

MADDOX PLANNING

LONDON & MANCHESTER
0345 121 1706

Planning Department
London Borough of Camden
5 Pancras Square
London
N1C 4AG

06/07/2022

Householder application for a second floor extension at 6 Conybeare, London, NW3 3SD

Dear Sir/Madam

This Planning, Design & Access Statement is submitted in support of a householder application at 6 Conybeare for a second floor extension to the existing dwelling. Accompanying this supporting statement are the following documents:

- Completed application form and CIL form;
- Site location plan and site plan;
- Existing floor plans, sections and elevations; and
- Proposed floor plans, sections and elevations.

The Application Site

6 Conybeare is a detached, part two/three storey white painted brick residential dwelling on the eastern side of the road. The building is L-shaped and benefits from a private courtyard to the rear. The property fronts onto Conybeare and the front half of the dwelling is two storeys with a flat roof, part of which is occupied by a large plant enclosure. The rear 'wing' has recently been extended with a third storey which also has a flat roof.

The site is located within a planned residential estate known as the Chalcot Estate, off King Henry's Road, dating from the 1960's. The majority of the houses on the estate are terraced; however, Nos. 4 and 6 Conybeare are both detached dwellings. No. 6 is surrounded by a grassed area of public open space which links Conybeare and Quickswood (the road to the east).

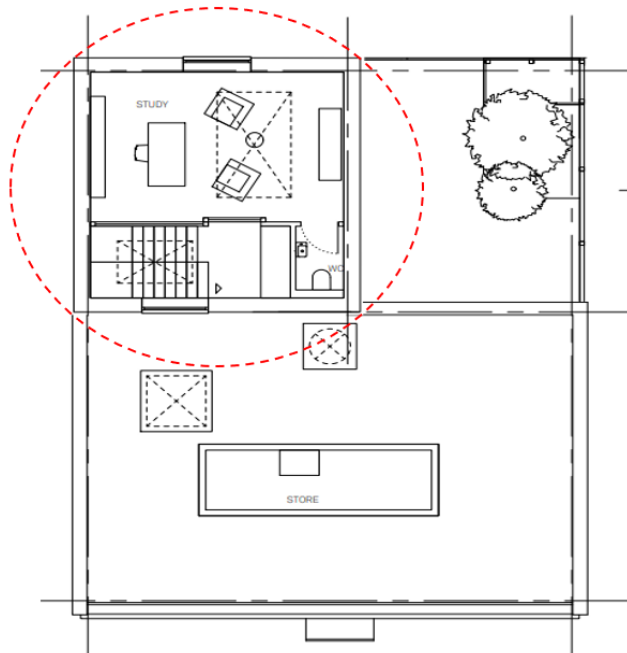


Above: Site location

The surrounding area is residential in character. The application is not within a conservation area and the host building is not listed.

Relevant Planning History

The most relevant planning record for the site is application number 2020/4216/P which consented an additional storey on part of the existing house. A copy of the approved second floor plan is provided below with the approved and constructed second floor level circled.



Also of relevance are a number of recent consents within the estate for additional storeys, including at the two adjacent properties nos. 4 and 7 Conybeare. A copy of the approved front elevations of these properties are provided below.



Above: Consented new second floor at 4 Conybeare (LPA reference 2021/1510/P).



Above: Consented new second floor at 7 Conybeare (LPA reference 2021/4149/P).

In view of the above and as discussed later in this letter, the principle of adding a second floor to the properties within the estate is established and the design of the submitted proposals are consistent with the above approved developments at neighbouring sites.

Planning Policy Framework

Section 38(6) of the 2004 Planning & Compulsory Purchase Act requires that determination of any planning application must be in accordance with the development plan, unless material considerations indicate otherwise. The National Planning Policy Framework (NPPF) (July 2021) is a material consideration.

Camden's Development Plan comprises the Local Plan (2017) and the London Plan (2021). The Local Plan is also supported by a number of supporting planning documents (SPDs), with the most relevant in this instance being the Design SPD (January 2021).

Main Planning Considerations

The main planning considerations for this application are as follows:

1. Principle;
2. Design; and
3. Living Conditions.

1. Principle

The host property already has a second floor built on the rear 'wing' and, as discussed in the planning history section of this letter, the principle of adding an additional floor has already been established on other properties within the estate, including at neighbouring 4 and 7 Conybeare. The provision of an enlarged second floor, extending above the front elevation, will therefore be in keeping with the existing and emerging character of the estate.

The enlargement of the existing second floor storey would also replace a large plant enclosure on this part of the roof, and provide greater balance to the overall form and design of the property.

The principle of adding a full second floor should therefore be supported by the Council.

2. Design

Policy D1 states that the Council will seek to secure high quality design in development which respects and preserves local context and character.

The proposed extension would match the existing building material pallet and detailing with white painted brickwork and a white render band above. The proposed windows line up with the windows on the lower floors and include the same white painted metal balustrade which further helps to stitch the extension to the host property, maintaining the same brick to window/balustrade ratio. The design is also consistent with the approved schemes at no. 4 and 7 Conybeare, thereby maintaining consistency in the appearance of this part of the estate.

In view of the above, the proposed design results in an extension that blends into the existing fabric and the surrounding context. The proposals in this regard comply with policy D1.

3. Living Conditions

Policy A1 states that the Council will seek to protect the quality of life of occupiers and neighbours, and that the Council will grant permission for development unless this causes unacceptable harm to amenity.

The host property is a detached dwelling surrounded by communal green space and the nearest adjoining premise is approximately 10 metres to the north (16 and 18 Quickswood). The nearest property to the south is 7 Conybeare (approximately 13 metres). Given the separation distances between the host property and surrounding properties, the proposed extension will not adversely impact outlook from neighbouring dwellings and is highly unlikely to cause a material loss of daylight or sunlight.

No flank windows are proposed in the extension. Three windows are proposed in the front elevation and two at the rear. Therefore, as a result of the proposals there will be no harmful overlooking and no new line of sight will be introduced.

In accordance with policy A1, living conditions at neighbouring properties will therefore be preserved.

Conclusion

Owing to its appropriate design and scale, the second floor extension sits comfortably on the host property and the design approach is consistent with other approved second floor extensions at the neighbouring properties. The character and appearance of the host property and the surrounding area will therefore be preserved.

It has also been demonstrated that the amenities of neighbouring residents will be safeguarded, and the additional floor space will enhance the standard of accommodation at the application site.

In the light of the foregoing, the proposed extension complies with the development plan. The Council is therefore respectfully requested to grant planning permission.

Yours sincerely



David Maddox
Managing Director

t: 0845 121 1706

m: 07772 328 822

e: david@maddoxassociates.co.uk
