

Delegated Report		Analysis sheet		Expiry Date:		17/03/2022	
		N/A		Consultation Expiry Date:		29/05/2022	
Officer				Application Numbers			
Fast Track GG				2022/0232/P			
Application Address				Drawing Numbers			
Flat 2 nd Floor 195 Goldhurst Terrace London NW6 3ER				Refer to Draft Decision Notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Replacement of four white timber single glazed windows to four white timber double glazed windows (applied glazing bars) to the top floor flat on the front elevation.							
Recommendation:		Refuse					
Application Type:		Full Planning Permission					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice					
Informatives:							
Consultations							
Adjoining Occupiers:		No. notified	00	No. of responses	00	No. of objections	00
Summary of consultation responses:		One site notice was displayed directly outside the site on Goldhurst Terrace on 4 th May 2022 (expiring on 28 th May 2022). A press notice was also published on 5 th May 2022 (expiring on 29 th May 2022). No objection was received.					
CAAC/Local groups* comments: *Please Specify							

Site Description

The application relates to the second-floor level of a three-storeys terraced buildings located within the South Hampstead Conservation Area. It is not a listed building, but it is described as a building that makes a positive contribution to the conservation area.

Relevant History

Neighbouring Sites

Flat A, 191 Goldhurst Terrace

2017/4231/P- Replacement windows in front elevation (timber framed double glazed).

Granted 04/10/2017.

189 Goldhurst Terrace

2010/6829/P - Replacement of existing single glazed sash windows with double glazed sash windows to front at upper ground floor level to dwelling (Class C3).

Granted 01/03/2011.

“The glazing bars would match the profiles of the existing windows”.

Relevant policies

National Planning Policy Framework 2021

London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

Camden Supplementary Planning Guidance

CPG Design 2021 Chapters 1 (Introduction), 2 (Design Excellence), 3 (Heritage)

CPG Amenity 2021 Chapters 1 (Introduction), 2 (Overlooking, privacy and outlook), 3 (Daylight and Sunlight) and 6 (Noise and vibration)

CPG Home Improvements 2021 Materials and External Alterations

South Hampstead Conservation Area Appraisal and Management Strategy February 2011

Assessment

1. Proposal

The proposal involves the replacement of four white timber single glazed windows to four white timber double glazed windows (applied glazing bars) to the top floor flat on the front elevation.

2. Assessment

2.1 The principal material considerations to the determination of this application are summarised as follows:

- Design Conservation;
- Amenity

3. Design

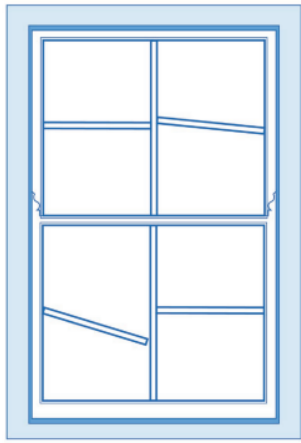
3.1 The Council's design policies are aimed at achieving the highest standard of design in all development. The following considerations are contained within policy D1 and are relevant to the application: development should consider the character, setting, context and the form and scale of the neighbouring building, and the quality of materials to be used. Within Conservation Area or adjacent to one, it is considered development should reinforce those elements which contribute to and create the character, in line with policy D2.

3.2 The host building forms part of a row of three storey buildings. The South Hampstead Conservation Area refers to the properties on Goldhurst Terrace stating, '*building began from the east end of the land with 20 houses by Charles Kellond in Goldhurst Terrace in 1879 and another 50 there between 1880 and 1885. From 1886 to 1900 a further 101 houses, some flats, and a riding school (which may have been at 109 Goldhurst Terrace) were developed, mostly by T. K. Wells of Kentish Town.*'

3.3 The proposal involves the replacement of four white timber single glazed windows to four white timber double glazed windows to the top floor flat on the front elevation. The proposal includes applied glazing bars. There is reference to applied glazing bars on the CPG Home Improvements which "*easily deteriorates*". *A like-for-like replacement means that certain elements of the window or door are to be retained, except for the glazing which could be changed from single to double glazing:*

- . *Fenestration pattern, to include the layout/pattern of glazing bars;*
- . *Size and placement of structural glazing bars etc*

The image below shows an extract from CPG Home Improvements which demonstrates some of the issues of using applied glazing bars:



A difference can be seen visually and in longer term leads to issues such as the glazing bars falling off and altering in terms of their position (see image above). Although the windows are located at an upper floor level the flat still reads as part of the main building in terms of design and the windows should remain consistent throughout. The windows are still clearly visible in short and long views of the building. The windows to the property are in this instance a large part of the building's character and applied glazing bars would harm this.

3.4 Overall, the proposed applied glazing bars result in a detriment to the character and appearance of the host building, the terrace which it is located within and the wider South Hampstead Conservation Area.

4. Amenity

4.1 Camden Local Plan policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered and would not harm the amenity of neighbouring residents. This includes privacy, outlook, noise, daylight and sunlight.

4.2 Due to the proposal, it is not considered that the development would adversely impact upon the amenity of adjoining residential occupiers.

5. Recommendation

1) Refuse planning permission:

Reason for refusal: The proposed windows, by reason of their detailed design and inclusion of applied glazing bars, would detract from the character and appearance of the host building, the terrace which it is located within and the wider South Hampstead Conservation Area. The proposal is therefore contrary to policies D1 (Design) and D2 (Heritage) of the London Borough of Camden Local Plan 2017.

