



Planning, Design and Access Statement

**32 Willoughby Road, London,
NW3 1RU**

July 2022

**WEA Planning
20-22 Wenlock Road, London, N1 7GU**

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WEA Planning Ref: 2021_55

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Contents

1.Introduction	3
2.Planning Justification	8
3.Conclusion.....	18

Chapter 1

Introduction

1. Introduction

- 1.1. This planning statement has been prepared by WEA Planning on behalf of the property owner Mr. Jimeet Patel, to support the householder application submission for the construction of single storey side and rear infill extensions and enlargement of the existing two storey outrigger to extend the dwelling at 32 Willoughby Road.
- 1.2. This statement sets out the background to the development (including planning history), the justification for the proposal and its accordance with the development plan. The statement refers to the development plans which comprise:
- The London Plan 2021;
 - Camden Local Plan 2017
 - Hampstead Conservation Area Statement
 - Hampstead Neighbourhood Plan 2018
 - Camden Home Improvement SPG January 2021
- 1.3. The National Planning Policy Framework (NPPF) and the planning practice guidance to support the Framework sets out the Government's policies and how they are expected to be applied.

Site Description

- 1.4. The application site is situated within the London Borough of Camden (herein referred to as LBC) at 32 Willoughby Road, London, NW3 1RU.
- 1.5. The existing property is a three-storey semi-detached single family dwelling with an original two-storey flat-roofed outrigger and a single storey rear extension at the back of the outrigger used for storage.
- 1.6. The current layout is compromised with an inefficient use of space and needs to be updated for modern living and the functioning of a growing family. The two storey outrigger contains most of the essential living accommodation including the long narrow long kitchen, with a study and bathroom above.
- 1.7. The property is located on the eastern side of Willoughby Road, close to the junctions with Carlingford Road to the south and Rudall Crescent to the west. The

property is located within the Hampstead Conservation area, however, it is not a statutory listed building.

- 1.8. The house is listed as a building making a positive contribution to the character of the conservation area.
- 1.9. The property is a late 19th century semi-detached property with a two-storey front bay window and red-brick front elevation. The rear of the property is finished with London brick stock. The dwelling is a three-bedroom property with a small rear garden accessed from the side passage along the rear outrigger.

Heritage

- 1.10. The property is located within the Hampstead Conservation Area, to the east of the centre of Hampstead. The part of Hampstead where the application is located was developed in the 1880s and 1890s when streets of modest middleclass terraced houses filled in all the undeveloped land between South End Green and Hampstead as detailed in the Hampstead Conservation Area Statement. In 1875 Carlisle House, which stood back from the High Street where Willoughby Road now runs, was sold off for building. Over the next 15 or 20 years its extensive grounds were developed into Willoughby Road, Rudall Crescent, Denning Road, Carlingford Road, Kemplay Road and Worsley Road (now Pilgrims Lane), lined with three and four storey terraced houses typical of late 19th century developments.
- 1.11. The Willoughby Road sub-area of the Conservation area is characterized by streets forming one of the densest and homogenous parts of Hampstead, laid out somewhat like a grid. The houses are mostly of red or gault brick. Few are of high architectural quality, but many have attractive timber porches, ornamental brickwork or other flourishes typical of their period.
- 1.12. Denning Road, Carlingford Road, Kemplay Road all run downhill away from Willoughby Road comprising largely four storey terraced Victorian houses with their rooflines stepping downhill to the east. Many of the houses have semi-basements and steps up to the front door with boundary walls to the pavement. Architectural details vary from street to street adding character to the area as a whole. A few smaller, modern houses have been built on gap sites or back

gardens. These generally have fewer floors, lower ceilings and smaller windows than the older houses and in some cases the disparity in scale is uncomfortable.

- 1.13. Glimpses of the proposed upper-level works and roof alterations will be seen from Carlingford Road. The properties along Carlingford Road are predominantly Victorian-era townhouses that have been substantially altered at roof level including some poorly designed mansards. No. 30 Willoughby Road exhibits a prominent metal terrace at first floor level to the side facing Carlingford Road. There is also a modern flat roof double garage adjacent to No. 34 Carlingford Road.

The proposal

- 1.14. The applicant seeks Householder planning permission from LBC for the construction of a single storey side and rear infill extensions and enlargement of the existing two storey outrigger at 32 Willoughby Road.

- 1.15. The proposal seeks householder planning permission for:

“Enlargement of existing two storey outrigger and construction of single storey rear infill extension and single storey side extension.”

- 1.16. The purpose of the proposed development is to renovate the dwelling and provide additional living space to accommodate the needs of the applicant’s family. The development allows the enlargement of the living-dining rooms at ground floor level and the other living spaces on the first floor.
- 1.17. The proposed alterations to the rear outrigger and the proposed rear extension were discussed with the planning officer in pre-application 2021/6287/PRE (which also discussed other alterations and extensions to the property). The principle of the increase in width of the outrigger was considered acceptable, as was the principle of the ground floor rear infill extension. However additional details regarding the fenestration and roof form of the enlarged outrigger were requested.

- 1.18. The main considerations for this proposal are the impact of the proposal on the character and appearance of the property and its surrounding area and the impact of the proposal on neighbouring amenity.
- 1.19. The application submission addresses these issues and will demonstrate the development is acceptable and makes a positive contribution to this part of the borough.

Planning History

- 1.20. The property has no relevant recorded planning history.

Similar Planning Applications

- 1.21. There are several properties located along this terrace and the surrounding streets that have planning approval for similar extensions. The relevant examples are listed below:
- a) App Ref 2014/4264/P: Demolition of side extension and rear conservatory and replacement 3 storey side and 1 storey rear extension; excavation beneath rear garden; new dormer and associated alterations to 2nd floor level pitched roof; and landscaping to dwelling house at 22 Thurlow Road.
 - b) App Ref 2017/6504/P: Details of external materials as required by condition 2b of planning permission dated 10/06/2016 (ref 2016/1086/P) for Erection of part single storey part two storey rear extension, following demolition of existing, including replacement entrance canopy, alterations to internal floors and landscaping of rear garden at 21 Willoughby Road

Chapter 2

Planning Justification

2. Planning Justification

Policy Considerations

- 2.1. The decision to grant planning permission has to have regard for the policies and proposals set out in the NPPF and development plan.

National Planning Policy Framework (NPPF)

- 2.2. In so far as the National Planning Policy Framework (NPPF) is concerned, the proposals respond to the following guidelines:
- Local authorities should ensure that developments “*are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities)*” (para 127)

The London Plan 2021

- 2.3. Policy D3 – Optimising site capacity through the design-led approach

Paragraph D of Policy D3 states “*development proposals should:*

- 1) *enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions*
- 7) *deliver appropriate outlook, privacy and amenity*
- 11) *respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character*
- 12) *be of high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and building lifespan through appropriate construction methods and the use of attractive, robust materials which weather and mature well*”

Camden Local Plan 2017

- 2.4. Policy A1 is entitled 'Managing the impact of development' and sets the Council's objective to protect the quality of life of occupiers and neighbours. In order to assess the impact of development, the Council will take into account visual privacy, outlook, noise and vibration levels, and odour, fumes and dust.
- 2.5. Policy D1 (Design) states: "*The Council will seek to secure high quality design in development. The Council will require that development: a. respects local context and character; e. comprises details and materials that are of high quality and complement the local character*"; for housing, provides a high standard of accommodation."
- 2.6. Policy D2 (Heritage) states: "*In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will: e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area; f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area; g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.*"

Hampstead Neighbourhood Plan 2018

- 2.7. Policy DH1 of the Neighbourhood Plan is entitled 'Design' and requires all development to be of a high quality of design to complement and enhance the character and identity of Hampstead.
- 2.8. Development should respond "*positively and sympathetically to the existing rhythm, proportion, height, scale, massing, materials and storey heights of surrounding buildings*". Development proposals should also protect the amenity and privacy of neighbouring residents.

- 2.9. With regards to development proposals affecting conservation areas, Policy DH2 states: *“Development proposals must seek to protect and/or enhance buildings (or other elements) which make a positive contribution to the Conservation area, as identified in the relevant Conservation Area Appraisals and Management Strategies.”*

Home Improvements SPG January 2021

- 2.10. The Home Improvements CPG was adopted in January 2021 superseding the former Camden CPG Altering and Extending your Home. The Home Improvements CPG forms part of Camden’s Local Development Framework.
- 2.11. To determine whether a rear extension would be acceptable, the CPG lists criteria that will be taken into account:
- *“Be subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing;*
 - *Be built from materials that are sympathetic to the existing building wherever possible;*
 - *Respect and preserve the original design and proportions of the building, including its architectural period and style;*
 - *Respect and preserve existing architectural features, such as projecting bays, decorative balconies, cornices and chimney stacks;*
 - *Be carefully scaled in terms of its height, width and depth;*
 - *Allow for the retention of a reasonably sized garden;”*
- 2.12. At page 40, the CPG also makes the following recommendations:
- *Ensure the extension complies with the 45 degree test and 25 degree test as set out in the Amenity CPG – or demonstrate BRE compliance via a daylight test;*
 - *Consider if the extension projection would not cause sense of enclosure to the adjacent occupiers;*
 - *Ensure the extension does not cause undue overlooking to neighbouring properties and cause a loss of privacy;”*

Justification for the Proposal

- 2.13. The main considerations for this proposal application are:

- Design and appearance of the development
- Amenity impacts to neighbouring properties

Design

Side extension

- 2.14. The proposed development includes the construction of a small single storey side extension for use as a covered bike store. It should be noted that this extension was considered acceptable in terms of scale at pre-application stage.
- 2.15. The extension would be located to the side of the main part of the original dwelling, adjacent to no.34. The bike store would have a traditional appearance with black-painted timber doors to the front and rear, and a slated roof over. The eaves of the roof would have a height of 2.55m.
- 2.16. This modest single storey extension for use as a bike store should therefore be considered acceptable in design terms.

Rear outrigger

- 2.17. The proposed development would see the very modest enlargement of the outrigger by 700mm to improve the useability of the room within the outrigger. At ground floor level, new sliding French doors would be installed on the corner of the outrigger, to provide additional natural light into the ground floor living room.
- 2.18. The more substantial aspects of the proposal includes the redesign of the roof of the two-storey rear outrigger. The existing outrigger comprises a flat roof with zinc cladding of no heritage value and the development proposes the raising of the eaves of this outrigger projection by 560mm and installation of a single-ply membrane flat roof including three lightwells.
- 2.19. During the pre-application meeting, it was recommended that the existing chimney be retained. This advice was taken into account and the chimney will be rebuilt by reusing the existing materials.
- 2.20. In line with the advice received, an oriel-style window will be installed at first floor level to match the existing window, most likely non-original, at the rear end of the outrigger. A new chimney stack will also be built to match the existing chimney.

- 2.21. The demolition of the existing outrigger will be conducted carefully, using hand tools, section by section as detailed in the statement by BC Structural Design in order to preserve and reuse as many of the existing bricks as possible.

Rear extension

- 2.22. The proposed development also proposes the construction of a single storey rear infill extension and construction of a covered bike store to the side of the property. The existing single storey extension to the rear of the outrigger is proposed to be demolished.
- 2.23. The side infill extension would project 4.4m from the main rear elevation. The extension would be finished with corten-steel cladding for a depth of 3.2m, and the remaining 1.2m of the depth of the extension would be a glazed structure, to reduce its visual impact on the appearance of the building.
- 2.24. A ground floor extension of similar dimensions was proposed at pre-application stage and was considered acceptable, with the pre-application report stating:
- “This element does not impact on the character of the site and cannot be seen from neighbouring properties or the street.”*
- 2.25. The use of corten steel would create a contemporary high-quality design that will enhance the appearance and character of the property. It should be noted the use of metal cladding for side and rear extension has previously been considered acceptable at other properties in Hampstead.
- 2.26. 22 Thurlow Road is a detached dwelling to the south of Hampstead, and application 2014/4264/P proposed the demolition of the existing conservatory and construction of a 3-storey side and rear extension together with basement excavation. Most notably, the side extension was proposed to be finished with “weather brass” cladding (See decision notice and approved plans at **Appendix 1**)



Pic.1: Streetview of 22 Thurlow Road (Source: Google Maps)

- 2.27. Another nearby example is the approved redevelopment of 21 Willoughby Road, approved as part of application 2016/1086/P. The proposal included the construction of a part-one, part-two storey rear extension finish with a combination of timber and metal cladding. The use of TECU Bronze cladding was considered in discharge of condition application 2017/6504/P, with the decision notice stating: *“TECU Bronze, is a natural material with a contemporary appearance that would appear sympathetic to the host building by virtue of its colour, high quality and weathering properties. The natural colour of the material weathers to a matt brown, and would be complementary to the historic brown brick of the host building. The copper-like appearance of the material when newly installed is also considered to have an acceptable impact on the host building. The proposed materials is acceptable in terms of its quality, colour, characteristics and the patina it will quickly acquire as it ages.”* (See decision notice at **Appendix 2**)
- 2.28. These examples show that the use of contemporary metal cladding is acceptable within the Hampstead Conservation Area. The use of corten-steel cladding for the proposed single storey rear infill extension should therefore be considered acceptable.



Pic.2: Existing rear elevation of 21 Willoughby Road (Source: Dominic McKenzie Architects)

- 2.29. Overall, the proposed extensions to the rear of the building would respect the prevailing form of development within this section of Willoughby Road and would enhance the appearance of the property. The proposed development would also preserve the character and appearance of the Hampstead Conservation Area.
- 2.30. The proposed development is compliant with the objectives of policies D1 and A5 of the Local Plan and policies contained in the Hampstead Neighbourhood Plan and should therefore be considered acceptable.

Amenity Impacts to neighbouring properties

- 2.31. The potential impact of the proposed extensions in terms of privacy and overlooking was considered at the design stage. Due to the size and scale of the proposed extensions, the development is not considered to result in harmful overshadowing, over-dominance or loss of outlook for the neighbouring properties.
- 2.32. The proposed development would have no impact on the amenity of the adjacent property 30 Willoughby Road. And considering the position of the rear elevation of

no.34 projecting further than the rear elevation of the site, it is considered the proposed extension would not harm the amenity of no.34.

- 2.33. Overall, the proposal would not have a harmful impact on the amenities of the neighbouring properties. The development would therefore comply with policy A1 of the Local Plan and should be approved on this basis.

Chapter 3

Conclusion

3. Conclusion

- 3.1. This application seeks householder planning permission for the construction of a single storey rear infill extension and enlargement of the existing two storey outrigger to extend the dwelling at 32 Willoughby Road, Hampstead, NW3 1RU.
- 3.2. In conclusion:
- a. The proposed alterations to the rear outrigger and the proposed extension to the rear of the building would be sympathetic to the character and appearance of the host property as well as respecting the traditional features of the Hampstead Conservation Area.
 - b. The proposed development was considered acceptable at pre-application stage and will include the use of high-quality materials that will enhance the appearance of the host building.
 - c. The proposed development would provide much-needed additional floorspace to the applicant's family as part of the renovation of the property.
 - d. The proposed development would be mainly located towards the rear of the site and would not be visible from the street with the exception of the modest covered bike store. The development would protect the appearance and character of the Hampstead Conservation Area.
 - d. The proposed development would not harm the amenity of the neighbouring residents.
- 3.3. The development is compliant with the NPPF, the London Plan 2021 and Development Plan Policies contained within the Local Plan 2017 and householder planning permission should therefore be granted.

Appendix 1

Mr Barnaby Gunning
Barnaby Gunning Architects
63 Loudoun Road
London
NW8 0DQ

Application Ref: **2014/4264/P**
Please ask for: **Gideon Whittingham**
Telephone: 020 7974 **5180**

14 January 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted Subject to a Section 106 Legal Agreement

Address:
22 Thurlow Road
London
NW3 5PP

Proposal:

Demolition of side extension and rear conservatory and replacement 3 storey side and 1 storey rear extension; excavation beneath rear garden; new dormer and associated alterations to 2nd floor level pitched roof; and landscaping to dwelling house.

Drawing Nos: 266_G_001 Rev A, 266_G_010 Rev A, 266_G_011 Rev A, 266_G_012 Rev A, 266_G_013 Rev A, 266_G_014 Rev A, 266_G_015 Rev A, 266_G_016 Rev A, 266_G_017 Rev A, 266_G_018 Rev A, 266_G_020 Rev A, 266_G_022 Rev A, 266_G_110 Rev B, 266_G_111 Rev B, 266_G_112 Rev B, 266_G_113 Rev B, 266_G_114 Rev B, 266_G_115 Rev B, 266_G_116 Rev B, 266_G_117 Rev B, 266_G_118 Rev B, 266_G_120 Rev B, 266_G_122 Rev B, 266_G_024 Rev B, 266_G_025 Rev A, Basement Impact Assessment, prepared by ARUP, dated 10 July 2014, Assessment of documentation submitted to support planning application 2014/4264/P, prepared by Geotechnical Consulting Group LLP (GCG), dated October 2014, Design and Access Statement dates June 2014 (amended March 2015).

The Council has considered your application and decided to grant permission subject to the following condition(s):



Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans [266_G_001 Rev A, 266_G_010 Rev A, 266_G_011 Rev A, 266_G_012 Rev A, 266_G_013 Rev A, 266_G_014 Rev A, 266_G_015 Rev A, 266_G_016 Rev A, 266_G_017 Rev A, 266_G_018 Rev A, 266_G_020 Rev A, 266_G_022 Rev A, 266_G_110 Rev B, 266_G_111 Rev B, 266_G_112 Rev B, 266_G_113 Rev B, 266_G_114 Rev B, 266_G_115 Rev B, 266_G_116 Rev B, 266_G_117 Rev B, 266_G_118 Rev B, 266_G_120 Rev B, 266_G_122 Rev B, 266_G_024 Rev B, 266_G_025 Rev A, Basement Impact Assessment, prepared by ARUP, dated 10 July 2014, Assessment of documentation submitted to support planning application 2014/4264/P, prepared by Geotechnical Consulting Group LLP (GCG), dated October 2014]

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 A sample panel of the facing brasswork demonstrating the proposed colour, patination and texture shall be provided on site and approved in writing by the local planning authority before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given. The approved panel shall be retained on site until the work has been completed.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise

than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policy CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 6 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development whichever is the sooner. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policy CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 7 All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage to the satisfaction of the Council. This will include the retention of the purple crab tree in the front garden and the Magnolia in the rear garden of number 21 Thurlow Road, which shall be retained and protected from damage. Details shall be submitted to and approved by the Council before works commence on site to demonstrate how trees to be retained shall be protected during construction work: such details shall follow guidelines and standards set out in BS5837:2005 "Trees in Relation to Construction"

Reason: To ensure that the Council may be satisfied that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policy CS15 of the London Borough of Camden Local Development Framework Core Strategy.

- 8 The roof of the single storey rear extension located at ground floor level hereby permitted shall not be used at any time as a terrace.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework Development Policies.

- 9 Full details in respect of the green roof in the area indicated on the approved roof

plan shall be submitted to and approved by the local planning authority before the relevant part of the development commences. The buildings shall not be occupied until the approved details have been implemented and these works shall be permanently retained and maintained thereafter.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Ed Watson', with a stylized, cursive script.

Ed Watson
Director of Culture & Environment



Front Elevation

NOTES

© This drawing copyright Barnaby Gunning 2013
Do not scale from this drawing.
Dimensions to be verified on site prior to construction.
Unless otherwise indicated, all dimensions are in millimetres.

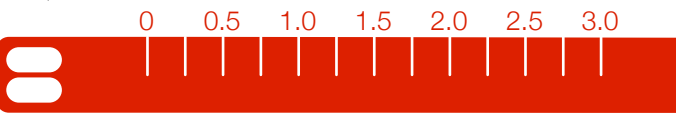
KEY

- extent of 2011/2012 application
1. Brass Panel
 - 1a. weathered brass
 - 1b. patinated brass
 2. Existing brickwork cleaned and repointed
 3. Double glazed windows to match existing
 4. Roof tiles to match existing
 5. Existing front door refurbished
 6. Triple glazed door
 - 6a. sliding
 - 6b. side hung
 7. Fixed triple glazed window

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

63 Loudoun Rd, London NW8 0DQ, UK
+44 20 73 72 24 24
barnabygunning.com



Barnaby Gunning

drawing no: 266_G_115 revision: B
date: 3 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
title: Elevation to Thurlow Road
Proposed
scale: 1:50@A1
purpose: PLANNING



NOTES

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KEY

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 6. Triple glazed door
 - 6a. sliding
 - 6b. side hung
 7. Fixed triple glazed window

Rear Elevation

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

63 Loudoun Rd, London NW8 0DQ, UK
+44 20 73 72 24 24
bamabygunning.com

Barnaby Gunning

drawing no: 266_G_116 revision: B
date: 3 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
site: South Elevation
Proposed
scale: 1:50@A1
purpose: PLANNING

NOTES

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- KEY
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4. Roof tiles to match existing
5. Existing front door refurbished
6. Triple glazed door
6a. sliding
6b. side hung
7. Fixed triple glazed window

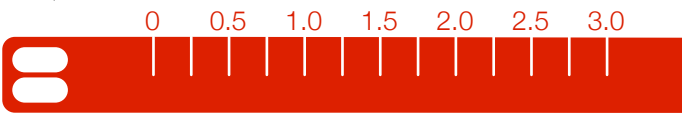


West Elevation

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

63 Loudoun Rd, London NW8 0DQ, UK
+44 20 73 72 24 24
barnabygunning.com



Barnaby Gunning

drawing no: 266_G_117 revision: B
date: 3 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
title: West Elevation
Proposed
scale: 1:50@A1
purpose: PLANNING



NOTES

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Dimensions to be verified on site prior to construction
Unless otherwise indicated, all dimensions are in millimetres

KEY

- extent of 2011/2012 application
1. Brass Panel
 - 1a. weathered brass
 - 1b. patinated brass
 2. Existing brickwork cleaned and repointed
 3. Double glazed windows to match existing
 4. Roof tiles to match existing
 5. Existing front door refurbished
 6. Triple glazed door
 - 6a. sliding
 - 6b. side hung
 7. Fixed triple glazed window

Section DD

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

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drawing no: 266_G_122 revision: B
date: 3 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
title: North Elevation
Proposed
scale: 1:50@A1
purpose: PLANNING

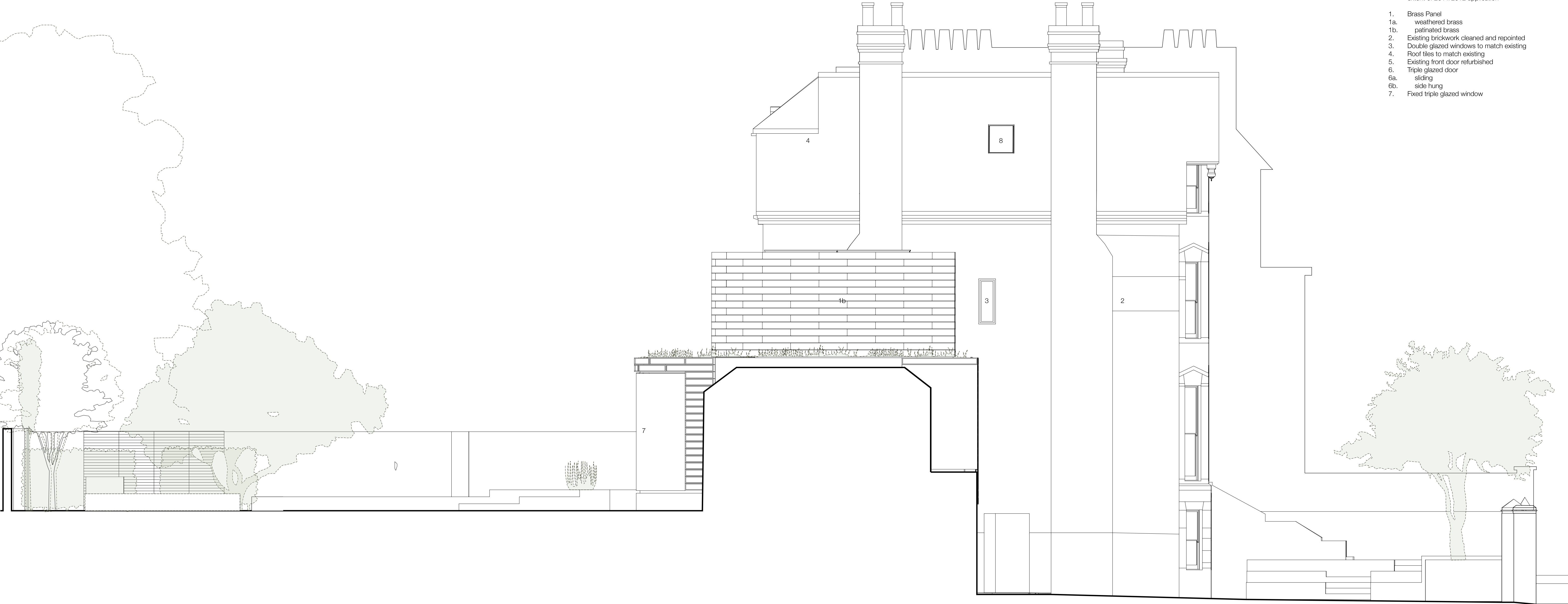
NOTES

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KEY

extent of 2011/2012 application

- 1. Brass Panel
- 1a. weathered brass
- 1b. patinated brass
- 2. Existing brickwork cleaned and repointed
- 3. Double glazed windows to match existing
- 4. Roof tiles to match existing
- 5. Existing front door refurbished
- 6. Triple glazed door
- 6a. sliding
- 6b. side hung
- 7. Fixed triple glazed window

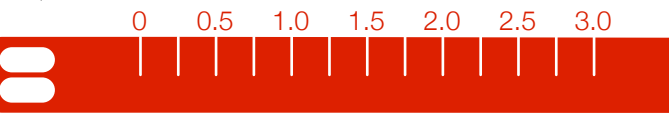


East Elevation

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

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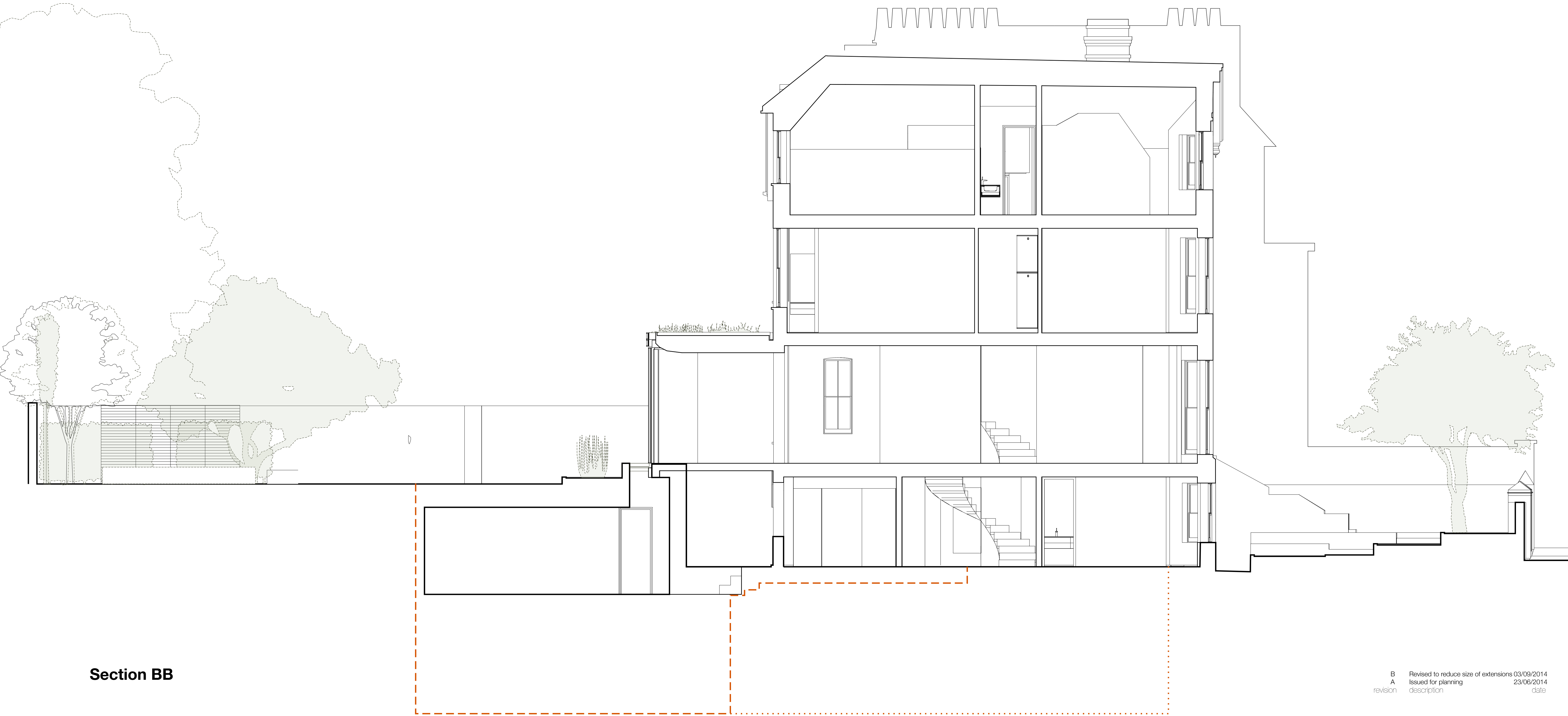
drawing no: 266_G_118
date: 3 September 2014
site address: 22 Thurlow Road
London NW3 5PP
title: East Elevation
Proposed
scale: 1:50@A1
purpose: PLANNING

NOTES

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KEY

extent of 2011/2012 application



Section BB

B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014
revision	description	date

Architecture

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0 0.5 1.0 1.5 2.0 2.5 3.0

drawing no: 266_G_120 revision: B
date: 3 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
title: Cross Section BB
Proposed
scale: 1:50@A1
purpose: PLANNING

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KEY

----- extent of 2011/2012 application

260_G_020_BB

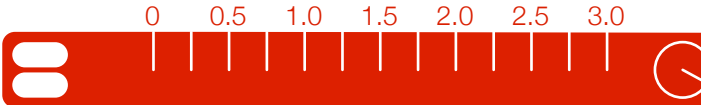
Lower Ground Floor

266_G_016

266_G_022_DD

Architecture

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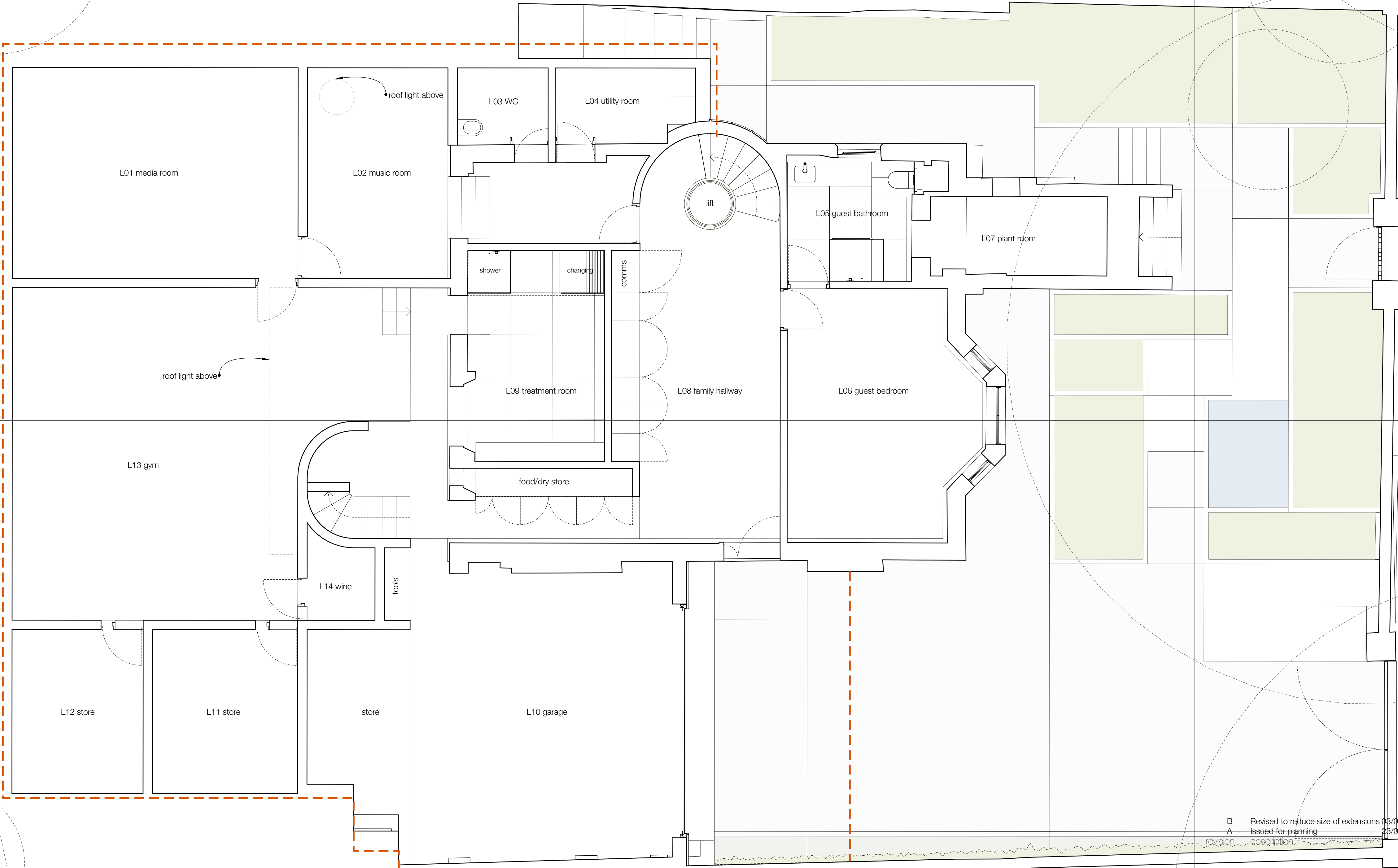


Barnaby Gunning

drawing no: 266_G_110 revision: B
date: 03 September 2014
site address: 22 Thurlow Road
London
NW3 5PP
title: Proposed Lower Ground
Floor Plan
scale: 1:50@A1
purpose: PLANNING

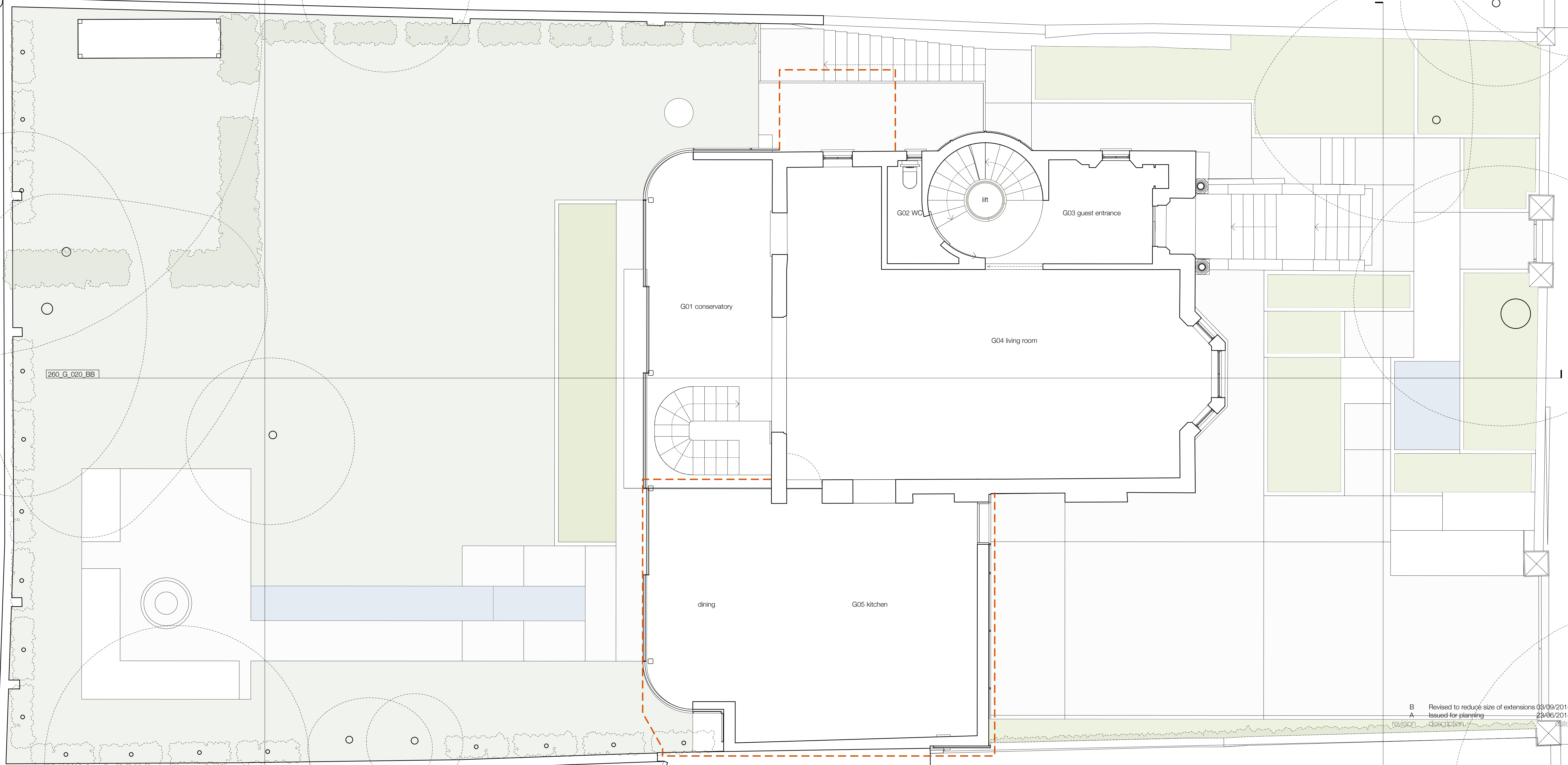
B Revised to reduce size of extensions 08/09/2014
A Issued for planning 28/06/2014

revision description date



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KEY
- - - extent of 2011/2012 application



Upper Ground Floor

revision	description	date
B	Revised to reduce size of extensions	08/09/2014
A	Issued for planning	23/06/2014

266_G_022_DD

Architecture

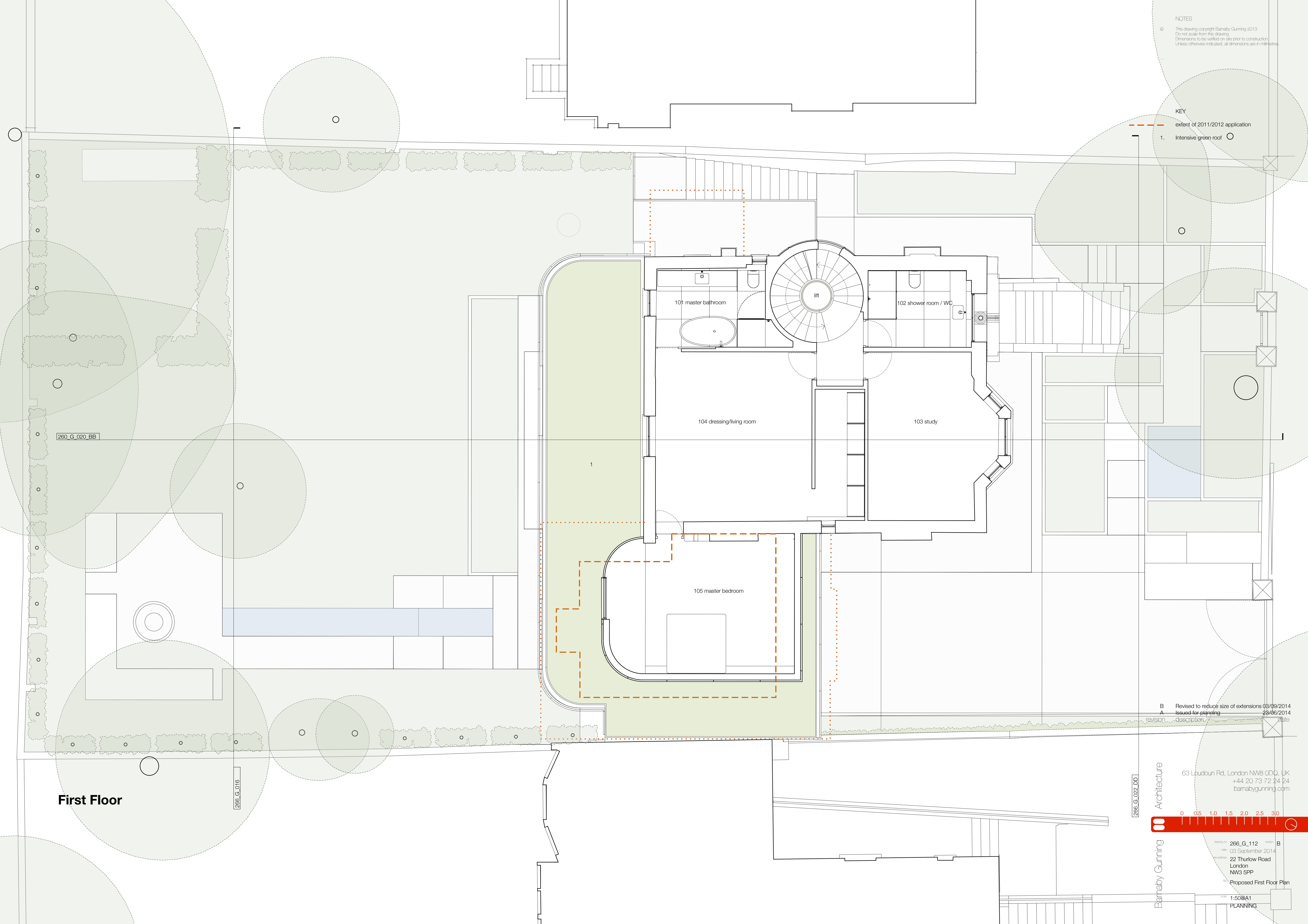
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0 0.5 1.0 1.5 2.0 2.5 3.0

Barnaby Gunning

266_G_111
03 September 2014
22 Thurlow Road
London
NW3 5PP

Proposed Upper Ground
Floor Plan
1:50@A1
PLANNING



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KEY

- extent of 2011/2012 application
1. Intensive green roof

260_G_020_BB

First Floor

266_G_016

266_G_022_DD

Architecture

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0 0.5 1.0 1.5 2.0 2.5 3.0

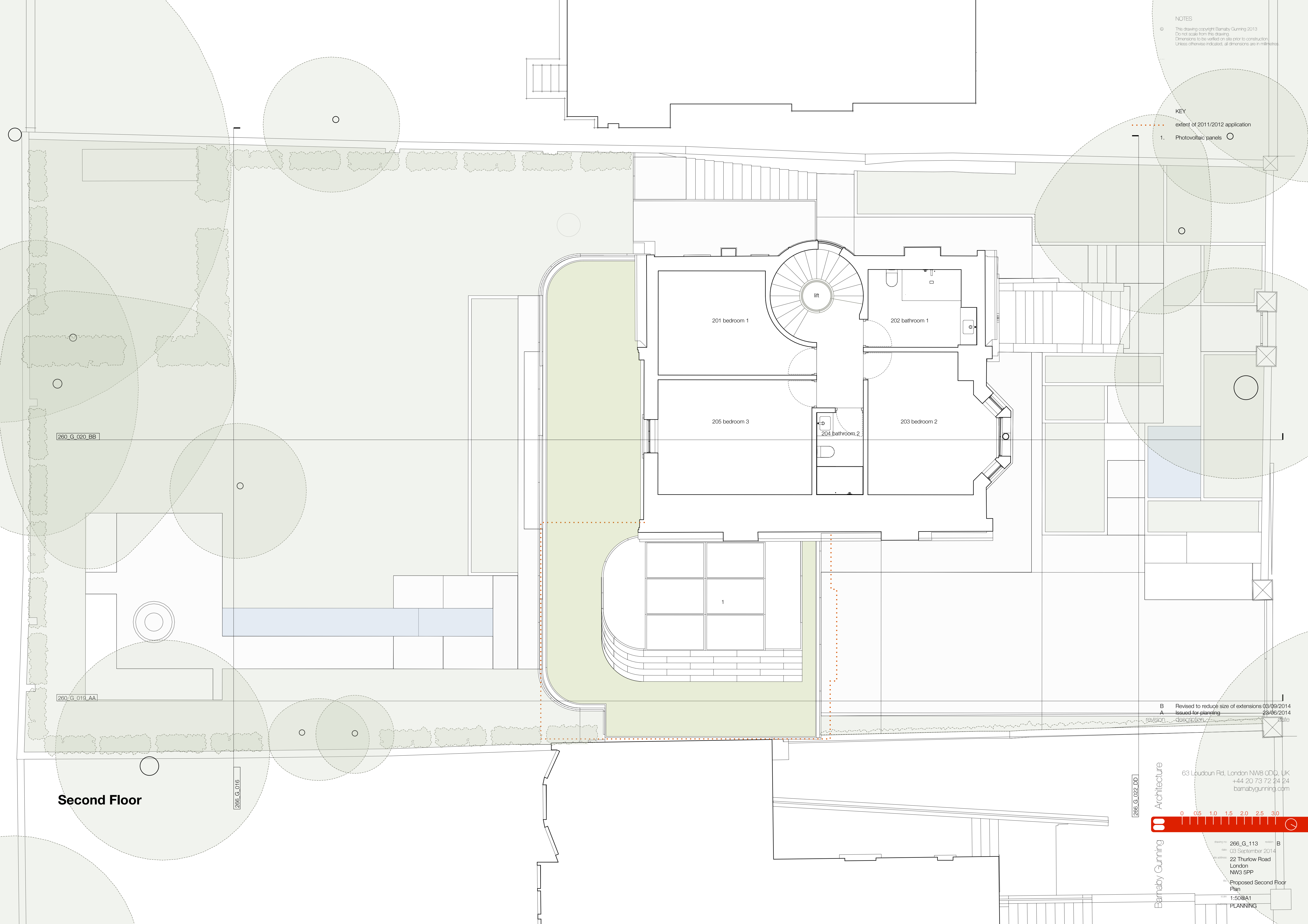
drawing no: 266_G_112
date: 03 September 2014
site address: 22 Thurlow Road
London
NW3 5PP

Proposed First Floor Plan

1:50@A1
PLANNING

Revised to reduce size of extensions 03/09/2014
Issued for planning 23/06/2014

revision description date



NOTES

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KEY

- extent of 2011/2012 application
1. Photovoltaic panels

260_G_020_BB

260_G_019_AA

Second Floor

266_G_016

266_G_022_DD

Architecture

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0 0.5 1.0 1.5 2.0 2.5 3.0

drawing no: 266_G_113

date: 03 September 2014

site address:
22 Thurlow Road
London
NW3 5PP

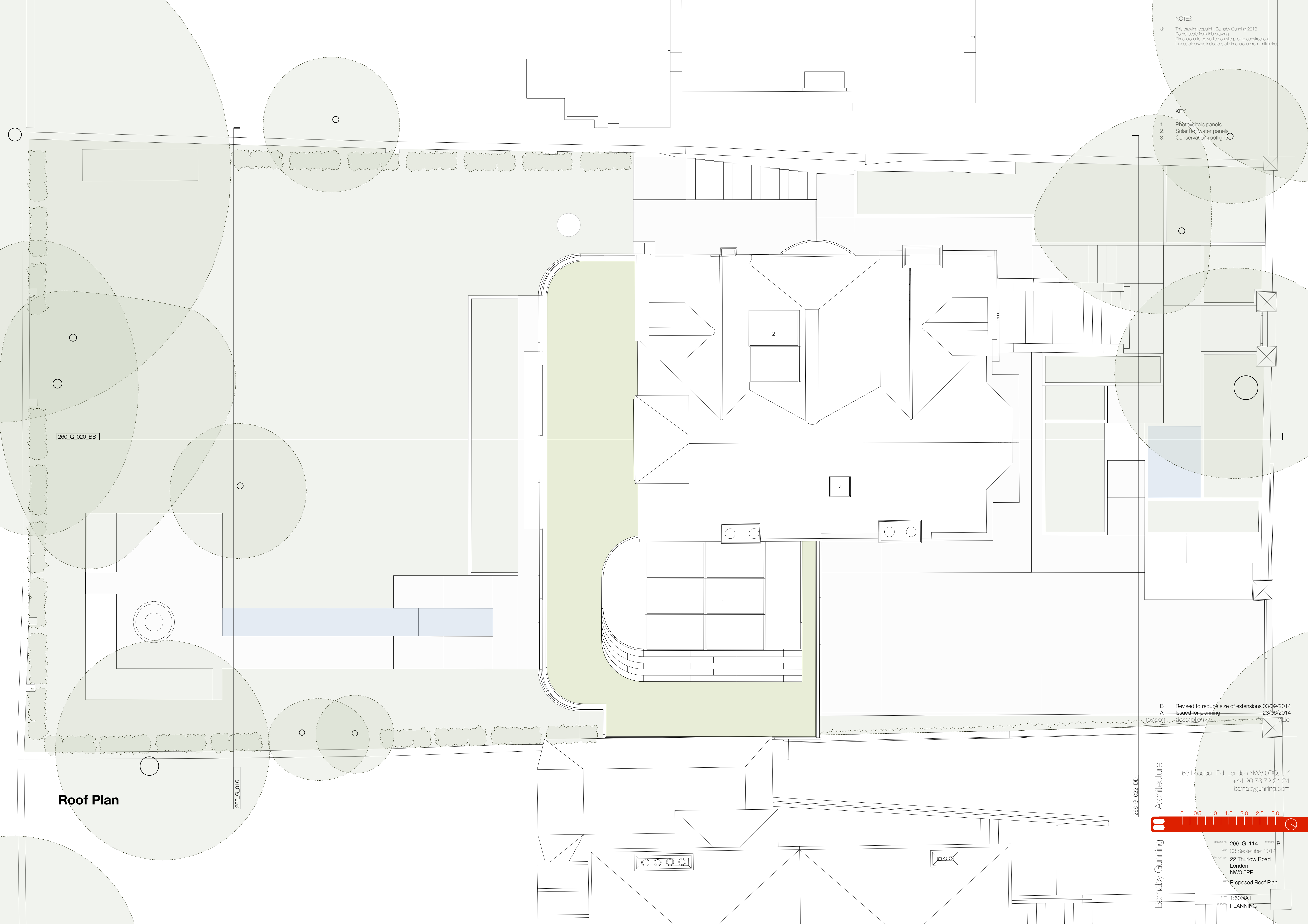
title: Proposed Second Floor Plan

scale: 1:50@A1

PLANNING

B Revised to reduce size of extensions 03/09/2014
A Issued for planning 23/06/2014

revision description date



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KEY

- 1. Photovoltaic panels
- 2. Solar hot water panels
- 3. Conservation rooflight

260_G_020_BB

Roof Plan

266_G_016

4

1

2

revision	description	date
B	Revised to reduce size of extensions	03/09/2014
A	Issued for planning	23/06/2014

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Architecture

Barnaby Gunning

drawing no: 266_G_114
date: 03 September 2014
site address: 22 Thurlow Road
London
NW3 5PP

Proposed Roof Plan

1:50@A1
PLANNING

Appendix 2

Dominic McKenzie
Dominic McKenzie Architects
First Floor
81 Essex Road
London
N1 2SF

Application Ref: **2017/6504/P**
Please ask for: **Emily Whittredge**
Telephone: 020 7974 **2362**

28 January 2018

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details Granted

Address:
21 Willoughby Road
London
NW3 1RT

Proposal:

Details of external materials as required by condition 2b of planning permission dated 10/06/2016 (ref 2016/1086/P) for Erection of part single storey part two storey rear extension, following demolition of existing, including replacement entrance canopy, alterations to internal floors and landscaping of rear garden.

Drawing Nos: Condition 2(b) and Appendices 1-4 (November 2017).

The Council has considered your application and decided to grant permission.

Informative(s):

1 Reasons for granting permission

The submitted details include metal cladding for the approved extension, and timber cladding for ground floor level elevations including the flank walls of the extension, the wall of the plant roof and wall of the 'tradesman' entrance.

The proposed material for the cladding, TECU Bronze, is a natural material with a



contemporary appearance that would appear sympathetic to the host building by virtue of its colour, high quality and weathering properties. The natural colour of the material weathers to a matt brown, and would be complementary to the historic brown brick of the host building. The copper-like appearance of the material when newly installed is also considered to have an acceptable impact on the host building. The proposed materials is acceptable in terms of its quality, colour, characteristics and the patina it will quickly acquire as it ages.

The proposed timber cladding is Western Red Cedar, to be vertically laid in limited areas at ground floor level. This material replicates cladding that is already found on the site, and is acceptable in terms of its quality and appearance and weathering properties. Both materials are considered to preserve the character and appearance of the conservation area.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

The planning and appeal history of the site has been taken into account when coming to this decision. No objections were received prior to making this decision.

The proposed development is in general accordance with the Camden Local Plan 2017, with particular regard to policies A1, D1 and D2. The proposed development also accords with the London Plan 2016, and the National Planning Policy Framework 2012.

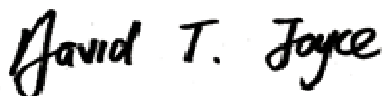
- 2 You are reminded that condition 2(a) for details of windows and doors of the planning permission granted on 10/06/2016 ref. 2016/1086/P is outstanding and requires details to be submitted and approved.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning

