

Our Ref: 21246/CJ/am  
Your Ref: PP-11223859; 2021/5020/L  
Email: [cjones@firstplan.co.uk](mailto:cjones@firstplan.co.uk)  
Date: 13 June 2022

Miriam Baptiste  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Dear Miriam,

**DETAILS PURSUANT TO THE DISCHARGE OF CONDITION 3 OF LISTED BUILDING CONSENT REF:  
2021/5020/L  
30 LEIGHTON ROAD, KENTISH TOWN, LONDON, NW5 2QE**

We are instructed by our client, N Family Holdings Ltd (trading as N Family Club), to submit the enclosed application for the discharge of Condition 3 attached to Listed Building Consent ref: 2021/5020/L granted by the London Borough of Camden Council on 18<sup>th</sup> February 2022. Consent was granted for:

*“Internal and external refurbishment/reconfiguration works including replacement mezzanine and partitions, rear infill extension, window replacement/refurbishment, external plant and other works.”*

This application has been submitted via the Planning Portal (Ref: PP-11223859). This application relates to approval of conditions attached to Listed Building Consent, therefore is exempt from payment.

The following documents are included with this submission:

- Completed Application Form;
- Cover Letter prepared by Firstplan;
- Existing and Proposed Rooflights and Internal Roof Lining Detail (drawing ref. G4705-PKT001-A-711-P01);
- Velux Conservation Rooflight P48 of UK Product Catalogue (rooflights R01 – R06);
- Velux Conservation Rooflight Product Detail (rooflights R01 – R06);
- Velux Flat Rooflight Product Detail CVP+ISD 1093-VAS-410-1016 (rooflight R07).

**Details reserved by Condition 3**

Condition 3 states:

*“Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:*

- a) Plan, elevation and section drawings of all new rooflights (with equivalent drawing of existing for comparison).
- b) Details of internal lining of roof (showing thickness in comparison with existing and relationship to roof trusses)."

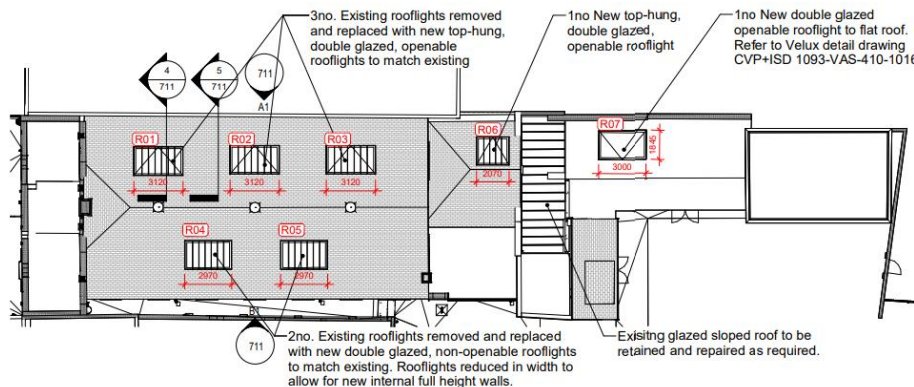
With the reason being:

*"In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017."*

### Condition 3

- a) Plan, elevation and section drawings of all new rooflights (with equivalent drawing of existing for comparison)

The accompanying drawings prepared by Lewis and Hickey Architects detail the existing and proposed plan, elevation, and section drawings of all rooflights on site. The proposed rooflights are of a high-quality and sensitive design, which will improve the condition, appearance, and thermal and acoustic performance of the building.

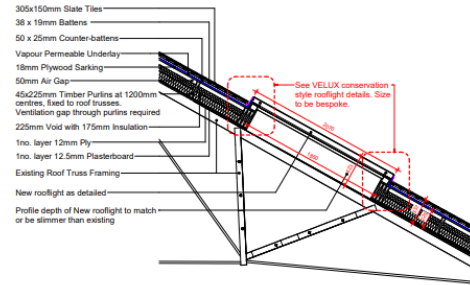


**Figure 1:** Extract of Proposed Roof Plan showing location of all rooflights

Rooflights R01 – R03 (to the eastern side of the Sorting Hall roof) are to be replaced with new top-hung, double glazed, openable rooflights. These will match the existing rooflights in glazing bar design, size and quantity, and will be finished with a PPC frame in Black (RAL 9005).

Rooflights R04 and R05 (to the western side of the Sorting Hall roof) are also to be replaced with new double glazed rooflights to match the existing, finished with a PPC frame in Black (RAL 9005). As outlined in the original submission, these will not be openable to preserve the amenity of the neighbouring residential property to the west of the site. To allow for the placement of the new internal full-height partitions, these rooflights will require a minor reduction in width (circa 15cm). However, these will still retain the glazing bar design, scale and proportions to match the existing. These rooflights are not visible from the street, or in longer views from neighbouring rear gardens; and the minor reduction in width will also not be discernible from internal views within the main hall. The minor change in size is therefore not considered to impact the character or appearance of the listed building or the wider Conservation Area.

Rooflight R06 is a new rooflight, which will provide a source of natural light and ventilation to the classroom below. This will be top-hung, double glazed and openable. This will match the rooflights to the main hall roof in design and finish, to provide a coherent and uniform appearance to the east elevation (elevation A, at Figure X). The product details of the Velux Conservation Rooflight proposed for rooflights R01-R06 accompany this application, with an extract provided at Figure 2, below.



**Figure 2:** Example images of Velux Conservation Rooflight

**Figure 3:** Extract of Proposed Section (rooflights R01 – R06)

For ease, extracts of the existing and proposed elevations A and B are included below (Figures 4 – 7), demonstrating that the proposed rooflights to the main hall will retain the appearance, scale and glazing bar design of those existing. The new rooflight to Elevation A is visually coherent with those to the main roof, helping to unify the two parts of the building.

It is clear that the external appearance of the building will not be materially affected, and as such the proposed rooflights are considered to have no harmful impact on the significance of the building or the surrounding Conservation Area.



**Figure 4:** Extract of Existing Elevation A (rooflights R01 – R03)



**Figure 5:** Extract of Proposed Elevation A (rooflights R01 – R03; R06)

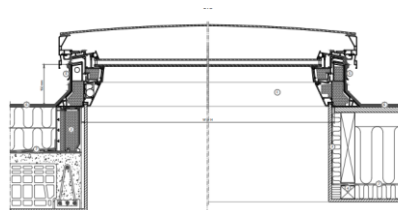


**Figure 6:** Extract of Existing Elevation B (rooflights R04 & R05)



**Figure 7:** Extract of Proposed Elevation B (rooflights R04 & R05)

Rooflight R07 is a new rooflight, to be installed to the flat roof of the existing modern rear extension. This will be a double glazed, operable rooflight, finished with a PPC frame in Anthracite Grey (RAL 7016). While this rooflight will not be visible in any elevational views, the proposed materials and finish remain of a high-quality in appearance and design. This rooflight is more contemporary in design than those to the main hall and has been selected to reflect its location on the modern rear extension. The detail is provided within the accompanying Velux product brochure ref. CVP+ISD 1093-VAS-410-1016.



**Figure 8:** Extract of Velux Product Detail CVP+ISD 1093 (rooflight R07)

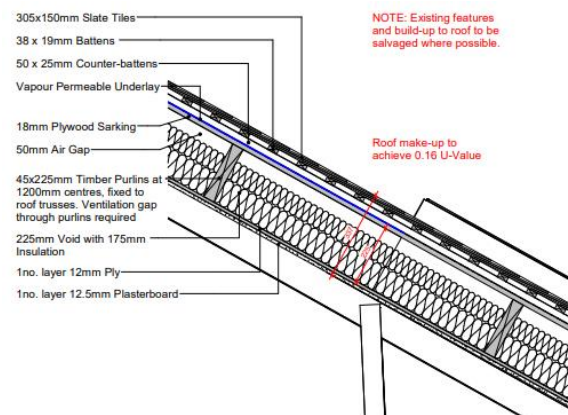
For completeness, it is confirmed that the existing glazed sloped roof, which links the sorting office to its modern extensions to the rear, will be retained and repaired as required.

b) Details of internal lining of roof (showing thickness in comparison with existing and relationship to roof trusses)

The accompanying drawings prepared by Lewis and Hickey Architects provide existing and proposed section drawings of the roof make up for the main building. These detail areas of the roof both with and without rooflights, and demonstrate the relationship to the existing roof trusses. An extract of the proposed section is provided below (Figure 9).

The proposed works to the roof of the sorting hall form part of a comprehensive, once in a generation upgrade of the building's services and fabric. The proposed materials are robust and durable, and will improve the condition, appearance, and thermal and acoustic performance of the building, and ensure its longevity. The proposed roof make up has been designed to achieve a u-value of 0.16, and comprises:

- 305x150mm Slate Tiles
- 38 x 19mm Battens
- 50 x 25mm Counter-battens
- Vapour Permeable Underlay
- 18mm Plywood Sarking
- 50mm Air Gap
- 45x225mm Timber Purlins at 1200mm centres, fixed to roof trusses. Ventilation gap through purlins required
- 225mm Void with 175mm Insulation
- 1no. layer 12mm Ply
- 1no. layer 12.5mm Plasterboard



**Figure 9:** Extract of Proposed Section showing Make Up of Internal Lining of Roof

Where possible, the existing features and build-up of the roof are to be retained and reused. Externally, the materials and finishes proposed will match the existing, causing no impact to the character and appearance of the listed building or the wider Conservation Area.

## Conclusion

We trust that the enclosed information is sufficient to enable officers to successfully discharge all elements of Condition 3 attached to Listed Building Consent 2021/5020/L.

In the meantime, we look forward to receiving confirmation that the enclosed application has been validated, however, if you have any queries please do not hesitate to contact me.

Yours sincerely,

CHRIS JONES

Director

Enc.