used as storage and is proposed to be converted into a habitable space - an artist's studio. The garage has limited width which doesn't allow for a modern car to be stored inside, making it unfit for its purpose (Figure 13).

4.2 Amount

Detached 26m² old garage/storage area, which is currently unheated, will be converted into habitable space to meet Clients' modern needs of working from home. The internal layout will be altered to transform the garage into a useful space, refurbish, retrofit and improve the overall characteristics of the existing building. The insulation will decrease the GIA by 4m² to 22m².

4.3 Layout

The proposed changes apply to the existing garage only. There are no proposed changes to the main house.

The proposal includes:

- converting an unheated garage currently used as storage into a habitable space;
- installation of 1no. ventilation grille and 1no. light fitting on the front elevation (Figure 8);
- replacement of the existing windows and glazed door with energy-efficient ones (triple-glazed aluminium) (Figures 11 & 12);
- removal of the existing, unsympathetic, metal garage door and infilling the wall with brick to match the existing (Figures 5, 6 & 7);
- insulating internal walls, floors and roof.

The proposed internal layout will be reconfigured to work within the existing structural walls while maximising space and providing as many storage opportunities as possible (Figures 9 & 10). Due to extensive insulation providing comfort to the user and making the building sustainable by reducing heating/cooling demands, the floor will be lowered to provide a comfortable internal ceiling height of 2.2m.

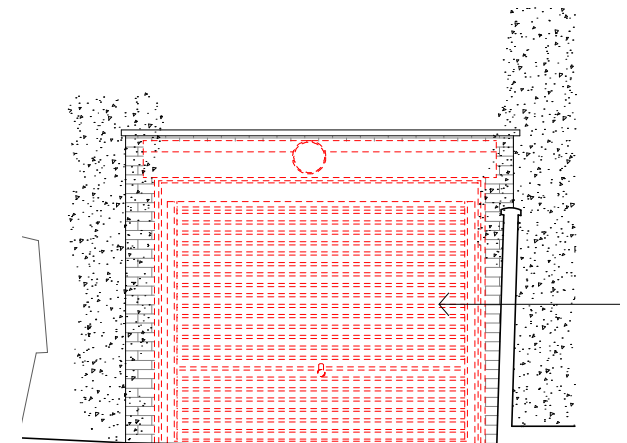


Figure 7. Front elevation of the existing garage

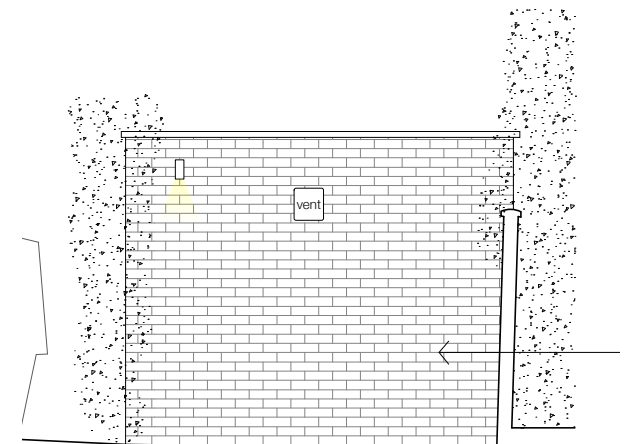


Figure 8. 21 Front elevation of the proposed Artist's studio.

4.4 Access

The main access to the property and the garage will remain unchanged. The proposal does not alter the vehicle and pedestrian access to or from the public highway.

4.5 Scale

Internally, the proposal's scale is in keeping with the existing property as the refurbishment remains within the existing walls, including the thermal improvements to the building's external fabric.

4.6 Appearance

Any changes to the elevation will not be visible from any public pathway as the whole property is surrounded by a tall brick fence (Figures 3 & 4). All proposed materials are a modern interpretation of those already present in the area. The main house and the garage are both built-in yellow stock brick. The opening created after the demolition of the unsympathetic metal garage doors will be infilled with brick to match the existing ones. Any existing windows will be replaced with aluminium-framed, triple-glazed energy-efficient units.

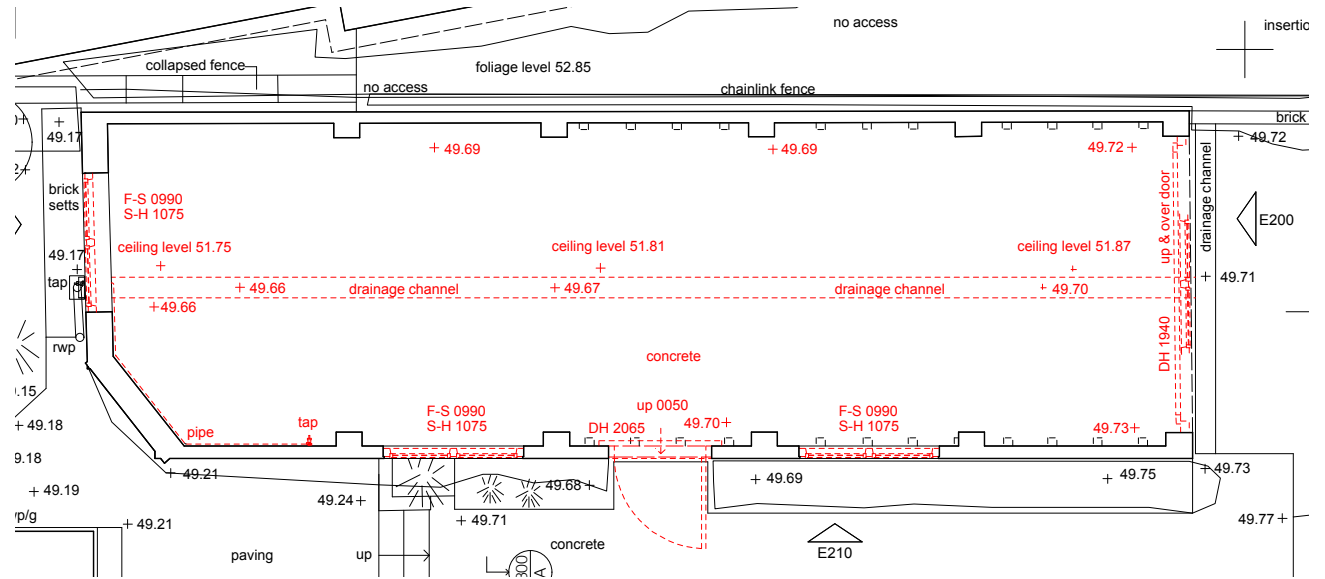


Figure 9. Floor plan of the existing garage.

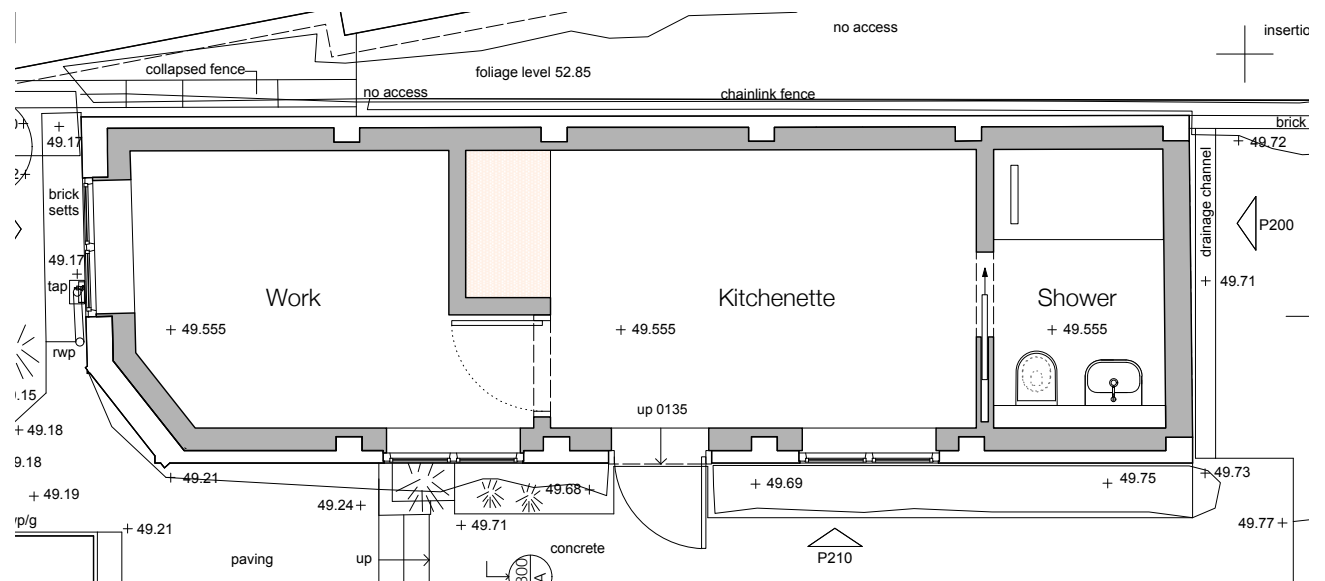


Figure 10. Floor plan of the proposed Artist's studio.

5.0 Conclusion

The proposed amendments to the existing garage will provide an improved environment for the existing occupiers who have been living on the property since 2010 and intend to stay on the property for the long term.

Proposed works are unobtrusive and respectful to the main property and its curtilage. The scale and proportions of the outbuilding will not change, yet provide a high-quality solution for the owners who wish to use it as an artist's studio.

The proposed changes are subordinate to the existing building and will not be visible from the main public street or obscure any important architectural features.

The use of materials and design will preserve the character and appearance of the Conservation Area. In addition, any unsympathetic features of the existing garage such as the tall, metal doors will be removed, enhancing the appearance of the building and the Conservation Area.

All the changes proposed are consistent with the main building and will have no impact on the surrounding properties.

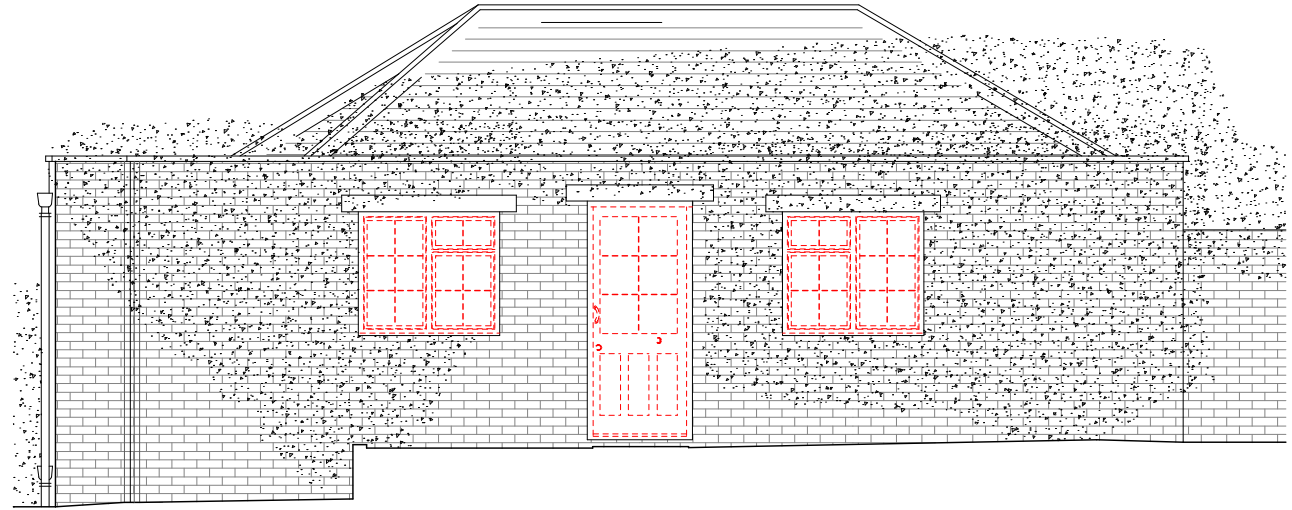


Figure 11. Existing side elevation of the garage.

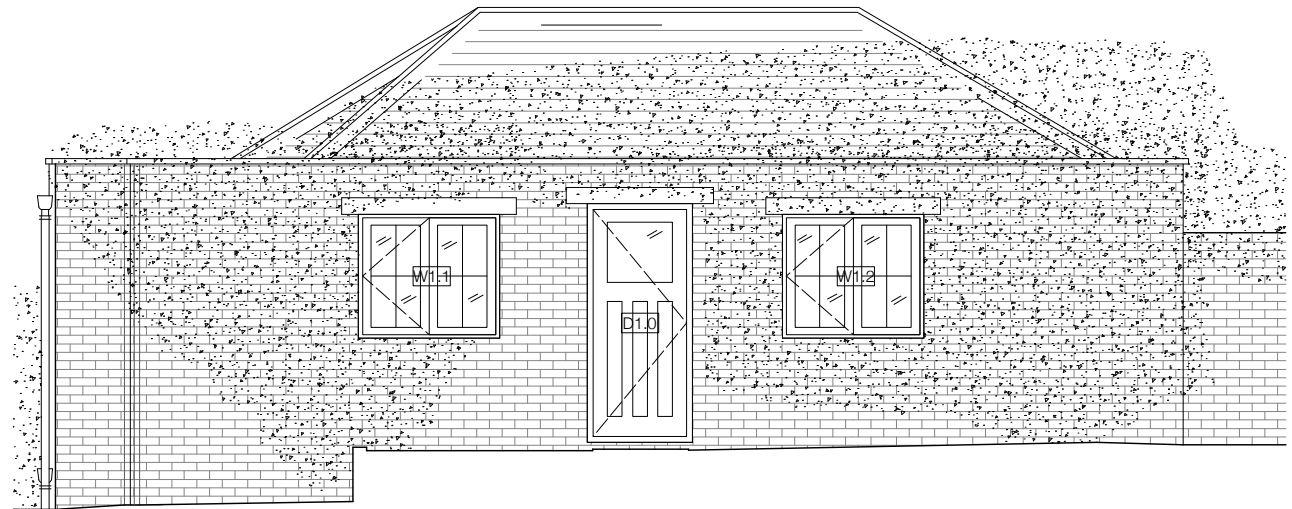


Figure 12. Proposed side elevation of the artist's studio.

The current garage does not meet the minimum spatial requirement to fit a modern vehicle (Figure 13), making it not fit for its purpose.

The owners wish to be able to benefit from the space, transforming it into a contemporary artist's studio and allowing them to work from within the premises.

The proposal will positively impact the lives of the owners/occupiers without affecting the neighbours or Conservation Area hence should be considered sympathetic in planning terms.

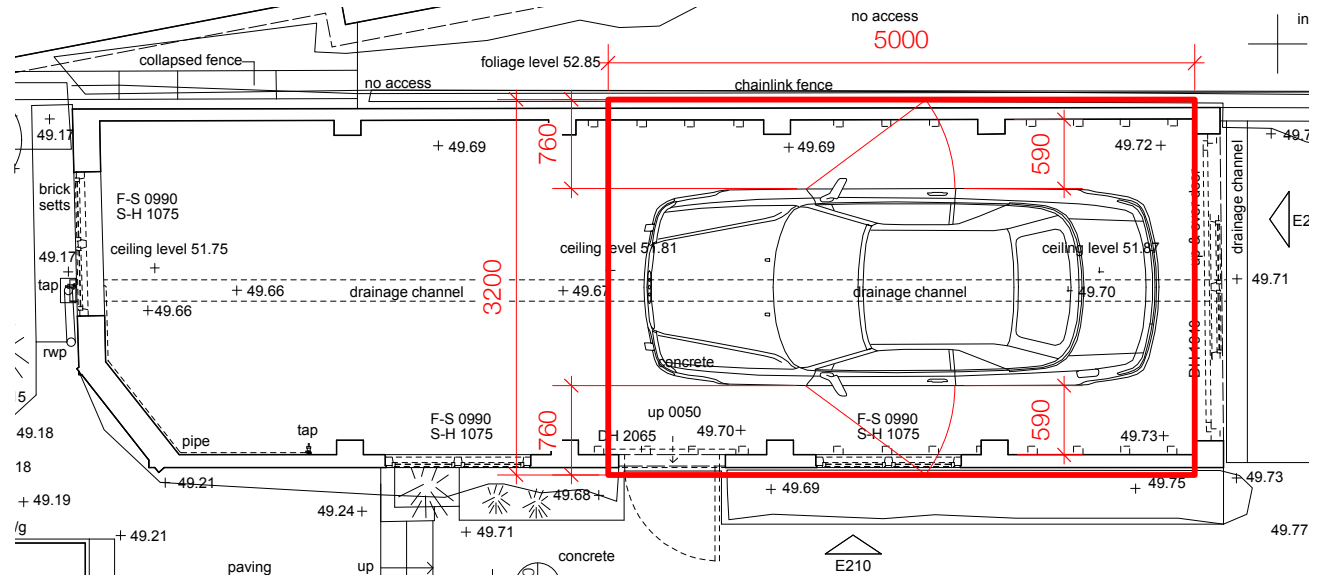


Figure 13. The diagram showing the current garage is not fit for its purpose due to spatial restrictions. The red lines show the minimum internal footprint of a modern garage, allowing for a comfortable opening of the doors of the vehicle. Those minimum dimensions are not met, rendering the garage unusable for vehicle storage.

Appendix I - Consented Precedent 2021/4447/P

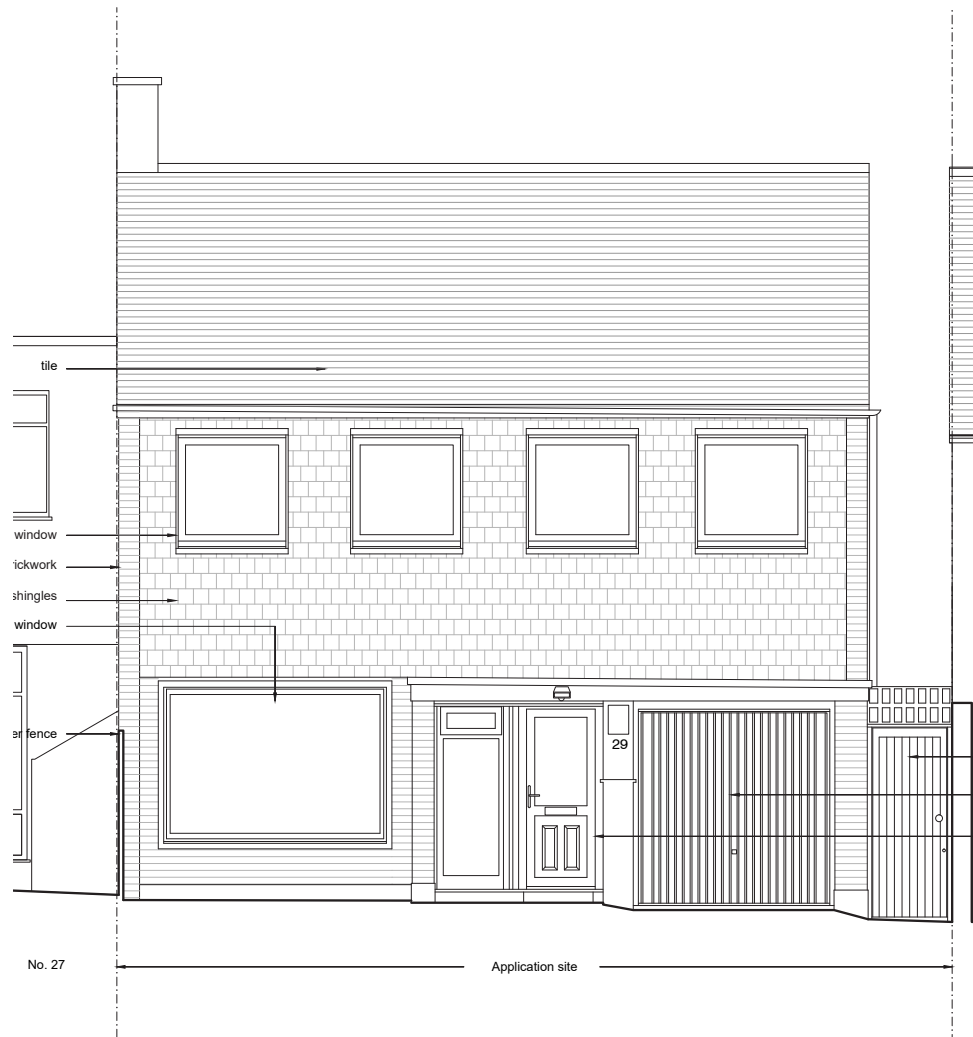
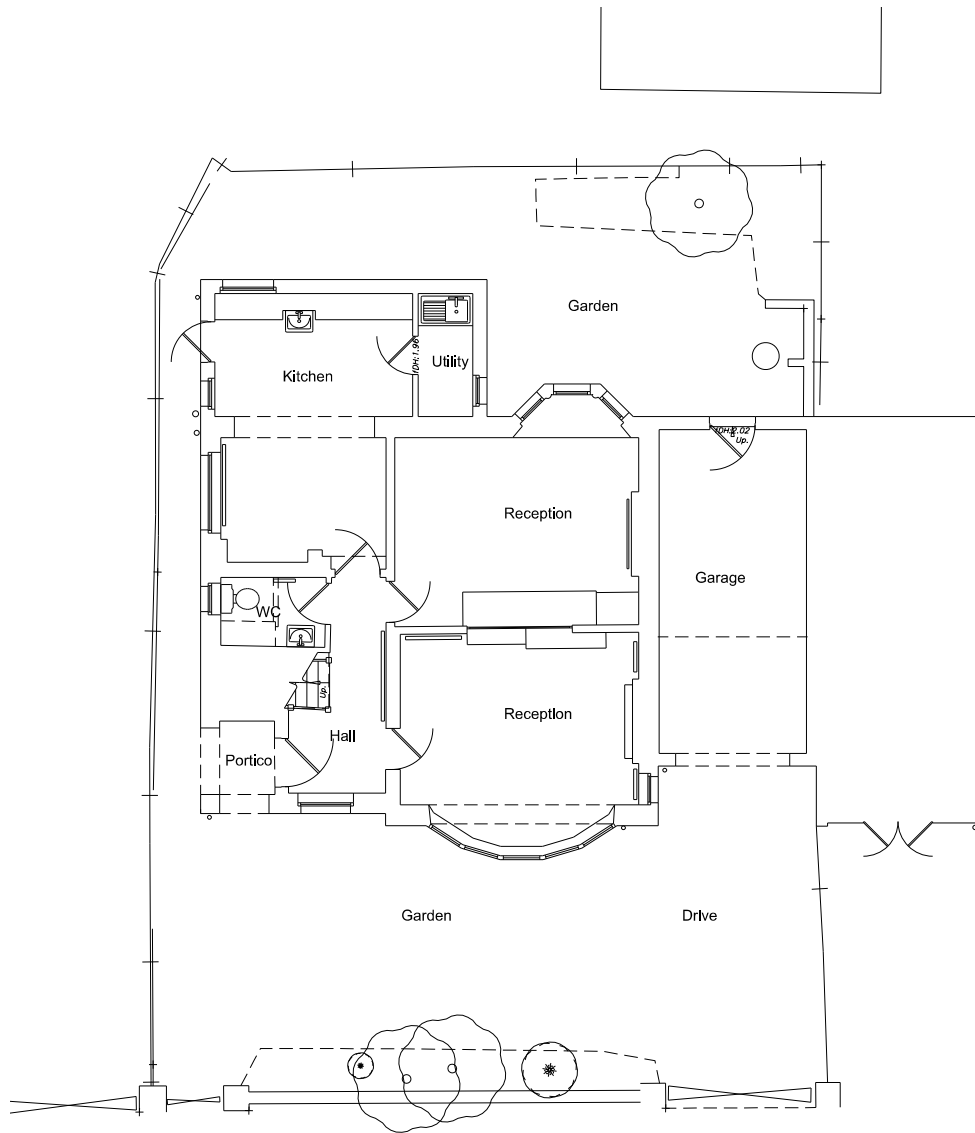


Figure 14. Existing front elevation.

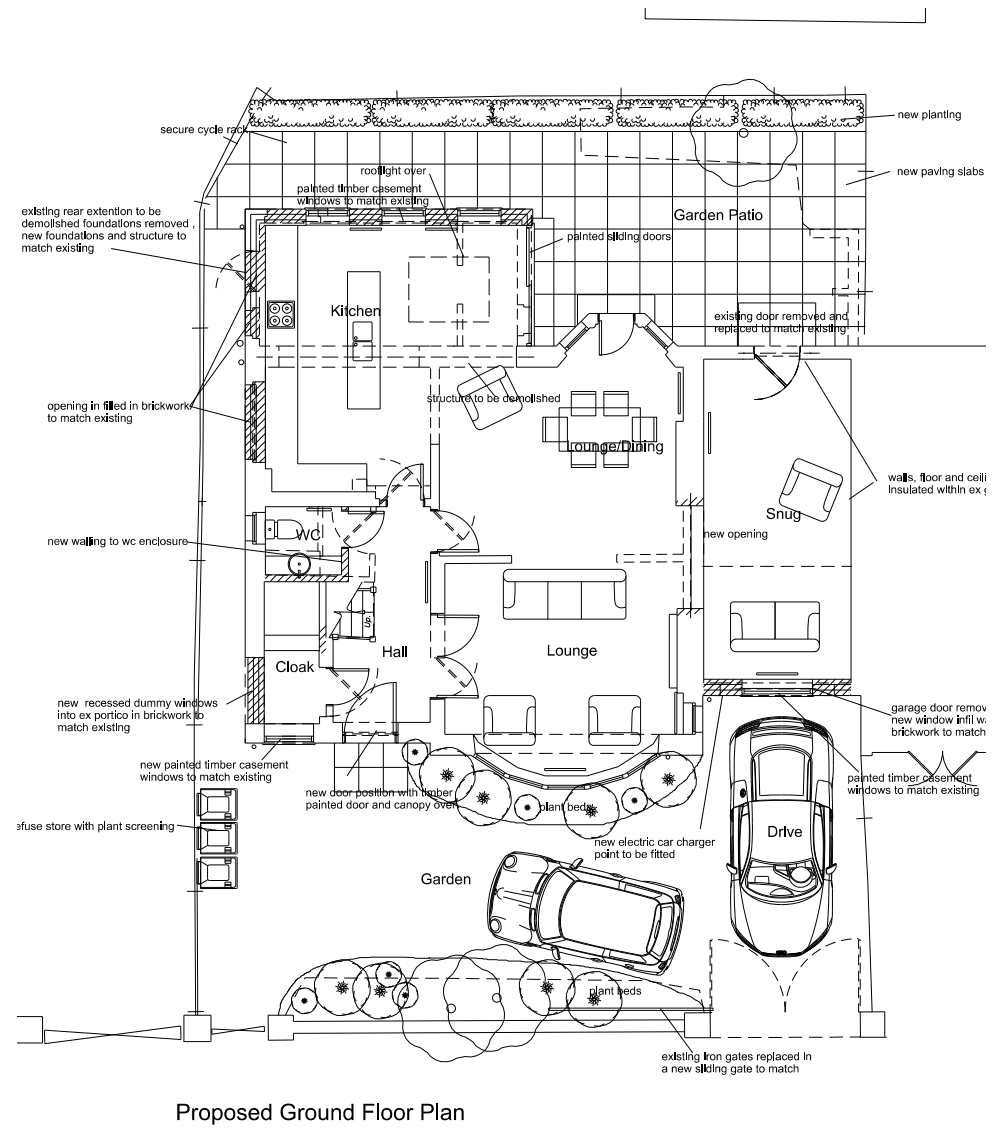


Figure 15. Proposed front elevation.

Appendix II - Consented Precedent 2021/3128/P



Existing Ground Floor Plan
Figure 16. Existing ground floor plan.



Proposed Ground Floor Plan
Figure 17. Proposed ground floor plan.

Appendix III - Consented Precedent 2019/6141/P

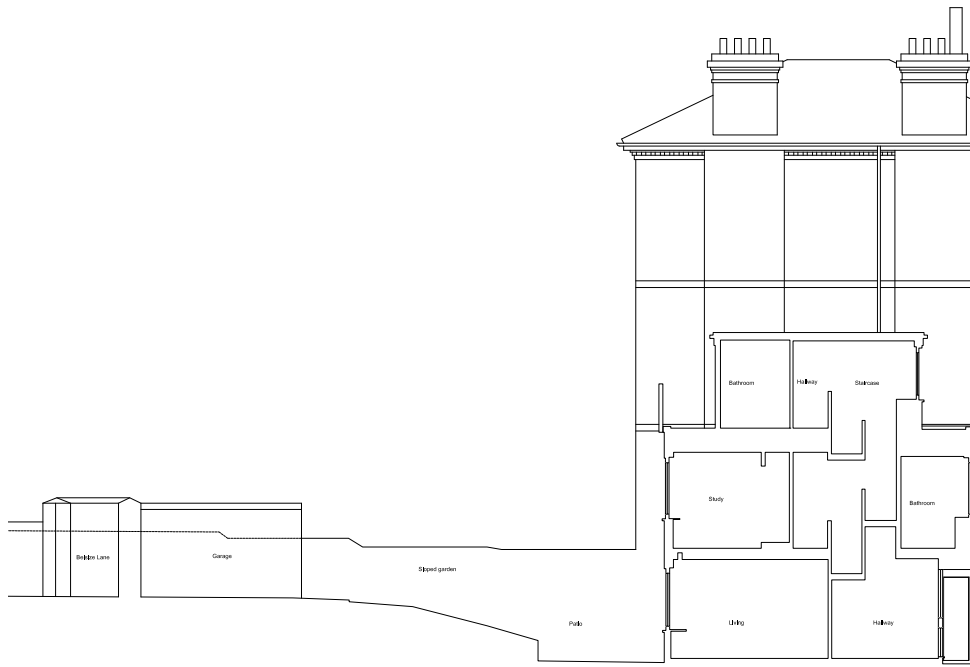


Figure 18. Existing section.

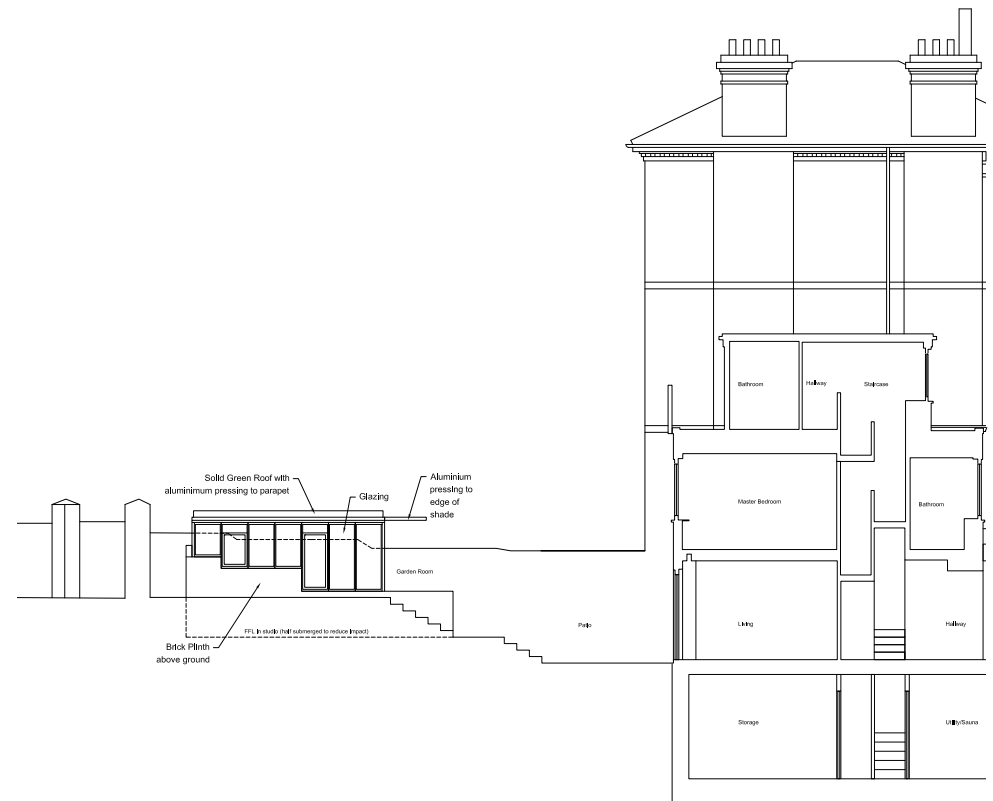


Figure 19. Proposed section.