

CONTENTS

01. Summary
02. Site Location Plan
03. Site Plan
- 04 Existing Elevation
05. Existing Site Images
06. Existing Plans

07. PROPOSALS
08. Summary of Proposals
Proposed Item 1 - New Window
09. Dividing Window Justification

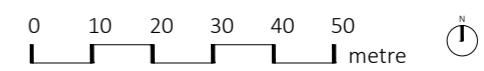
01 SUMMARY

- Existing ground floor unit has no light to rear
- Previously a garage entrance and later a plant room for internal functions
- Proposal is to:
 - Replace low quality rendered facade and grille with a simple window and new grill to enable rear of ground floor to be used

02 SITE LOCATION PLAN



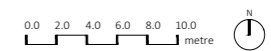
SITE LOCATION PLAN - 1:1250



03 SITE PLAN



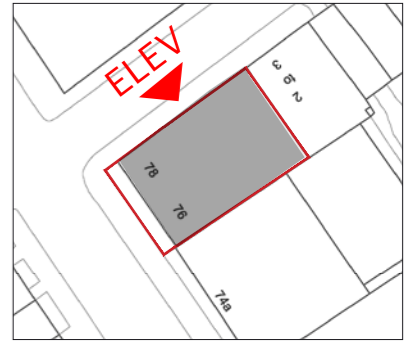
SITE PLAN - 1:500



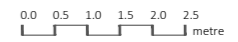
04 EXISTING ELEVATION

LEGEND

- 1. Louvred Vent
- 2. Poor Quality Render
- 3. Tiled Upstand
- 4. Existing Glazed Door



ELEVATION CHITTY STREET



05 EXISTING SITE IMAGES



CHARLOTTE STREET - Front entrance

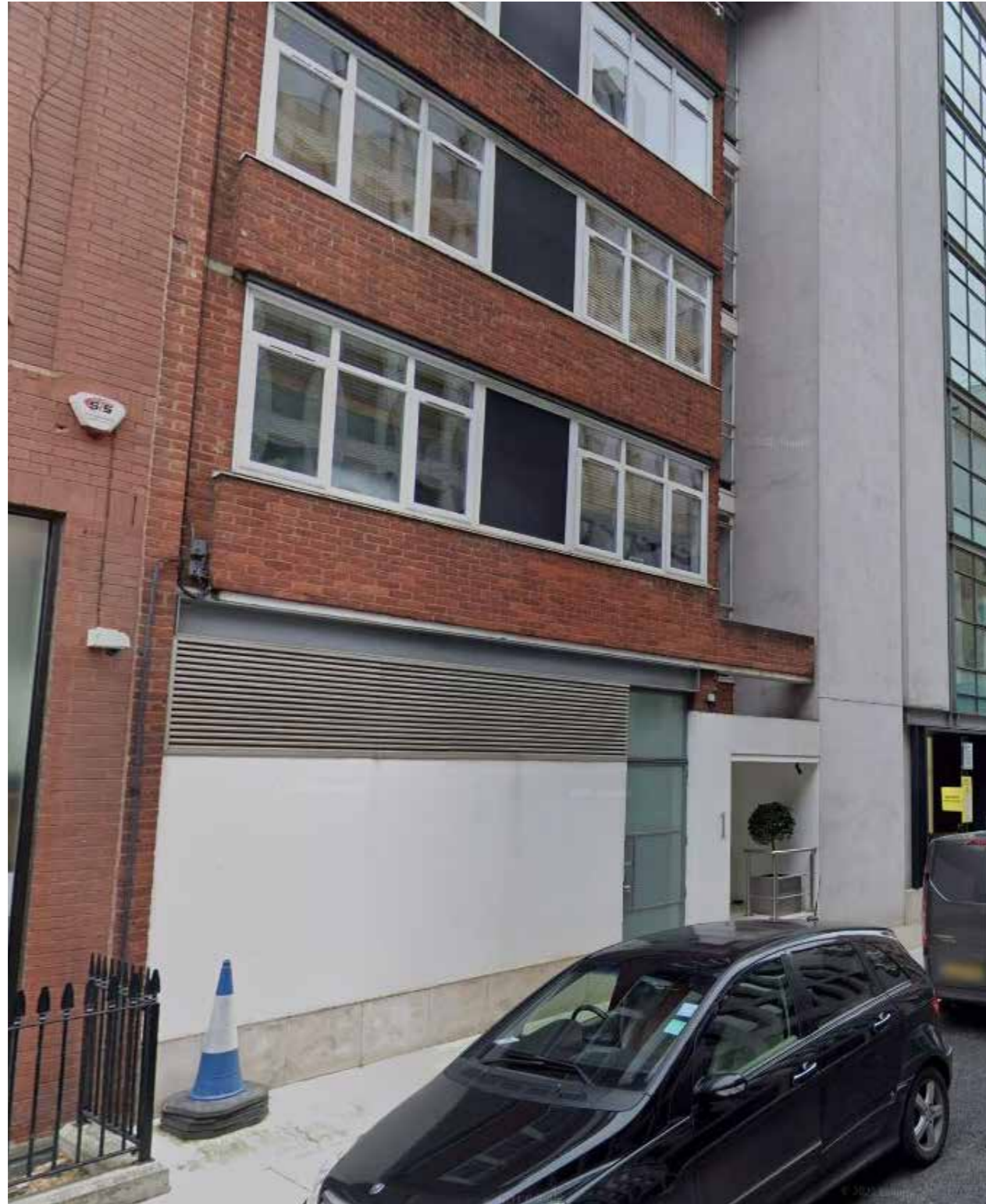


CHITTY STREET - Rear entrance showing area for new window



CHITTY STREET - Rear entrance showing area for new window

05 EXISTING SITE IMAGES



CHITTY STREET - Rear entrance

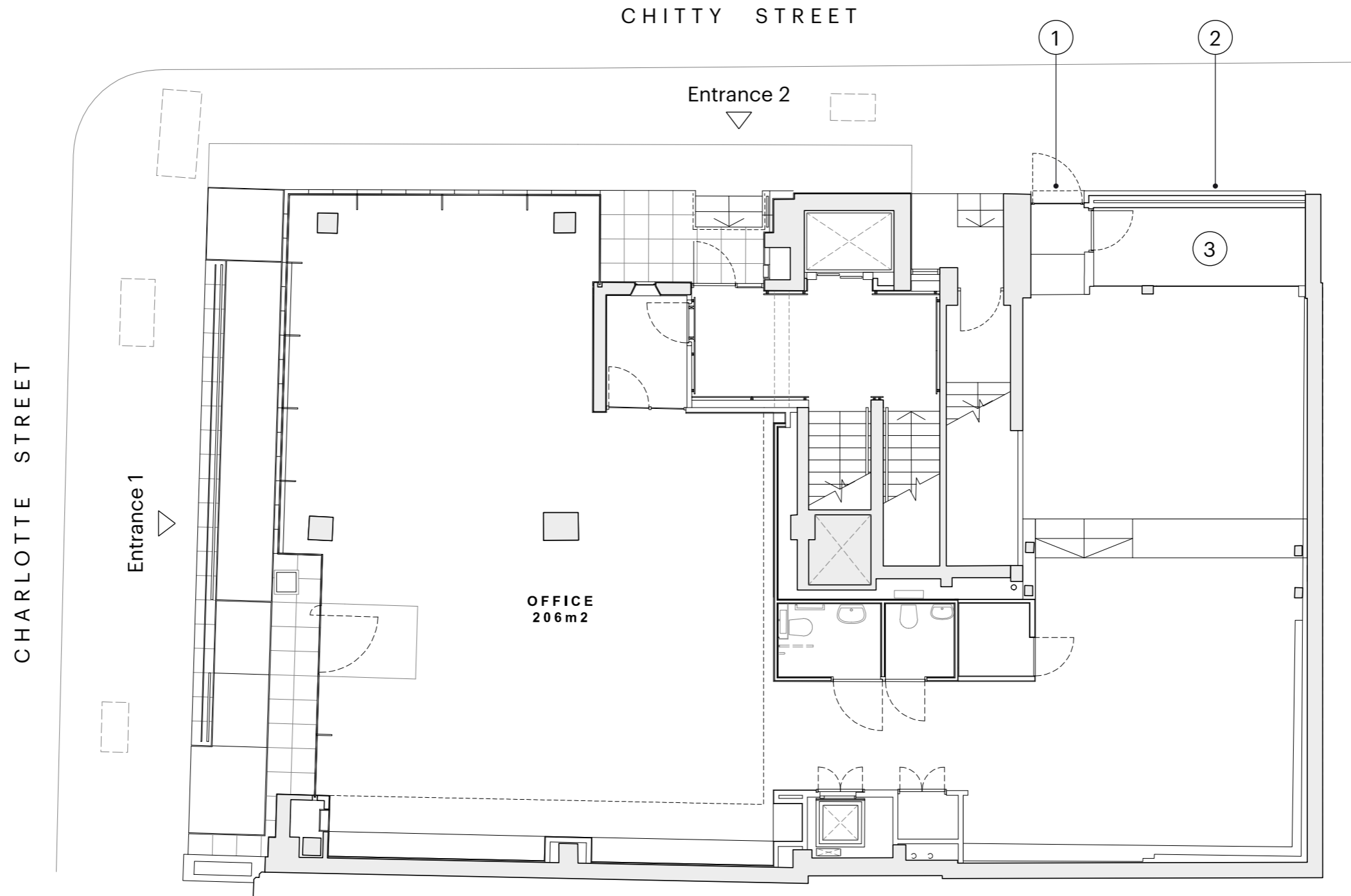


CHITTY STREET

06 EXISTING PLANS

LEGEND

- 1. Glazed Door
- 2. Blank Wall
- 3. Plant Room

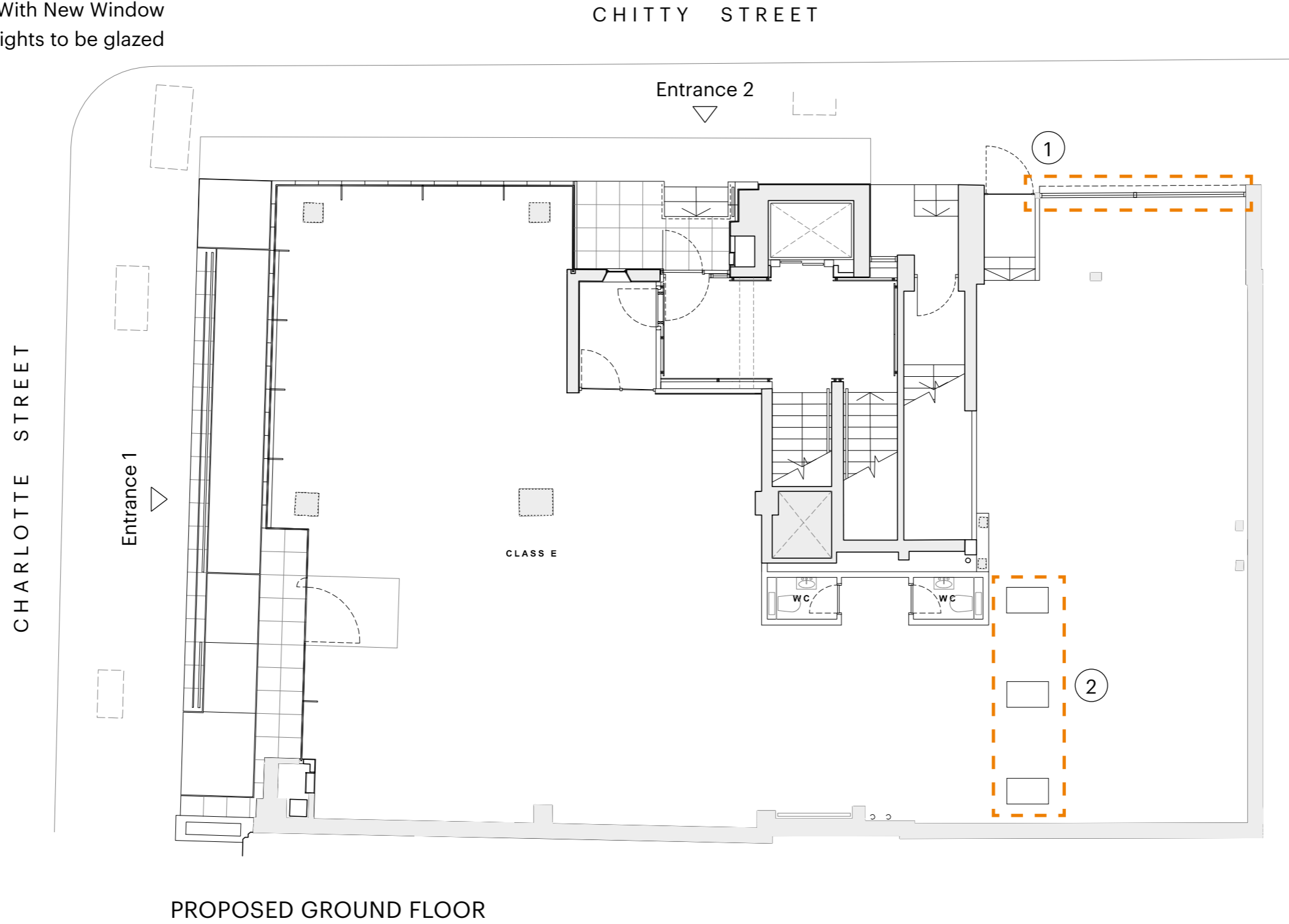


EXISTING GROUND FLOOR

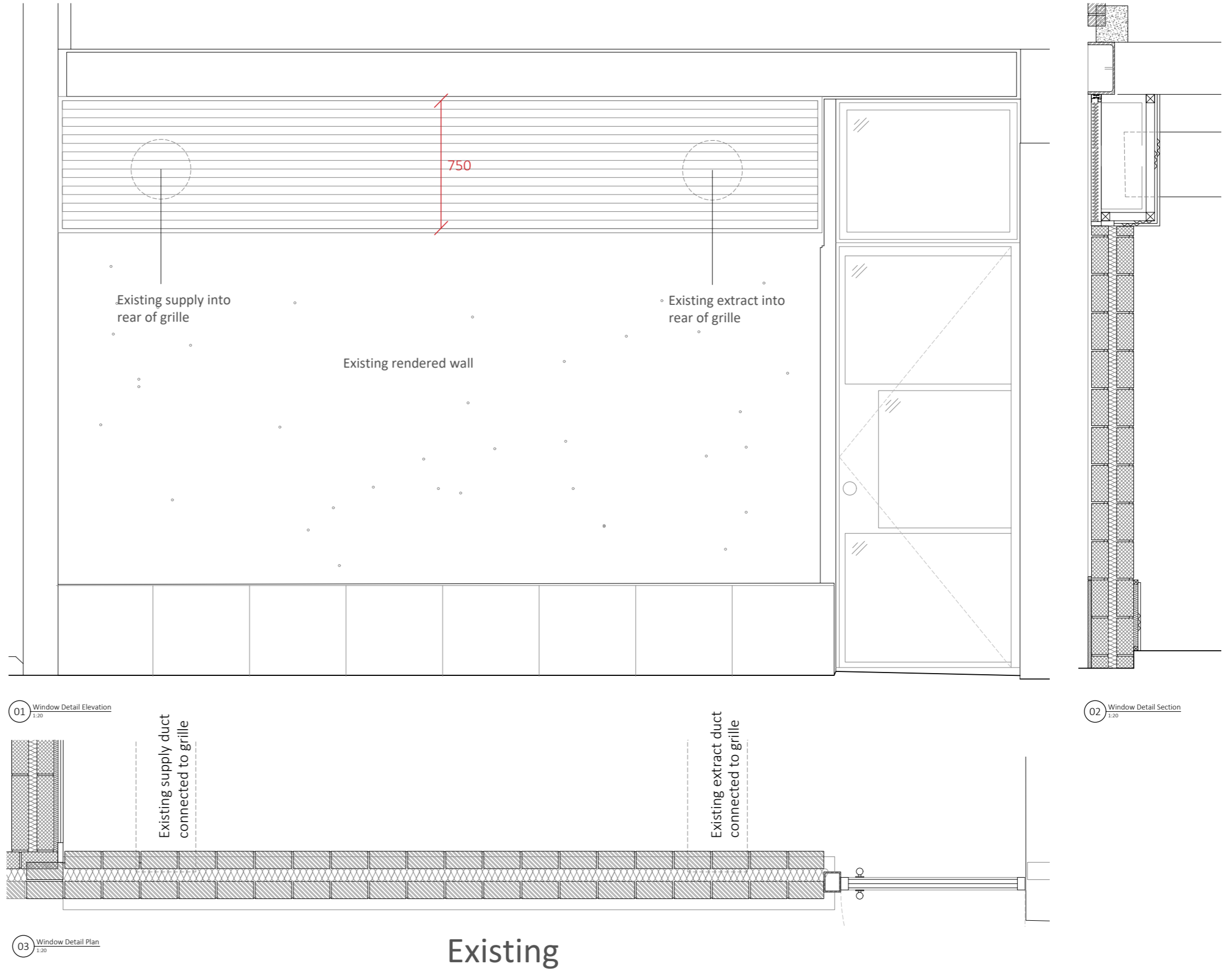
07 SUMMARY OF PROPOSALS

LEGEND

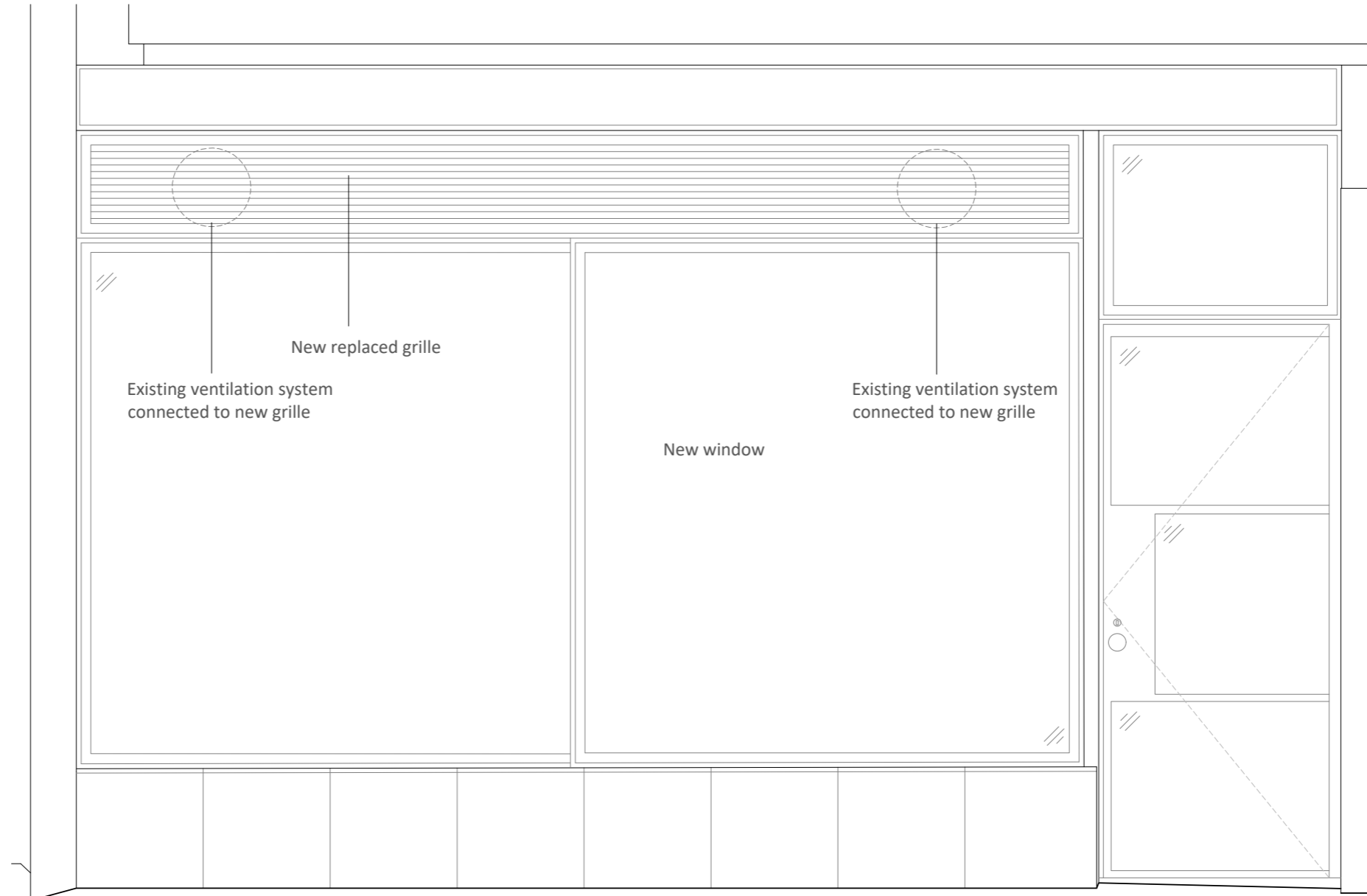
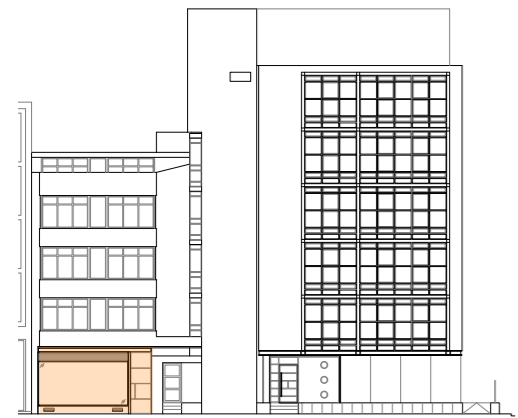
- 1. Existing Wall Replaced With New Window
- 2. Existing closed off rooflights to be glazed



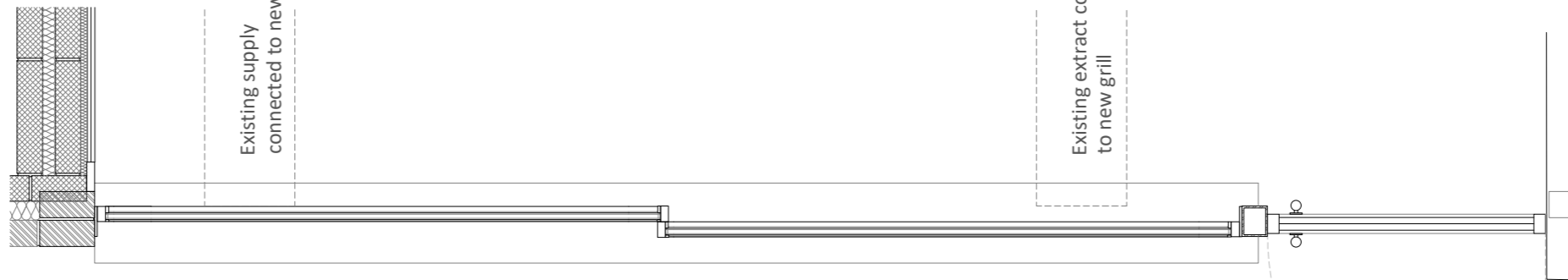
08 EXISTING ELEVATION



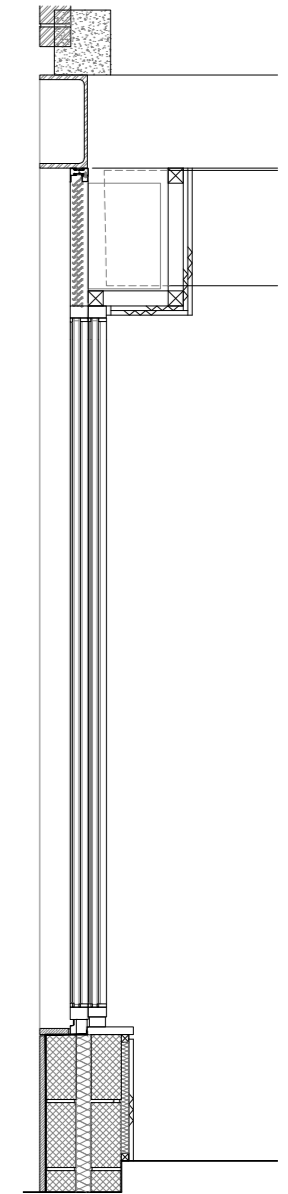
08 PROPOSED ELEVATION



01 Window Detail Elevation
1:20



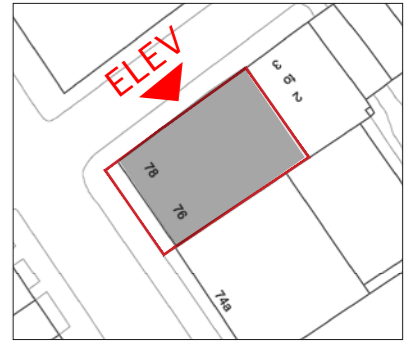
03 Window Detail Plan
1:20



02 Window Detail Section
1:20

Proposed

08 PROPOSED ELEVATION

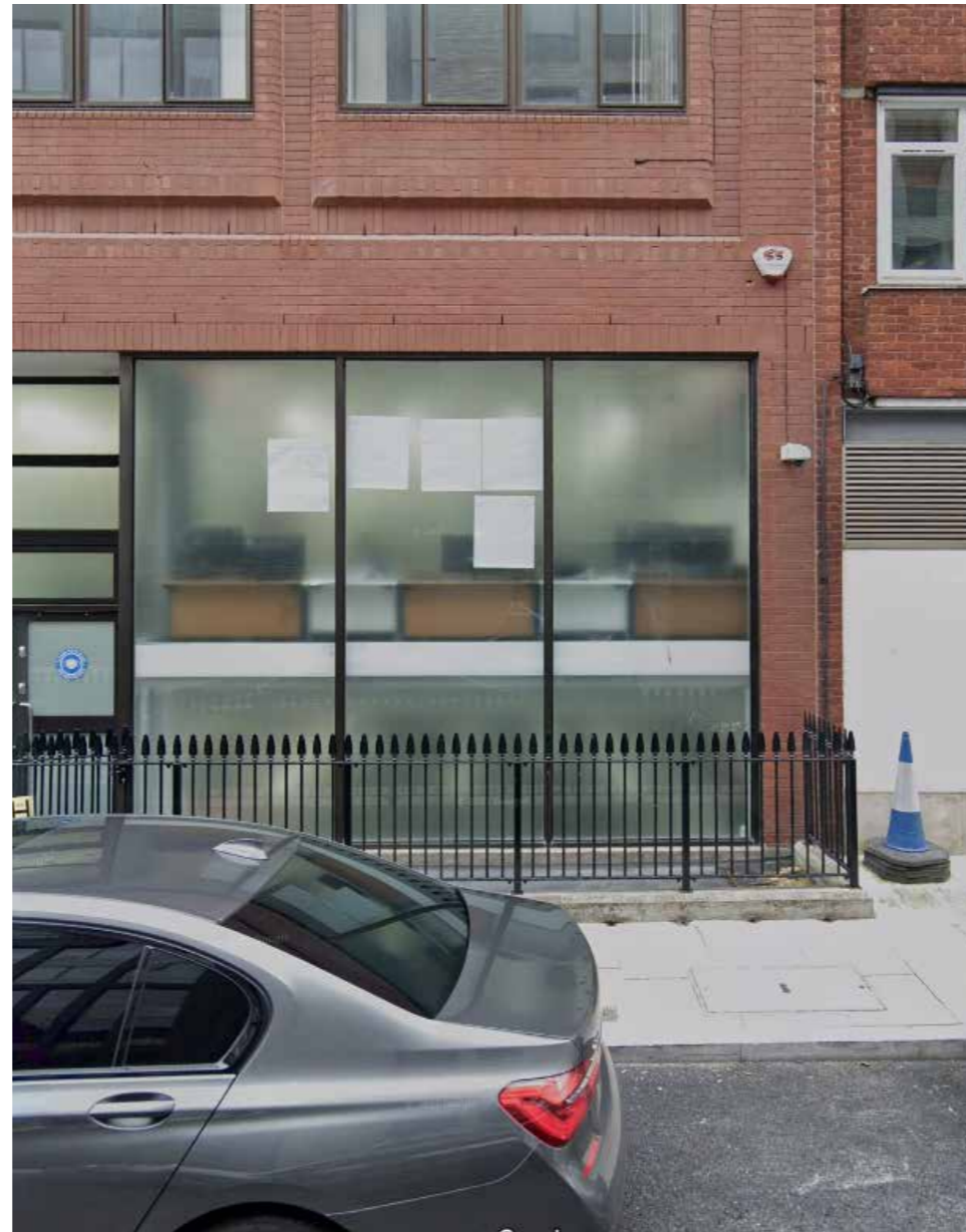


09 DIVIDING WINDOW JUSTIFICATION

The proposal has been developed to match other windows on Chitty Street that are generally centrally divided. The most relevant of these is the other corner of Chitty Street (No 15), The Building Society where some of the windows are centrally divided, and partially openable for ventilation. This pattern is also the same at 78 Charlotte Street, albeit off centre as above.



A - 78 Charlotte Street



B - 2 Chitty Street



C - 15 Chitty Street

de Metz Forbes Knight

The Old Library, 119 Cholmley Gardens, London NW6 1AA
+44 (0)20 7435 1144 info@dmfk.co.uk www.dmfk.co.uk

de Metz Forbes Knight Ltd. Registered in England VAT No. 751 934 812 Company No. 03892654