

PM&A Architects&Engineers

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CAMDEN COUNCIL – PLANNING DEPARTMENT

2nd Floor
5 Pancras Square c/o
Town Hall Judd Street
London WC1H 9JE

PLANNING DEPARTMENT

For the attention of Mr David Fowler

30.05.2022

(2022/ 0743/NEW) 2022/ 0743/INVALID

(quoted fee paid, Submission requested to exclude a part of documents repeated from the preceding Approval)

17.02.2022 / resubmitted as requested in reduced format on 30th May 2022

Dear Mr Fowler,

APPLICATION TO ESTABLISH 'STAND-ALONE' STATUS FOR THE PREMISES APPROVED/ IMPLEMENTED UNDER APPROVAL NO. 2018/1012/P AT 20 CREDITON HILL, LONDON NW6 1HP

I write to you in connection with our initial submission of the Full Planning Application for uprating the status of the existing/approved premises to a 'stand-alone' status, also in connection with your preceding correspondence in which you have required that we omit voluminous cross-reference documentation contained in the original Approval.

The delay in resubmitting the application with the revised, lesser number of documents was partly due to my having to deal with the protracted treatment after repeated infection by Covid.

I now resubmit the Application containing only documents which we believe are needed to explain the true independent setting and correct state of the already in part implemented approved Premises, which now has additional facilities (namely, own Bin Enclosure for two Bins, own space for 2 Bicycles), which with the inclusion of signing an 106 Agreement as not to seek the Residents Parking Permit on the Street, should be ready for the approval of its status as a stand-alone family premises.

The Reports, Drawings and other Documents approved under the preceding Approval have now been omitted from this Submission. The policies relevant to 'stand-alone' status of the Approved premises as listed in the Approval 2018/1012/P were : Policy A1, H1, H4 and H6.

This Submission contains :

1.002. - *Site Location Plan*, showing Application Land and Premises edged 'red' at 1:1250 scale, and the Lands which do not form a part of the Application, edged 'blue'.

PART A. – APPLICATION (PLANNING PORTAL Reference No. PP-11070488, CAMDEN PLANNING Reference No. (first, 2022/0743/NEW), current 2022/0743/INVALID and DRAWINGS RELATED TO APPLICATION FOR APPROVAL OF THE 'STAND-ALONE' STATUS OF THE PREVIOUSLY APPROVED PREMISES,

PART B. – DRAWINGS AND REFERENCES RELATED TO APPLICATION FOR APPROVAL OF THE 'STANDALONE' STATUS OF THE PREVIOUSLY APPROVED PREMISES :

1.003. – *Drawing No. 20 CHill/04.02.A* – showing the Updated Ground Floor Plan of the Approved Building, now showing :

- (a.) – Own Bin Area enclosure included in the fabric of the Approved Building.
- (b.) – Areas at ground floor deck at the Rear, where the required 2 Bicycles can be kept.
- (c.) – The Landscaped access in front of the Building is made suitable for level-access by elderly or disabled. The grounds are finished with proprietary drive-over/ walk-over grass-block at the same level as the floor finish of Ground Floor inside the Premises. The same is established for access to the adjoining communal garden.
- (d.) With reference to Parking, the Applicant shall readily enter the 106 Agreement with the Council by which the owner of the above Premises shall not seek the Residents Parking Permit to park on the street.

1.004. – *Drawing No. 20 CHill/03.-1.A* – showing the Approved Lower Ground Floor Plan, now dimensioned to show the relevant floor areas within the overall floor.

1.005. – *Drawing No. 20 CHill/02.-1A-(Arbo)* – which was a part of the Approved original Arboriculture Report (document reference No. 1.009.), showing the same area of the adjacent open sports grounds, where 5 Trees recorded in the original Arboricultural Report were located, BUT now showing the same 5 Trees previously located on the adjoining grounds, felled by the Owners of the adjoining Sports Grounds in September/ October 2021.

Otherwise, as already established in the original Approved Arboricultural Report, there have never been any Trees on the Application Site, nor there are any Trees of any value or concern in close vicinity to the Application site.

1.006. – Information on drive-over/ walk-over natural Grass Block.

1.017. – Copy of the approved Design & Access Statement, which equally applies.

1.018. – Copy of the approved CIL Determination Forms.

1.019. – Updated CIL Assessment Forms,

PART C. – *DRAWINGS RELATED TO STRUCTURAL ENGINEERS' DESIGN AND PRACTICAL INCEPTION OF CONSTRUCTION WORKS ON SITE PRIOR TO AND UP TO 1st SEPT. 2021 :*

2.001. – Structural Engineers' Design Drawings related to the Approved building.

2.002. – Construction of Foundation detail on Plan as constructed on site.

2.003. – Construction of Foundation detail in Section as constructed on site.

2.004. – Copy of the Building Inspector's Inspection report on new constructed Foundations by London Building Control,

PART D. – SUBMISSION COMMENTS :

With reference to Policies H1, H4, H6 and A1 listed in the Approval 2018/1012/P, the following is observed in principal terms :

- (d.1.) The above Site and Premises (otherwise subject of the Approval to add a new Lower Ground Floor), is located on its own land situated at the land-locked rear end of the above site. The Site and the premises, first approved and built in 1985/1986, remained in constant use by the Applicants since 1985 to date.
- The isolated location of the Site, surrounded by dense green Landscape containing numerous purpose-planted, now fully-grown decorative trees and large flowering shrubs (as recorded on the attached *Reference Photograph 20 CHill/ H1/H4/H6/A1*), has additionally ensured in the past, and shall continue to ensure in future the enhanced use of the above premises as an individual home. With its good level of accommodation provided, the Premises shall make further contribution to the increase of quality residential accommodation in the Street, also in Camden as a whole.

The above is supported by configuration of existing grounds around the Premises inclusive of configuration and levels of the forecourt in front of the premises, whereby a part of the adjoining single-storey premises on the south, built in 1959, shield the Premises from that side.

On the north side the grounds of neighbouring No.22 Crediton Hill site are 1.65 m higher than the forecourt and the ground floor level of the premises at 20 Crediton Hill, which with an additional 1.50 m high wooden fence fixed to the top of the 1.65 m high wall and the densely planted Hornbeams between two sites shield the premises from the north side.

In principle, the visual privacy and outlook of the premises on Application site remain virtually identical as in the past since 1985 and 1986 to date.

- (d.2.) The modified existing premises with addition of the approved new Lower Ground Floor shall continue to improve and balance the needs of the already approved development. As such it will continue to contribute to the varied character of the local community in the same way as it has been doing ever since 1985 to date.
- (d.3.) The Premises have excellent access to public transport, workplaces, shops, , schools, services and community facilities. That includes already routinely available Delivery and Servicing facilities. Over the recent years the above has already massively reduced a need to use, even keep private cars at home.

Therefore, entering 106 Agreement in respect of waving the rights to apply for Residents Parking Permit on the Street is hereby confirmed acceptable.

- (d.4.) Due to physical configuration of the approved, virtually detached premises there is no concern with sunlight, daylight or overshadowing, or need for artificial lighting as before. Any new shrubs and planting planted on adjoining lands after the date of Approval Ref. No. 2018/1012/P, more precisely in early 2022 shall be treated and kept controlled in line with the full protection of the in any way whatsoever uninterrupted, unaffected habitable, natural daylight, natural views, natural ventilation and other natural conditions and amenities of the Building as approved under the aforesaid Planning Approval 2018/1012/P.
- (d.5.) The Construction Method and Construction Traffic Management Plan have been approved as on Drawings Nos. 20 Chill/30.-B. and 20 Chill/18.-C. of the Approved package, also referred to in Points 1.013. and 1.014. above. There are no changes to the approved Construction Method and to Construction Traffic Management Plan in place.

As already clarified, the construction has in part already been carried out, and shall in continuation be carried out within the site, importantly, from 'within' the envelope of existing premises.

The above has already proved and shall continue to prove substantially reduced level of noise and air born dust. There are no adverse vibration levels involved .

There are no fumes or odours involved in any of the preceding or additional construction works.

- (d.7.) Similarly, the land of the existing residential site dating 1,800-ds is not contaminated.

- (d.8.) The microclimate of the above residential site and the adjoining Cricket grounds remains unaffected, the same as in the past.
- (d.9.) With reference to water and wastewater infrastructure the premises are served by the mains water supply and the existing waste-water and surface-water drainage system remains in place since 1985 to date.

Important : A significant environment-related improvement to reduction of the amount of surface water drained into the public drainage system is achieved through introduction of the planted green patio at the rear as well as through making the surface of the forecourt in front of the premises permeable.

(d.10) With reference to H1 policy it is stated that the formation of a new stand-alone home out of an existing already approved premises, contributes further to the Council's efforts to increase the number of new self-contained homes as the priority land-use within the Local Plan. The above contributes to the Council's efforts to achieve and exceeds its targets for additional homes during the period from 2016/2017 to 2030/31.

- (d.11.) According to H4 policy the Council's targets are based on assessment of development capacity whereby an average of at least 100 sqm (GIA) of housing floor space is considered to create capacity for one family home.
The approved modified existing premises with the approved new Lower Ground Floor provide a comfortable accommodation for a family with children or elderly in excess of the above norm.
- (d.12.) In line with stipulations by H6 policy the Council seeks a wide variety of high quality homes which would provide functional, adaptable and accessible spaces.

The advantage of the above premises as approved in this inner city location is that by purposeorientated design it now has both, the level-Entrance from the forecourt as well as the levelAccess to large communal garden.

That makes it suitable for safe use by family with small children as well as by the elderly and disabled occupants.

With introduction of one of the readily available proprietary residential wheel-chair internal Lift decks, which can be provided next to internal stairs, literally all areas of the premises can be made easily accessible for access by disabled in accordance with the Building Regulations M4(2) and M4(3).

When the points in 2.007. to 2.010., and the notes in (d.1) to (d.12.) above are read together with the attached reference *Photograph 20 CHill/H1/H4/H6/A1*, they explain the true level of environmental qualities of the above habitable Site with its premises in use since 1985, now with the Approved Building in making.

Together, they make another valid, natural contribution to the housing stock within the Inner London area.

The quoted submission fees of £206.00 have already been paid as requested.

For the above reasons we hereby apply for the Council's approval to establish the existing modified already approved premises as the stand-alone home.

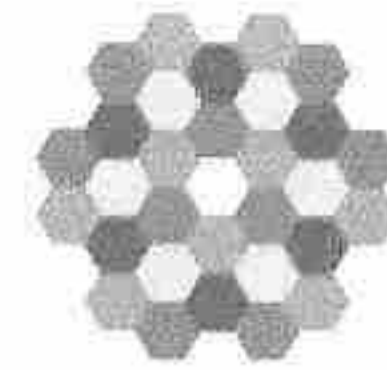
Yours sincerely,

Predrag J Maric
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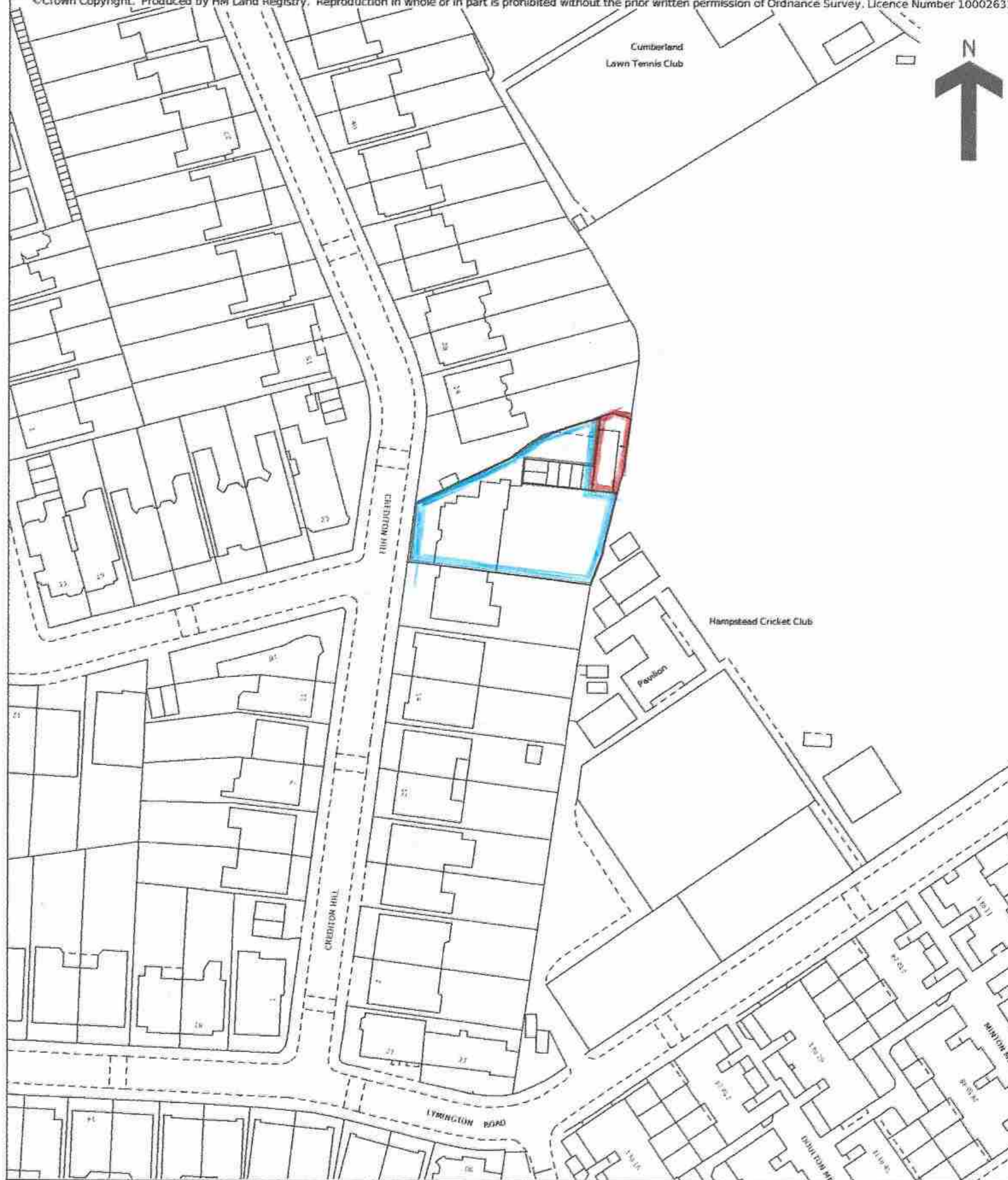
SCHEDULE OF DRAWINGS & PHOTOGRAPHS

20 CREDITON HILL LONDON NW6 1HP

- a) 1.002 Site location plan 1:1250
- b) Photograph 20 Chill/H1, H4, H6, A1
- c) Photograph 2
- d) Ground floor plan for stand-alone 20 Chill/04.B.2
- e) Enlarged detail of ground floor plan, 20 Chill/04.B.3
- f) Approved Lower ground floor plan, dimensioned, 20 Chill/23
- g) Approved rear elevation, 20 Chill/09-1
- h) Approved construction method, 20 Chill/30-B
- i) Approved construction traffic management plan, 20 Chill/18-C
- j) Structural Engineer's lower ground floor plan, construction drawing 1174-01
- k) Structural Engineer's ground floor plan, construction drawing 1174-02
- l) Structural Engineer's roof plan, construction drawing 1174-03
- m) Lower ground floor – foundation construction plan, 20 Chill/12.G
- n) Lower ground floor – foundation construction section, 20 Chill/14.G
- o) Arboricultural site plan to show 5 trees felled on adjoining site in September 2021, 20 Chill/02-1A-(Arbo)



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REAR OF 20 CREDITON HILL, LONDON NW6 1HP

DRWG. REF. 20 CHILL/1.002.

APPLICATION SITE PLAN

This is a copy of the title plan on 20 FEB 2022 at 17:53:01. This copy does not take account of any application made after that time even if still pending in HM Land Registry when this copy was issued.

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This title is dealt with by HM Land Registry, Croydon Office.

20 CHILL/1.002.

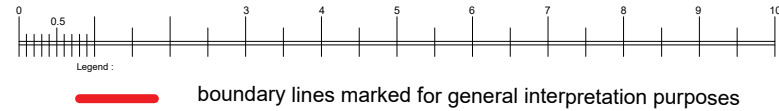


Rear of 20 Crediton Hill, London NW6 1HP

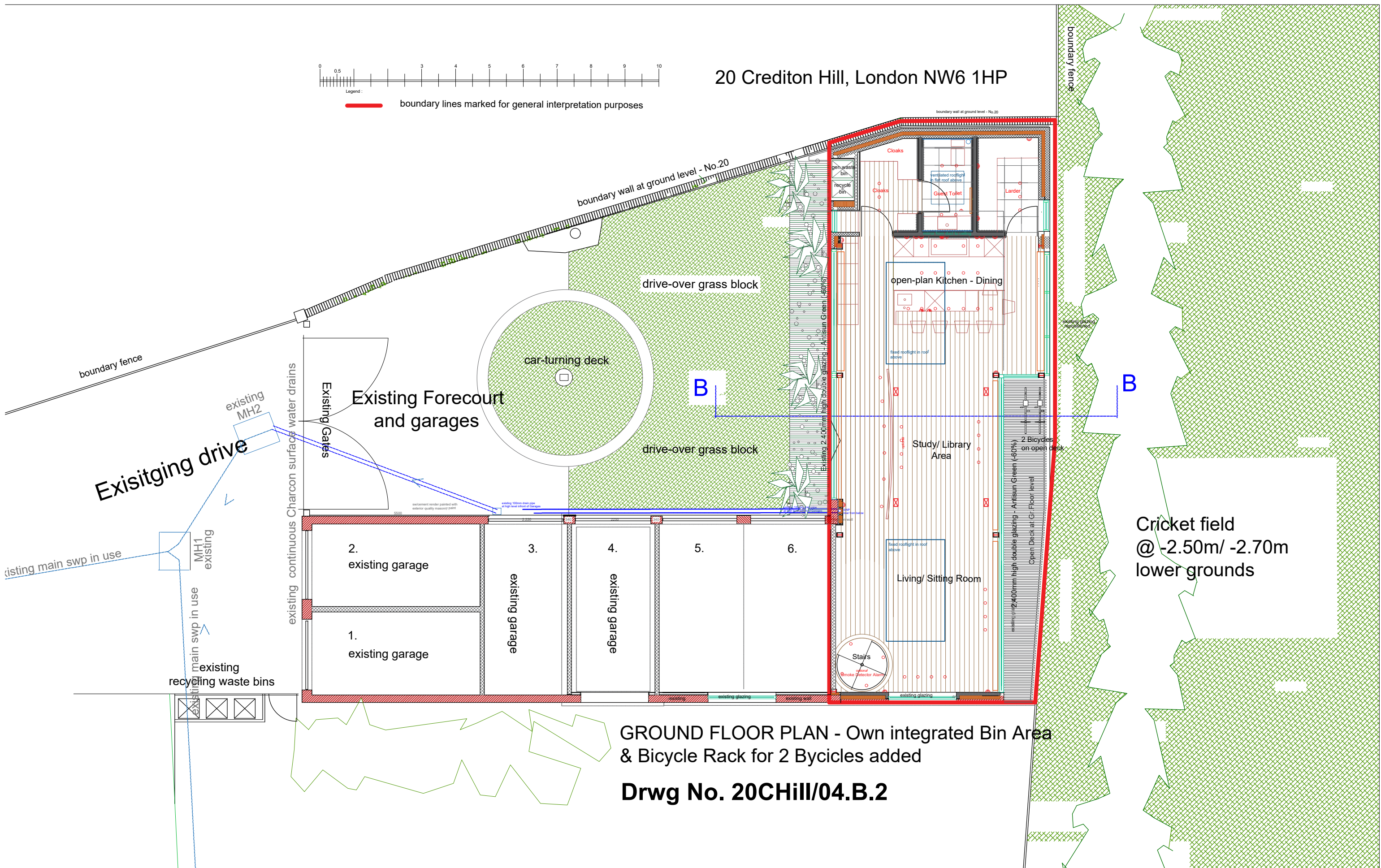
self-explanatory

Photo 20 CHill/ H1, H4, H6, A1



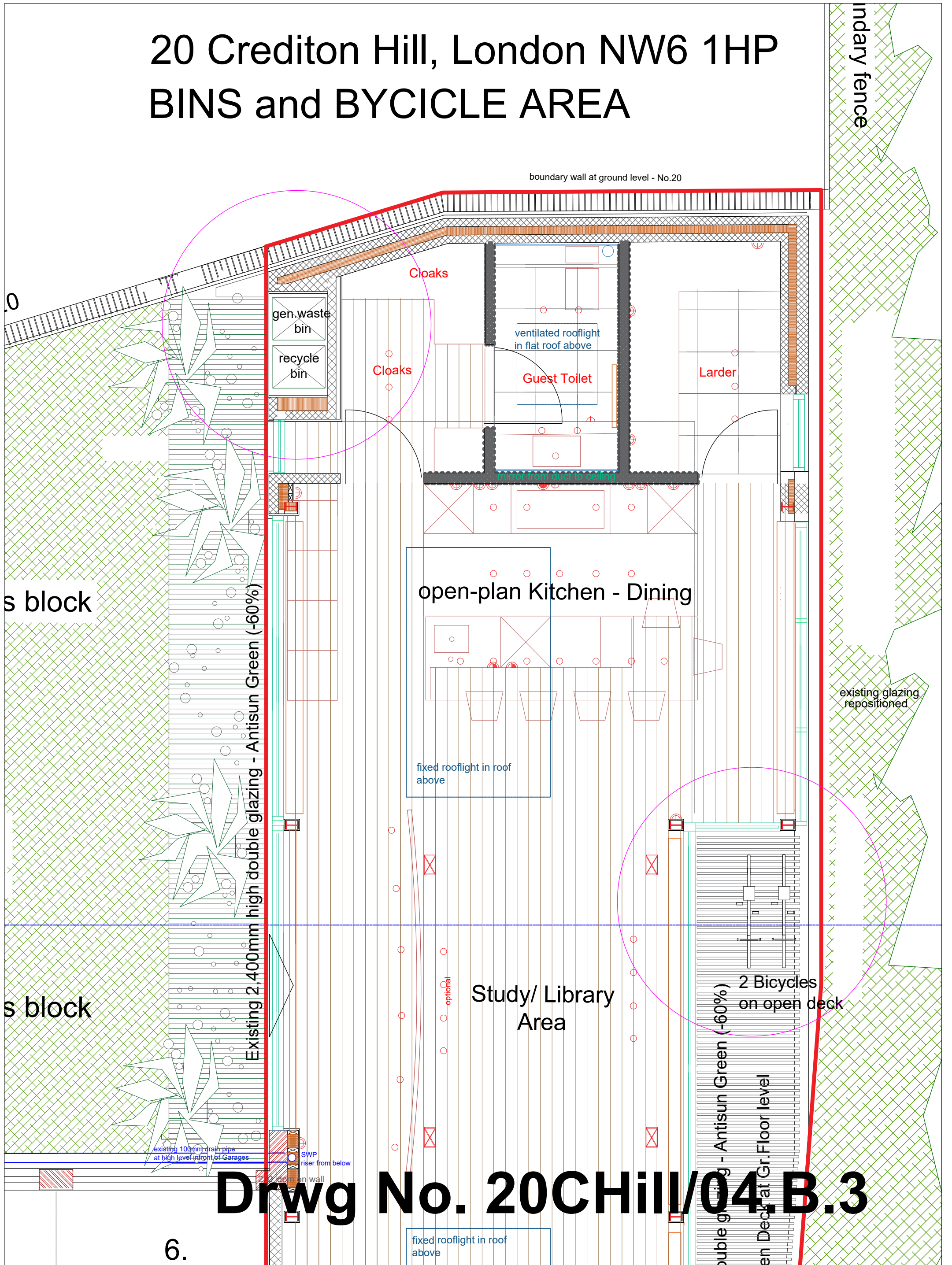


20 Crediton Hill, London NW6 1HP



GROUND FLOOR PLAN - Own integrated Bin Area & Bicycle Rack for 2 Bicycles added
Drwg No. 20CHill/04.B.2

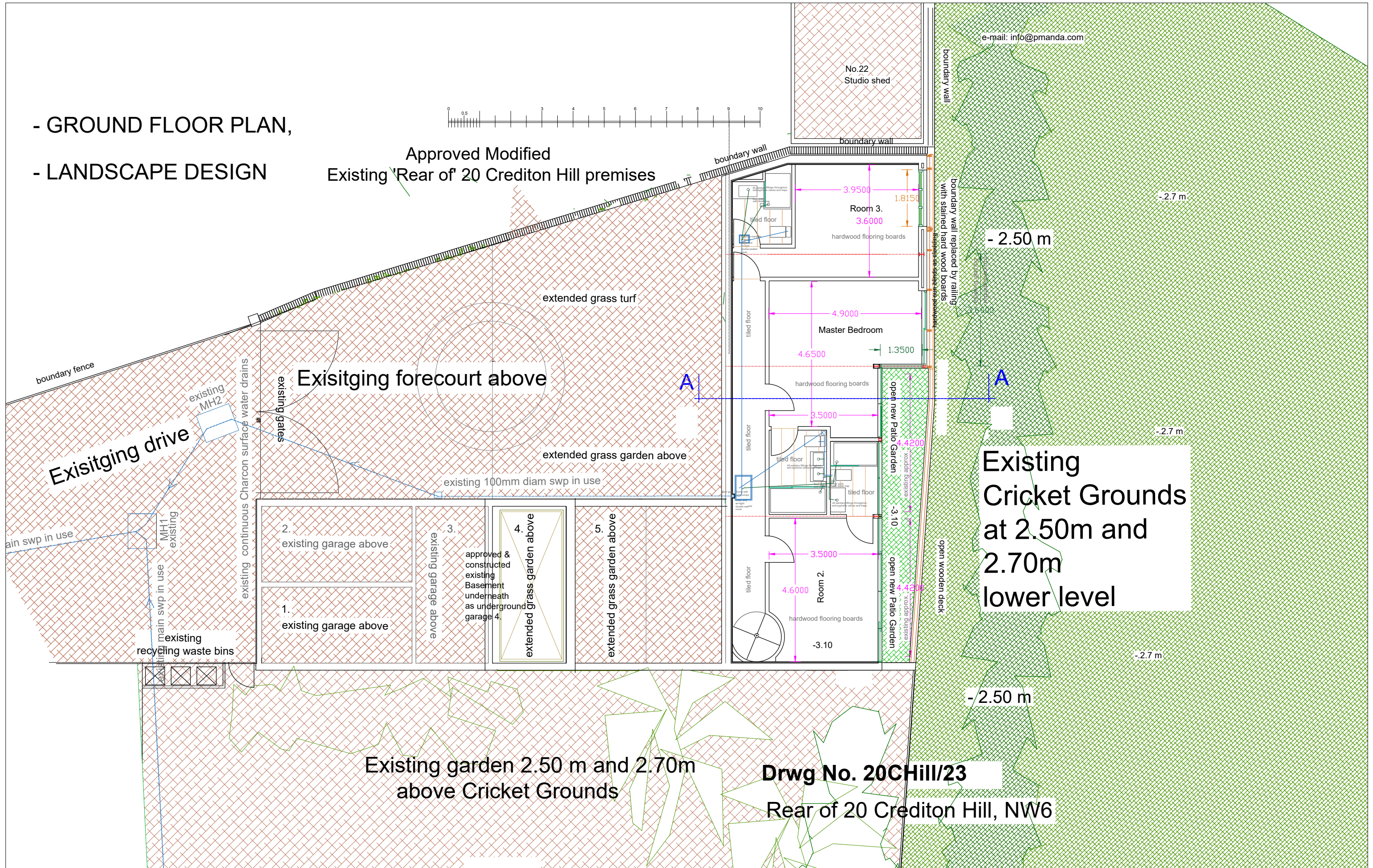
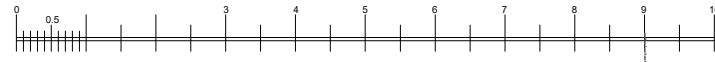
20 Crediton Hill, London NW6 1HP BINS and BYCICLE AREA



Drwg No. 20CHill/04.B.3

- GROUND FLOOR PLAN,
- LANDSCAPE DESIGN

Approved Modified
Existing Rear of 20 Crediton Hill premises



e-mail: info@pmanda.com

- 2.50 m

-2.7 m

-2.7 m

-2.50 m

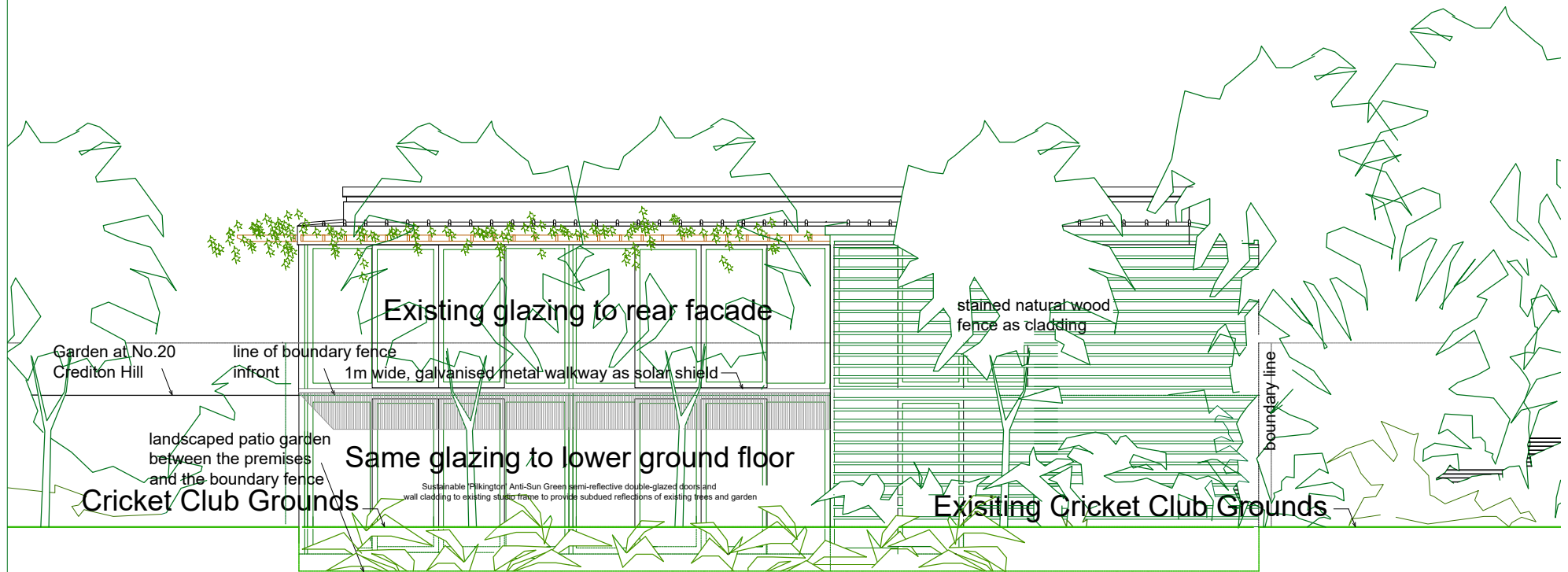
-2.7 m

Existing
Cricket Grounds
at 2.50m and
2.70m
lower level

Existing garden 2.50 m and 2.70m
above Cricket Grounds

Drwg No. 20CHill/23
Rear of 20 Crediton Hill, NW6

REVISED REAR ELEVATION (WITHOUT wooden boundary fence panels in front of Lwr.Gr.Floor)



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Rear of 20 Crediton Hill, NW6

Drwg No. 20CHill/ 09.-1.

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DESIGN & ACCESS STATEMENT

for the proposed improvement, amendment and extension works to Existing Premises comprising the Approved single-storey building at the Rear of 20 Crediton Hill, London NW6 1HP (in 1985), which have been owned and in permanent residing use by the Resident Applicants since 1985 to date,

Proposed extension to the existing is to form a new Lower Gr. Floor under existing single-storey premises, of the same template as premises above, also utilising continuous 2.20 metres deep foundations of the existing building.

This Design & Access Statement is to be read in conjunction with the extensive study documentation comprising Reference Drawings, Photographs, Explanations and Reports by a number of independent Professional Consultants, which have been enclosed with the Application for the Approval of the Environment-orientated improvements to existing premises above ground, and extension of existing premises by addition of new Lower Ground Floor within existing split-level/ existing cascade grounds at the Rear of 20 Crediton Hill, London NW6.

This Design & Access Statement relates to the following proposed works :

- *Construction of a new lower ground floor/ basement extension below existing single storey premises at the Rear of 20 Crediton Hill, which has been approved and built by the Applicants in 1985, owned as independent Freehold and in permanent residential use expressly by the Resident Applicants ever since 1985 to date,*
- *Formation and construction of a new landscaped green patio garden along the rear façade of new Lower Ground Floor, between the Lower Ground Floor and the wooded area along the perimeter ring of the adjoining 10 Acres of Sports and Cricket Grounds.*
- *Removal of concrete slab and hard standing forming the rear half of existing forecourt in front of existing premises, and formation of a New Sustainable Green Garden (approx.. 75 m²) by creating soil-permeable drain layers, finished with the proprietary walk-over/ drive-over grass block.*

Historically :

No.20 Crediton Hill has originally been constructed as a large single-family Residence at the front end of an unusually large site covering substantial grounds between Crediton Hill (Street) to the West and the 10 Acres of Cricket grounds to the East.

Due to a substantial difference in levels in excess of some 3 – 3.5 metres between the street Crediton Hill, and the level of Cricket grounds beyond rear boundaries of 20 Crediton Hill, most of the large rear lands at 20 Crediton Hill have been formed over the raised Made-up Grounds.

In 1959 the Owners of the original No.20 have carried out major conversion works to the main building and substantial ground works to their large gardens.

Formation and construction of a shared drive along side of the main building, also construction of 6 no. brick-built garages on their own separated land, and then of a separate large hard-paved forecourt to serve rear end of the site with four garages only, were a part of the conversion and separation works carried out in 1959.

The Proposal

allows for a planned formation of a new lower ground floor extension used as a part of the Existing building at the Rear, otherwise in Freehold ownership and continuous residing use by the Applicants since 1985. to date.

The submitted proposal became naturally possible and easy to construct under the template of existing premises in a traditional construction manner because of the substantial difference in levels between the higher grounds of the Rear of 20 Crediton Hill and 2.50 m and 2.70 m lower Cricket grounds.

By the purpose-orientated sustainable design, a naturally lit, naturally ventilated lower ground floor at basement level with a landscaped green garden along its glazed eastern façade, would form a natural fully sustainable extension to existing premises.

In line with the Agent's almost four decades of professional expertise in Architecture, Engineering and Construction Design and on-site Construction Management on various jobs in Camden and Greater London, construction of the new Lower Ground Floor has been designed by intent to be carried out in a safe, tried and well tested sustainable way at more than one level, as otherwise supported by the Statements and Reports (detailed BIA Study, BIA Audit questionnaire, Reports, and the Structural Statement letter from specialist foundations contractor Messrs Abbey Pynford Foundations Ltd, all otherwise approved in the Full Planning Approval 2018/1012/P, implemented by construction works commenced in August 2021).

In terms of the setting of building/s in place, all additional areas of the new Lower Ground Floor remain fully concealed from the front and two side views, opened only to East, with the wooden fence to Cricket Grounds at the Rear.

Additional facilities for parking of 3 bicycles in front of the existing premises is shown on the submitted Drawing No. 20Chill/02.-1. showing the adjusted existing Ground Floor Plan.

With reference to disposal of the waste, it should be noted that the Existing General Waste Bin and separate Recycled Waste Bin areas, both formally used by premises r/o 20 Crediton Hill since 1985 to date, remain as designed and built by the Applicants in the past, unchanged and in shared communal use, located adjacent and directly accessed from the front end of the shared drive of 20 Crediton Hill. (Submission Drawing No.20Chill/ 24.),

Access

In terms of Access matters, the existing drive and forecourt serve the Existing rear building and adjacent garages, all located behind the Private Gates, remain in unchanged formal private use ever since 1985 to date.

Therefore, there is no change to pedestrian or vehicular access to the existing and the modified accommodation to existing premises. Access to Lower Ground Floor Extension is provided by the internal Staircase linking the two floors.

Additionally, well outside any such formal requirements within parameters of a standard design for the Access, our proposal has allowed for provision of a new Green Garden of approximately 75 m², formed over proprietary drive-over grass-block, which would additionally include a proprietary car-turntable in

the middle of the existing forecourt otherwise serving existing premises at the Rear, which would notably enhance the ease of use of forecourt by vehicle, massively reducing Carbon print of vehicles otherwise needing to turn in 4- to 5-point turn !

Our proposal also allows for provision of the green roof over approximately 65% of the shallow curved roof area.

A proprietary car-turntable is only 150 mm deep, and is designed to be readily built in-situ in a permeable surface conditions.

Otherwise, the entire private forecourt remains as at present, serving expressly the existing premises at the Rear and the adjacent garages behind existing gates to forecourt, in place since 1985 to date.

PM&A Architects&Engineers

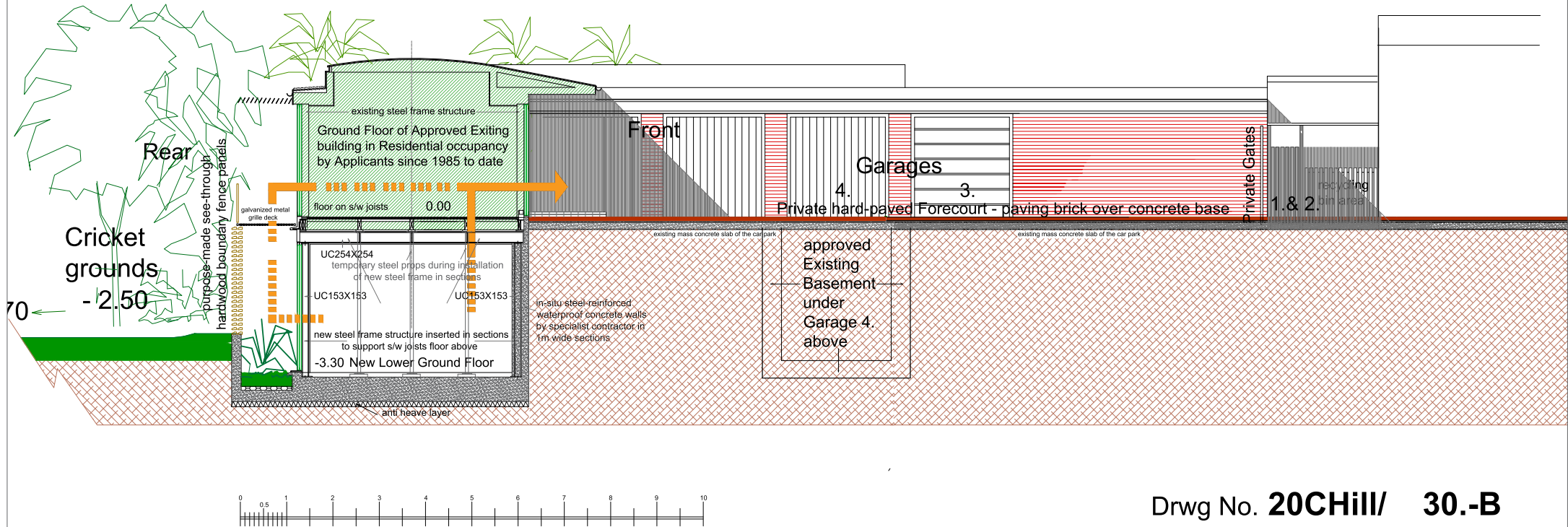
30.05.2022

METHOD OF CONSTRUCTION : ALL WORKS ARE CARRIED OUT FROM WITHIN THE TEMPLATE OF APPLICATION SITE & PREMISES AS NON-INVASIVE METHOD FOR SURROUNDING GROUNDS

30.-B

Rear of 20 Crediton Hill, NW6

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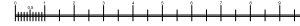


Drwg No. 20CHill/ 30.-B

OVERALL SITE LOCATION BLOCK PLAN 20 Crediton Hill, London NW6 1HP OF 20 CREDITON HILL, LONDON NW6 1HP

CONSTRUCTION TRAFFIC MANAGEMENT PLAN

PM&A Architects&Engineers
e-mail: info@pmanda.com



Sequence of underground and above ground works :

1. Method of Construction is intended as the Top-Down construction method which follows formation of contiguous in-situ drilled piles by the intended Specialist Contractor - Abbey Pynford Special Foundations Ltd, using Abbey Pynford own-designed small auger 'Kitten' measuring : Width 850mm (2'-10"), Length 1.7 m (5'-8"), Height 1.7 m, otherwise purpose-designed and used for internal drilling of piles from within the existing premises.
Abbey Pynford Specialist Foundations Ltd are the Structural Engineers and on-site Construction works Supervisors and Managers on all their Construction Work. All works by Abbey Pynford carry a full Insurance-backed Guarantee.
The Applicant, who is an Architect and Construction Engineer has worked with Abbey Pynford on numerous projects over a period of some 23 years, and is familiar with Abbey Pynford method of works, routinely delivered high quality of works, and importantly, their strict Health&Safety Regulations applied in practice, all intended for purposes of new works.
2. Excavation is planned to be carried out from underneath the top-down concrete slab, once the slab reaches its load-bearing capacity.
3. All debris from below the slab is planned to be taken up and loaded into the small-size driveable dumper by short conveyer belt positioned through excavation well,
4. Debris is disposed off into the 12-yard skips duly parked in Residents bay in front of No.20 Crediton Hill.
5. Same route as above in reversed order applies to delivery of materials as well as of the pumped concrete, with the delivery truck or a ready-mix concrete mixer temporarily parked in the long Residents Parking Bay coincidentally located in front of No.20 on each occasion for approximately 2 hrs on the days of pre-agreed concrete pours.
6. Concrete to be used is intended to be certified high-quality pre-mixed pumped water-proof concrete.
Concrete mixer delivering pre-mixed concrete shall be parked in pre-booked Resident Parking Bay located at the front of the Private Drive in permanent use by the 'Rear' of 20 Crediton Hill.
On three pre-planned occasions on which two successive deliveries of ready-mix concrete would be required, the successive delivery vehicle, temporarily waiting in Lymington Road located at the bottom of Crediton Hill, would wait for the pre-timed call, as otherwise a well-established routine arrangements for all such works.
Continuous man-control of traffic, marking and lighting of access routes, inclusive of successive brushing and hosing of all access routes shall be carried out as a part of established routine for all such work procedures.
7. Works to new Lower Ground floor under the existing studio building are programmed to be carried out from below and from inside the existing premises due to easy removal and replacement of the existing sectional light-weight wooden floor structure inside existing premises owned and used expressly by the Applicants since 1986 to date.
8. Formation of new extended garden in front of existing premise and of landscaped green patio at Lower Gr.Floor level, are a part of localized works carried out in traditional manner.



Drwg No. 20CHill/ 18.- C.
Construction Traffic Management

Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf**

1. Application Details

Applicant or Agent Name:

PM&A Architects&Engineers

Planning Portal Reference
(if applicable):

Local authority planning application number
(if allocated):

2017/ 0326/ P

Site Address:

**r/o 20 Crediton Hill,
London NW6 1HP**

Description of development:

Provision of a new Lower Gr. Floor of the same template and of the same facade treatment under the existing single-storey Ground Floor building, which already has continuous 2.20m deep foundations, built in 1985 and in use by resident Applicants since 1985 to date.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes

Please enter the application number:

No

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes No

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

c) None of the above

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes No

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes No

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes No

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes No

If you answered yes to a) or b), please also complete CIL Form 2 – '**Claiming Exemption or Relief**' available from www.planningportal.gov.uk/cil. You will also need to complete this form if you think you are eligible for discretionary charitable relief offered by the relevant local authority, please check their website for details.

c) Do you wish to claim a self build exemption for a whole new home?

Yes No

If you have answered yes to c) please also complete a CIL Form 2a - '**Claiming A Self Build Exemption**' available from www.planningportal.gov.uk/cil.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes No

If you have answered yes to d) please also complete CIL Form '**Self Build Annex or Extension Claim Form**' available from www.planningportal.gov.uk/cil.

5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes Please enter the application number:

No

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes No

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes No

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)	-	-	-	-
Social Housing, including shared ownership housing (if known)	-	-	-	-
Total residential floorspace	81.50 m2	-	85.50 m2	85.50 m2
Total non-residential floorspace	-	-	-	-
Total floorspace	81.50 m2	-	85.50 m2	85.50 m2

7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 of the 36 previous months (excluding temporary permissions)?		When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
					Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
1	entire existing single-storey building retained & adjusted to connect to new lower gr.floor	81.50	residential, same as in use by resident Applicants since 1985 to date	0	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input checked="" type="checkbox"/>
2	-	-	-	-	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3	-	-	-	-	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4	-	-	-	-	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace		81.50	residential, same as in use by Applicants since 1985 to date	0			

7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings **into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?** If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1	Existing detached residential studio building built and occupied by the Applicants since 1985 to date.	81.50	same as at present : residential studio building in constant used by the Applicants since 1985 to date.	0
2	-		-	
3	-		-	
4	-		-	
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission		0		0

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes No

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)
-	
-	
-	

8. Declaration

I/we confirm that the details given are correct.

Name:

PM&A Architects&Engineers

Date (DD/MM/YYYY). Date cannot be pre-application:

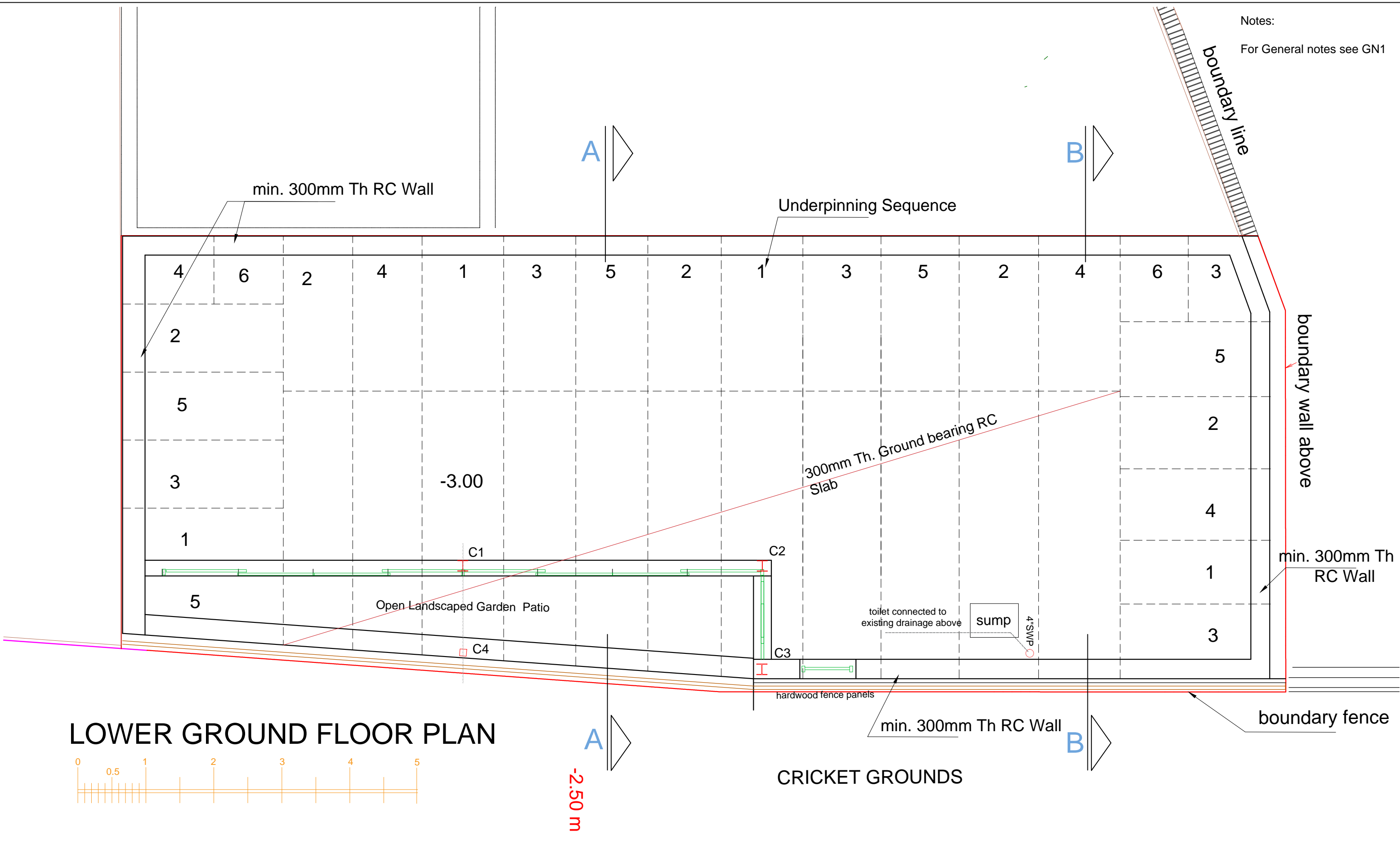
02.02.2018

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:

Notes:
For General notes see GN1



LOWER GROUND FLOOR PLAN



-2.50 m

CRICKET GROUNDS

Information

General Notes
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SHOP DRAWINGS AND ANY WORK ON SITE.
REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED ARCHITECT/ ENGINEERS DRAWINGS / DETAILS AND ALL OTHER RELEVANT INFORMATION.

Notes


Client
-

Project
20 Crediton Hill
London NW6

Drawing Title
Lower Ground Floor Plan

Scale
1:50@A3

Date
July 2018



LIM ENGINEERING LTD
consulting engineers

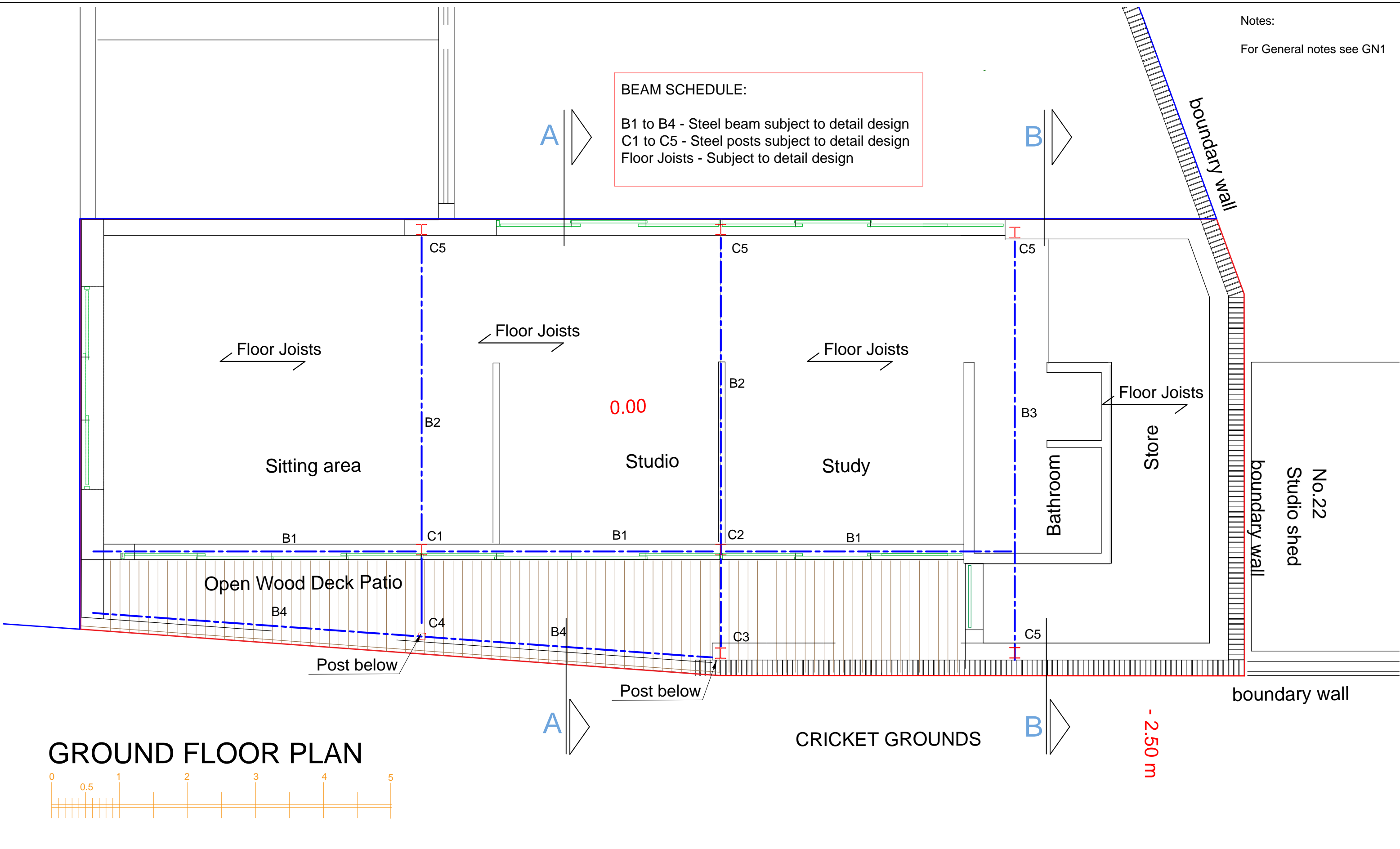
15 Kinloch Drive, London, Nw9 7LL - Tel: 020 8205 1427
Fax: 020 8205 1427

Job No.
1174

Drawing No.
01

Notes:
For General notes see GN1

BEAM SCHEDULE:
B1 to B4 - Steel beam subject to detail design
C1 to C5 - Steel posts subject to detail design
Floor Joists - Subject to detail design




GROUND FLOOR PLAN



Information
General Notes
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SHOP DRAWINGS AND ANY WORK ON SITE. REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED ARCHITECT/ ENGINEERS DRAWINGS / DETAILS AND ALL OTHER RELEVANT INFORMATION.

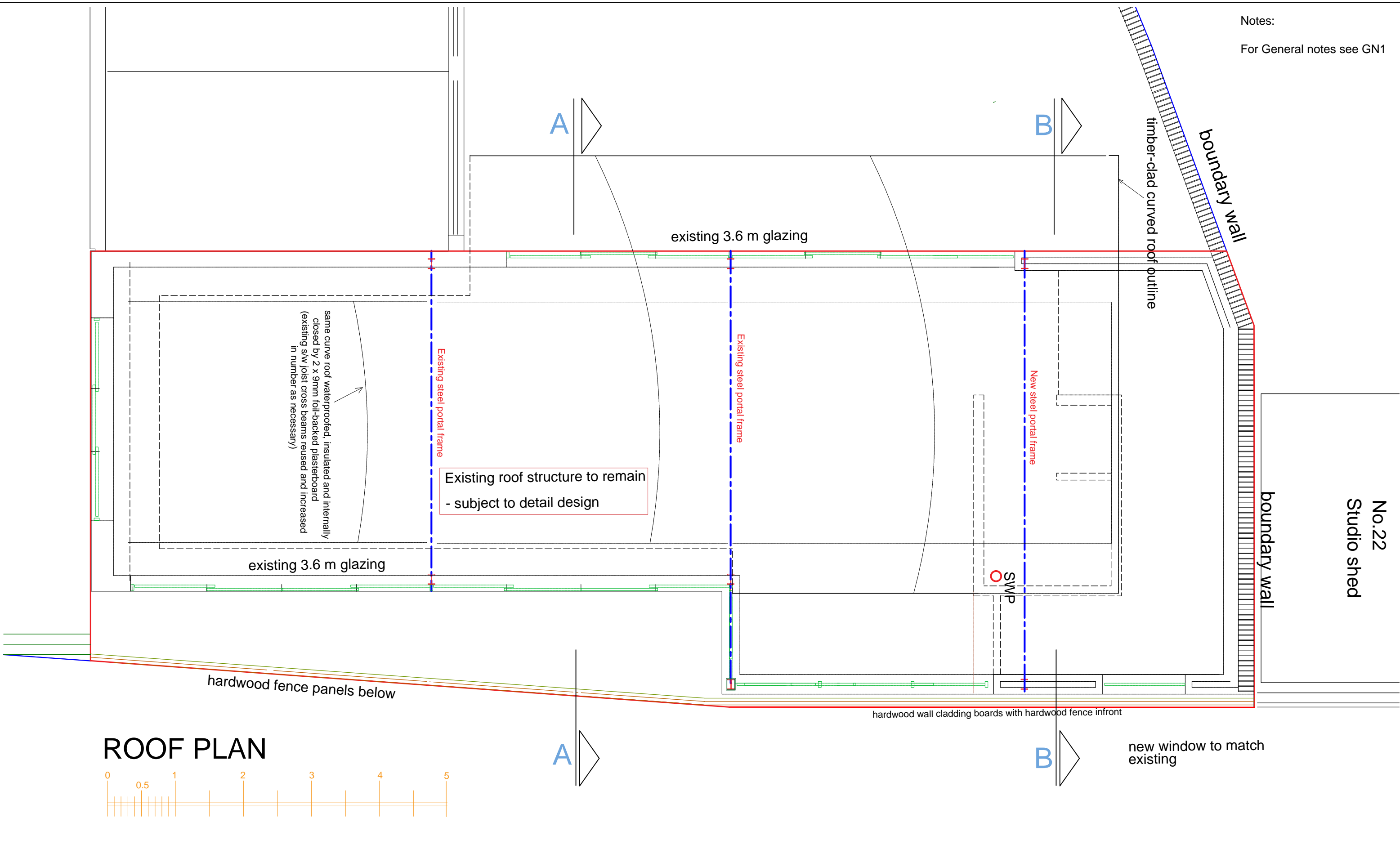
Notes

Client
-
Project
20 Crediton Hill
London NW6
Drawing Title
Ground Floor Plan
Scale 1:50@A3
Date July 2018



LIM ENGINEERING LTD
consulting engineers
15 Kinloch Drive, London, Nw9 7LL - Tel: 020 8205 1427
Fax: 020 8205 1427
Job No. 1174
Drawing No. 02

Notes:
For General notes see GN1



No.22
Studio shed


ROOF PLAN



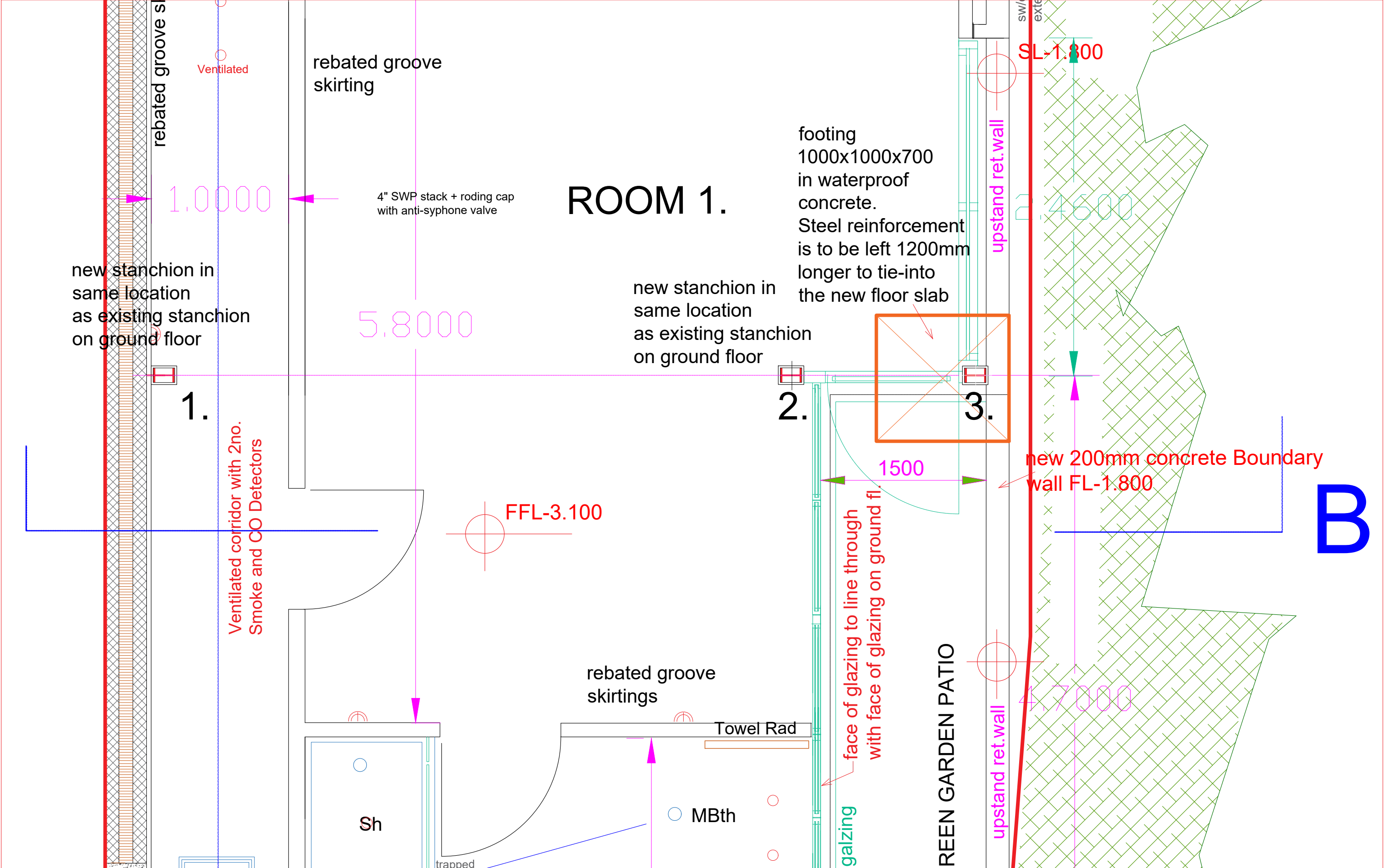
Information
General Notes
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY SHOP DRAWINGS AND ANY WORK ON SITE.
REPORT ALL DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED ARCHITECT/ ENGINEERS DRAWINGS / DETAILS AND ALL OTHER RELEVANT INFORMATION.

Notes

Client
-
Project
20 Crediton Hill
London NW6
Drawing Title
Roof Plan
Scale
1:50@A3
Date
July 2018



LIM ENGINEERING LTD
consulting engineers
15 Kinloch Drive, London, Nw9 7LL - Tel: 020 8205 1427
Fax: 020 8205 1427
Job No.
1174
Drawing No.
03



ROOM 1.

rebated groove skirting

rebated groove skirting

4" SWP stack + roding cap with anti-syphone valve

footing 1000x1000x700 in waterproof concrete. Steel reinforcement is to be left 1200mm longer to tie-into the new floor slab

new stanchion in same location as existing stanchion on ground floor

new stanchion in same location as existing stanchion on ground floor

1.

2.

3.

Ventilated corridor with 2no. Smoke and CO Detectors

FFL-3.100

new 200mm concrete Boundary wall FL-1.800

B

rebated groove skirtings

Towel Rad

Sh

MBth

trapped

face of glazing to line through with face of glazing on ground fl.

GREEN GARDEN PATIO

upstand ret.wall

sw/ exit

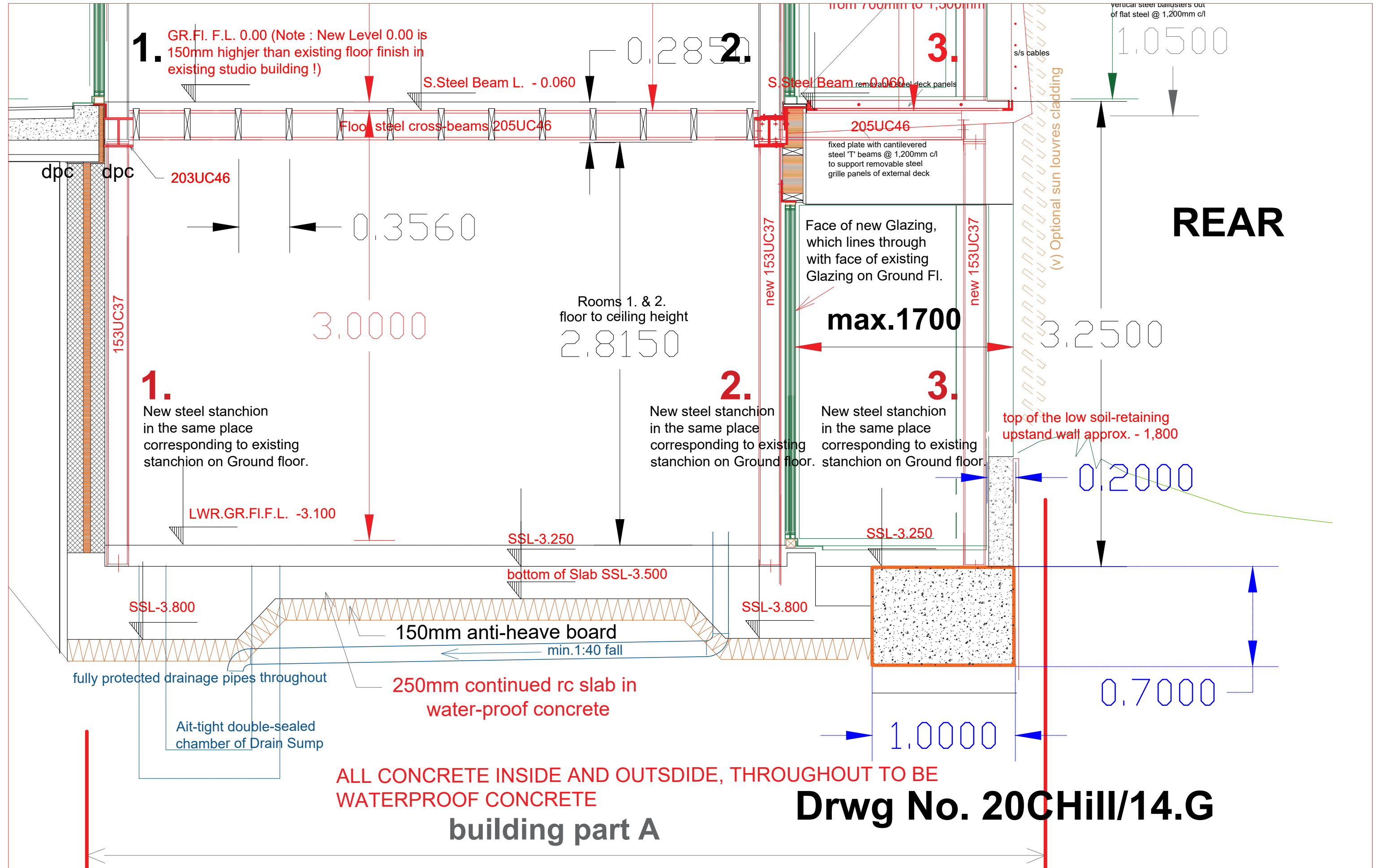
SL-1.800

upstand ret.wall

4.600

1500

4.7000



1. GR.FI. F.L. 0.00 (Note : New Level 0.00 is 150mm higher than existing floor finish in existing studio building !)

0.2850

3.

vertical steel balustrades out of flat steel @ 1,200mm c/l
1.0500

S.Steel Beam L. - 0.060

S.Steel Beam - 0.060

Floor steel cross-beams 205UC46

205UC46

dpc dpc 203UC46

fixed plate with cantilevered steel 'T' beams @ 1,200mm c/l to support removable steel grille panels of external deck

0.3560

REAR

Rooms 1. & 2. floor to ceiling height 2.8150

max.1700

3.2500

3.0000

1. New steel stanchion in the same place corresponding to existing stanchion on Ground floor.

2. New steel stanchion in the same place corresponding to existing stanchion on Ground floor.

3. New steel stanchion in the same place corresponding to existing stanchion on Ground floor.

top of the low soil-retaining upstand wall approx. - 1,800

LWR.GR.FI.F.L. -3.100

SSL-3.250

SSL-3.250

0.2000

bottom of Slab SSL-3.500

SSL-3.800

SSL-3.800

150mm anti-heave board
min.1:40 fall

fully protected drainage pipes throughout

250mm continued rc slab in water-proof concrete

Airt-tight double-sealed chamber of Drain Sump

0.7000

1.0000

ALL CONCRETE INSIDE AND OUTSIDE, THROUGHOUT TO BE WATERPROOF CONCRETE

building part A

Drwg No. 20CHill/14.G

----- Original Message -----

2nd INSPECTION BY BUILDING CONTROL (pm) Michael Lansley

<michael@londonbuildingcontrol.co.uk>

To: PM&A Int <info@pmanda.com>

CC: Jack House <jack@londonbuildingcontrol.co.uk>

Date: 20/09/2021 08:58

Subject: 19/51695/MYDDXDA/SH 20 Crediton Hill, London, NW6 1HP

Good Afternoon Mr Maric,

Further to your request please find below a copy of our site inspection records for your information;

Note: This inspection report is restricted to requirements covered by Building Regulations current at that time. It does not constitute evidence that the Building Regulations have been satisfied until a Completion/Final Certificate has been issued for the project. It remains the responsibility of the person carrying out the work to ensure that the work complies with the Building Regulations

Date

Time

Type

Inspected Date

Initials

Ref no

Applicant

Result

Decision

01-09-2021

Commencement

01-09-2021

JH2

19/51695/MYDDXDA/SH

Mr Predrag Maric

Satisfactory

In Progress

Location:

20 Crediton Hill, London, NW6 1HP

Notes:

Weather conditions/temperature: Dry, clear skies. 16 degrees.

Property Status: Unoccupied

Type of visit: Commencement

Status of visit: Satisfactory,

Site contact: Met site agent. Predrag not on site but discussed works with him over the phone.

Inspection requested to view first pad foundation for proposed rear retaining wall and slab to form new basement floor level below existing one storey dwelling to the rear of main property. Plan is due to expire in the next month so was advised start required on site. Discussed schedule of works moving forward. Spoke to Predrag whom confirmed works to proceed by the end of this year.

First pad foundation is 3.9m deep from floor level by 1m wide, in accordance with plans shown on site and on file.

Firm clay base has been reached, existing brick stepped foundations noted below approximately 700mm of concrete supporting rear garden brickwork wall. A number of trees (cherry and plum trees) located within the cricket ground backing onto the property. Roots appear to stop at depths of 1.5m. Predrag stated has been included with the structural engineers report and agricultural report. To be supplied for review.

Reinforcement not yet installed or any details from the structural engineer on file. Requested full details for review.

Requested full structural engineers package for review.

Actions:

1. Please request full structural engineers package.
2. Please request Agricultural report.

Next Inspection: Reinforcement for first pad foundation for retaining wall.

Mileage: 56

Desc of Works:

Refurbishment of existing ground floor and construction of new lower ground floor

01-09-2021

1st INSPECTION BY BUILDING CONTROL (am)

Progress

01-09-2021

JH2

19/51695/MYDDXDA/SH

Mr Predrag Maric

Unsatisfactory

In Progress

Location:

20 Crediton Hill, London, NW6 1HP

Notes:

Weather conditions/temperature:

Dry, clear skies. 17 degrees.

Property Status: Unoccupied

Type of visit: Progress (further inspection following my inspection in the morning to view the proposed reinforcement cage.)

Status of visit: Unsatisfactory,

Site contact: Met site agent. Predrag not on site but discussed works with him over the phone. Further inspection was requested by Predrag to view the reinforcement cage for the first pad foundation. Stated to both Predrag and the site agent that we require the structural engineers package to cross reference the reinforcement being installed. Cage not yet completely formed but on site. H12s being bend and tied to 6mm mesh @200mm centres to form the cage prior to be lowered into position. No details to cross reference onsite. Stated to ensure a minimum of 50mm coverage is provided to all side and base to ensure good concrete coverage. Photos to be provided once cage is completed and in place. Advised if they pour concrete it is at their own risk as we cannot confirm the reinforcement is as per the structural engineers design.

No actions, as covered within my earlier inspection.

Mileage: 57 including home.

Desc of Works:

Refurbishment of existing ground floor and construction of new lower ground floor

Kind Regards

Michael Lansley

C.BuildE, FCABE

Operations Manager

[cid:image001.png@01D7A8C1.39695D80]<<https://www.londonbuildingcontrol.co.uk/>>

Email:

michael@londonbuildingcontrol.co.uk<<mailto:michael@londonbuildingcontrol.co.uk>>

London Office:

0207 099 3636<tel:0207%20099%203636>

|

Mobile:

07747 693990<tel:07747%20693990>

Web:

www.londonbuildingcontrol.co.uk<<https://www.londonbuildingcontrol.co.uk/>>

[cid:image002.png@01D7A8C1.39695D80]<<https://goo.gl/maps/X3CduGMxe6ngkeZ56>>

13 Woodstock Street, Mayfair, London, W1C 2AG

Offices:

London<<https://goo.gl/maps/X3CduGMxe6ngkeZ56>>

Manchester<<https://goo.gl/maps/HXUNzwYuKbT2>>

Hertfordshire<<https://goo.gl/maps/aeEniE2nzvH2>>

Chichester<<https://goo.gl/maps/RmyFADfMN232>>

Exeter<<https://goo.gl/maps/hhX8zTcHbcJ2>>

Offsetting our Carbon Footprint - for every building control application we receive we have arranged through Ecologi <<https://ecologi.com/>> for a tree to be planted to help offset our carbon footprint!

[cid:image003.png@01D7A8C1.39695D80]<<https://www.eventbrite.co.uk/e/building-safety-bill-update-and-gateway-1-tickets-159962262433>>

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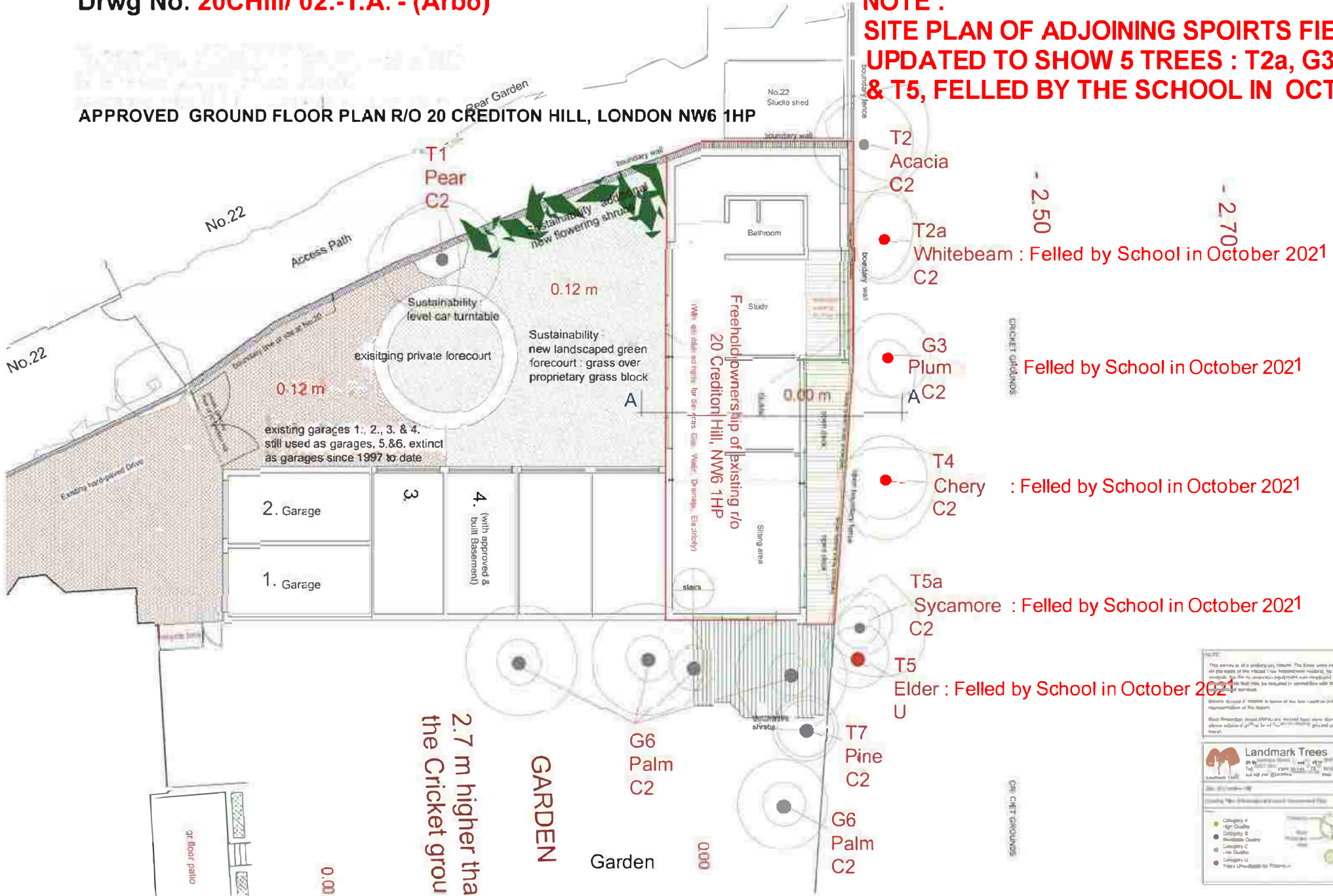
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Please consider the environment before printing.

Drwg No. 20CHill/ 02.-1.A. - (Arbo)

APPROVED GROUND FLOOR PLAN R/O 20 CREDITON HILL, LONDON NW6 1HP

**NOTE :
SITE PLAN OF ADJOINING SPORTS FIELD
UPDATED TO SHOW 5 TREES : T2a, G3, T4, T5a,
& T5, FELLED BY THE SCHOOL IN OCT. 2021 !**



NOTE:
This survey is of a preliminary nature. The trees were measured from the ground or to the top of the trunk. The measurements are not intended to be used for any other purpose. The survey was carried out by a qualified arboriculturist. The survey was carried out on 17th October 2021. The trees were measured at 1.3m above ground level. The trees were measured at 1.3m above ground level. The trees were measured at 1.3m above ground level.

Landmark Trees
20 CHILL
17th October 2021
17th October 2021
17th October 2021

Tree ID	Species	Category	Notes
T1	Pear	C2	
T2	Acacia	C2	
T2a	Whitebeam	C2	Felled by School in October 2021
G3	Plum	C2	Felled by School in October 2021
T4	Chery	C2	Felled by School in October 2021
T5a	Sycamore	C2	Felled by School in October 2021
T5	Elder	C2	Felled by School in October 2021
T7	Pine	C2	
G6	Palm	C2	

Legend:
 Category of tree quality:
 Category A
 Category B
 Category C
 Category D
 Category E
 Category F
 Category G
 Category H
 Category I
 Category J
 Category K
 Category L
 Category M
 Category N
 Category O
 Category P
 Category Q
 Category R
 Category S
 Category T
 Category U
 Category V
 Category W
 Category X
 Category Y
 Category Z