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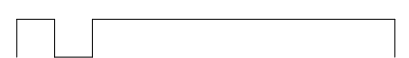
For construction purposes:

- | REVISION | | | |
|----------|------------|----|---|
| NUMBER | DATE | BY | NOTES |
| P1 | 09/04/2020 | OB | Issued to planning |
| P2 | 02/09/2020 | OB | Vertical element added to rear facade |
| P3 | 15/10/2021 | OB | Issued to planning |
| P4 | 30/03/2022 | RH | Issued to planning
(variation of condition 3). |
| P5 | 25/05/2022 | RH | Revised information for planning |

PROPOSED WALL -
VERTICAL ELEMENT TO THE FACADE

REINSTATING WINDOW IN ORIGINAL POSITION (REPLACING EXISTING DOOR)

OUTLINE OF EXISTING BUILDING - - - - -



CLIENT
Mrs Davidson & Mr Fealy

SCALE
1:100

DRAWING NUMBER _____ **REVISION** _____

314-DWG-101	P5
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REVISION NUMBER	DATE	BY	NOTES
P1	09/04/2020	OB	Issued to planning
P2	23/06/2020	OB	Balcony revised to align with neighbouring balcony
P3	02/09/2020	OB	Vertical element added to rear facade
P4	24/11/2020	OB	Issued to planning
P5	15/10/2021	OB	Kitchen remains in extension
P6	30/03/2022	RH	Issued to planning (variation of condition 3).
P7	25/05/2022	RH	Revised information for planning

OUTLINE OF EXISTING BUILDING - - - - -
WITH EXTERNAL STAIRS & LANDING



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CLIENT
Mrs Davidson & Mr Fealy

PROJECT
72 Albert Street
NW1 7NR

SHEET TITLE
Existing & Proposed Ground Floor
Plan

SCALE
1:100

DATE CREATED	FILE REFERENCE
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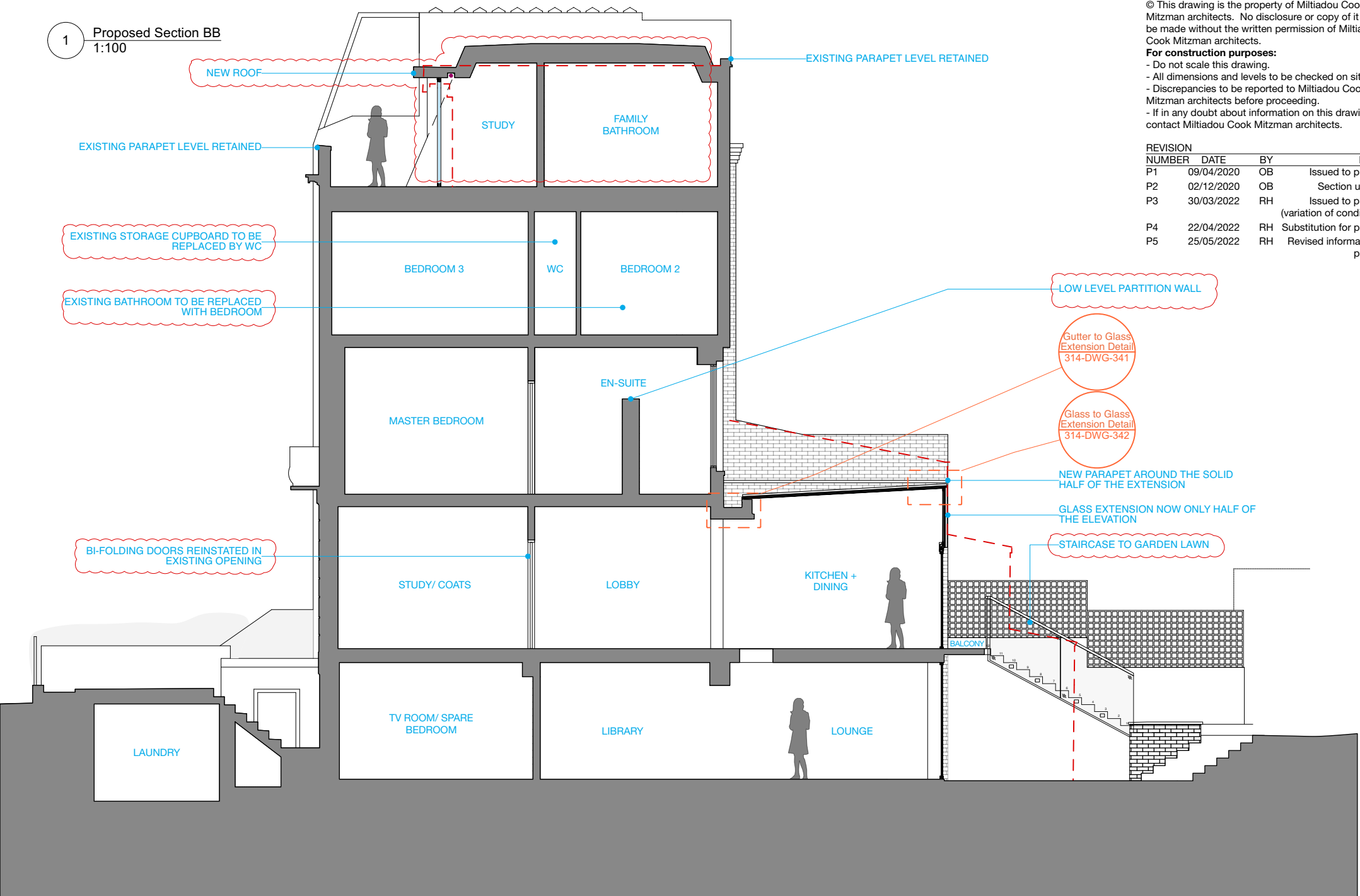
DRAWING NUMBER

REVISION

314-DWG-102

P7

1 Proposed Section BB
1:100



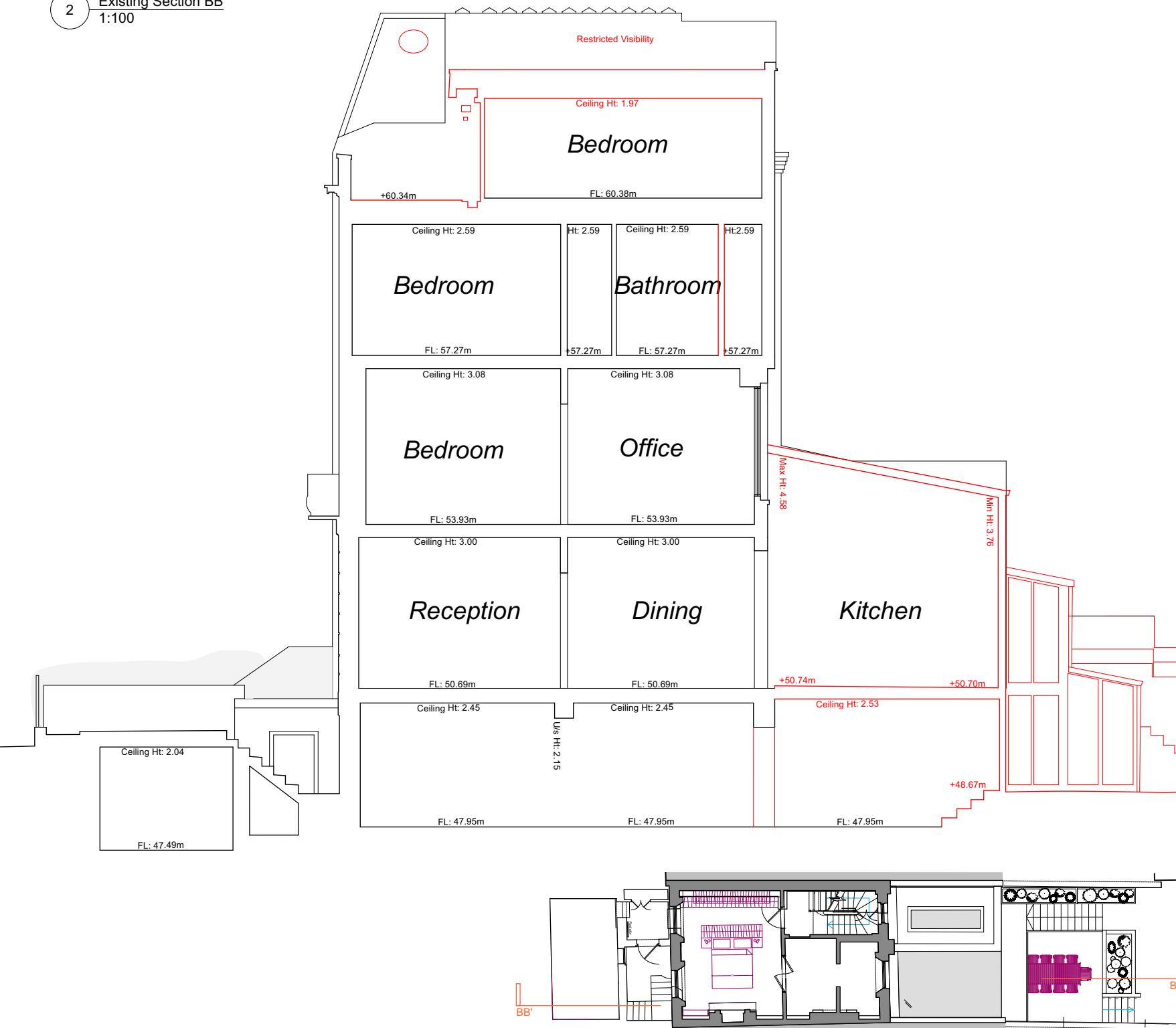
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REVISION NUMBER	DATE	BY	NOTES
P1	09/04/2020	OB	Issued to planning
P2	02/12/2020	OB	Section updated
P3	30/03/2022	RH	Issued to planning (variation of condition 3).
P4	22/04/2022	RH	Substitution for planning
P5	25/05/2022	RH	Revised information for planning

2 Existing Section BB
1:100



DEMOLITION

OUTLINE OF EXISTING BUILDING

0 1 5m

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Unit 1 Primrose Mews Sharpleshall Street London NW1 8YW

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PROJECT 72 Albert Street NW1 7NR

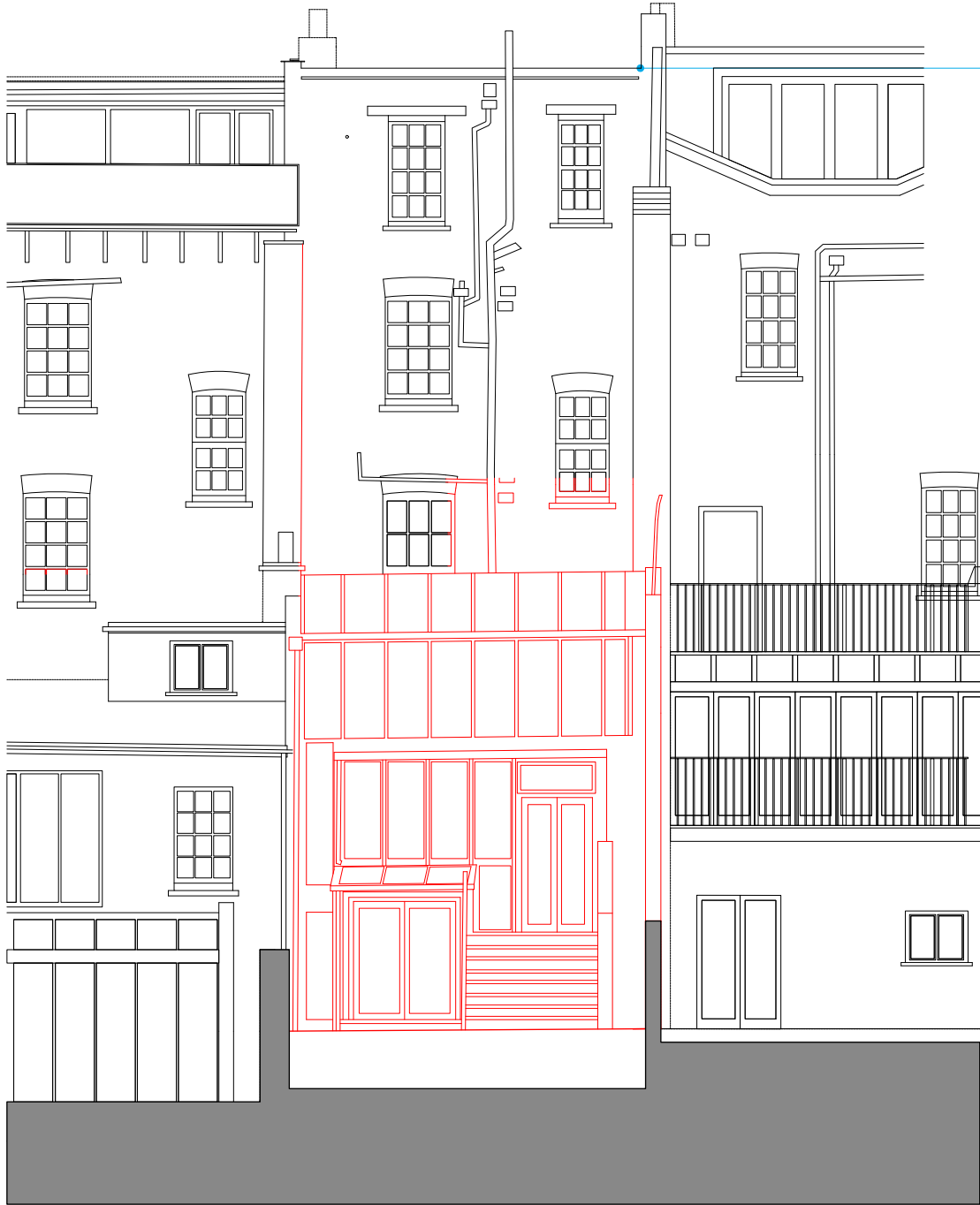
SHEET TITLE Existing & Proposed Section BB

SCALE 1:100

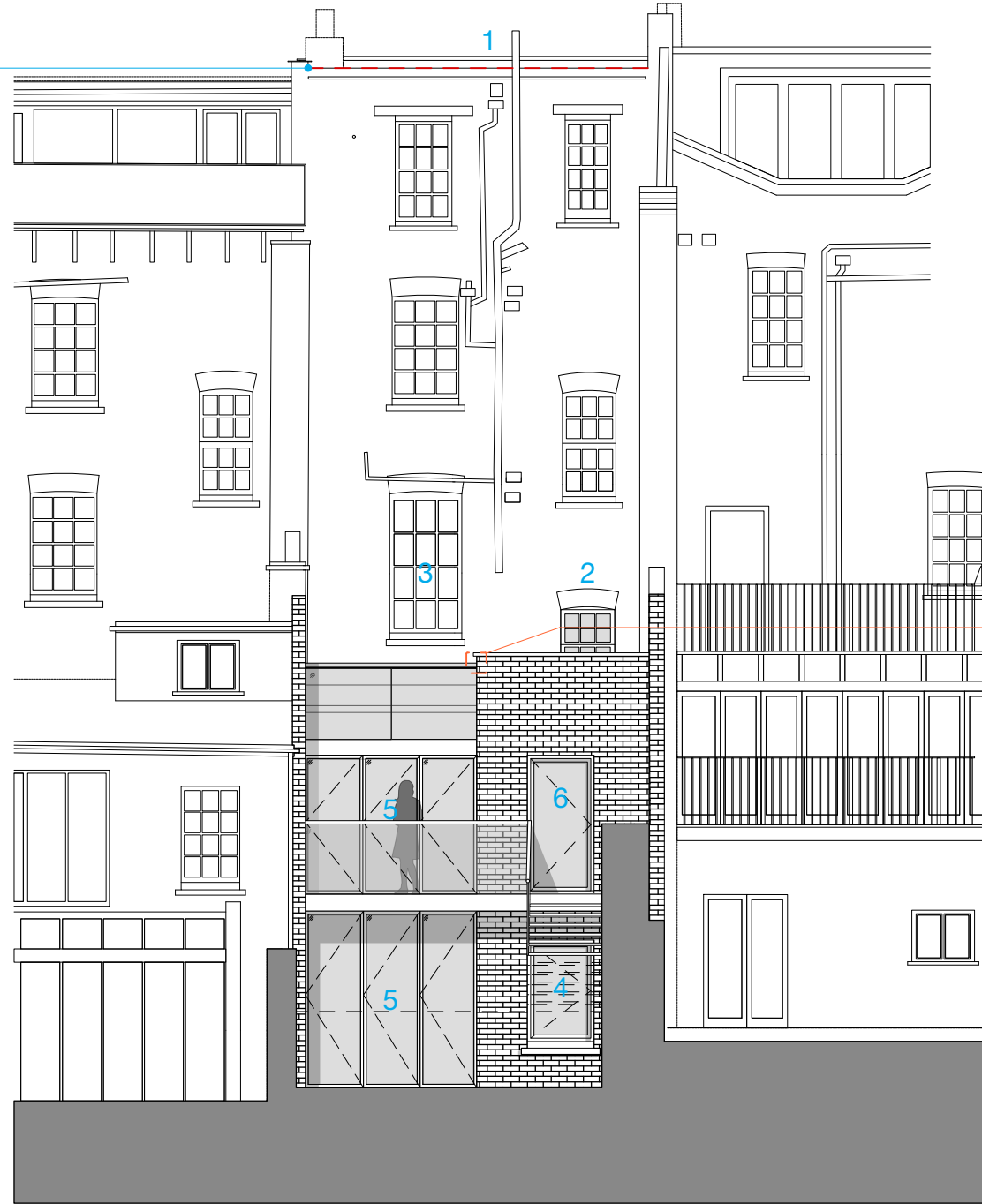
DATE CREATED FILE REFERENCE

DRAWING NUMBER 314-DWG-111

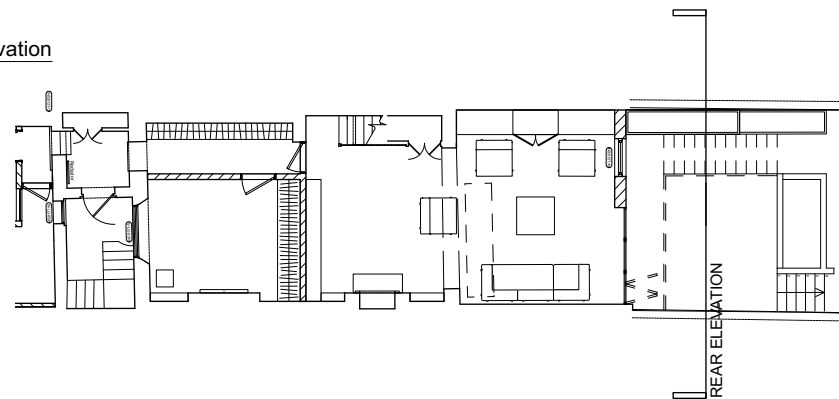
REVISION P5



1 Existing Rear Elevation
1:100



2 Proposed Rear Elevation
1:100



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REVISION NUMBER	DATE	BY	NOTES
P1	09/04/2020	OB	Issued to planning
P2	02/09/2020	OB	Vertical element added to facade
P3	24/11/2020	OB	Issued to planning
P4	22/03/2022	RH	Issued to planning (variation of condition 3).
P5	25/05/2022	RH	Revised information for planning

NOTES

1/ NEW ROOF RETAINING EXISTING PARAPET LEVEL

2/ REINSTATING WINDOW IN ORIGINAL POSITION (REPLACING EXISTING DOOR) WINDOW TO MATCH EXISTING SASH WINDOWS

3/ EXISTING WINDOW NOW FULLY EXPOSED

4/ NEW TIMBER CASEMENT WINDOWS

5/ ALUMINIUM FRAME BIFOLD DOORS

6/ GLAZED TIMBER CASEMENT DOOR

Glass to Brick Wall Detail
314-DWG-340

DEMOLITION

OUTLINE OF EXISTING BUILDING

0 1 5m

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CLIENT
Mrs Davidson & Mr Fealy

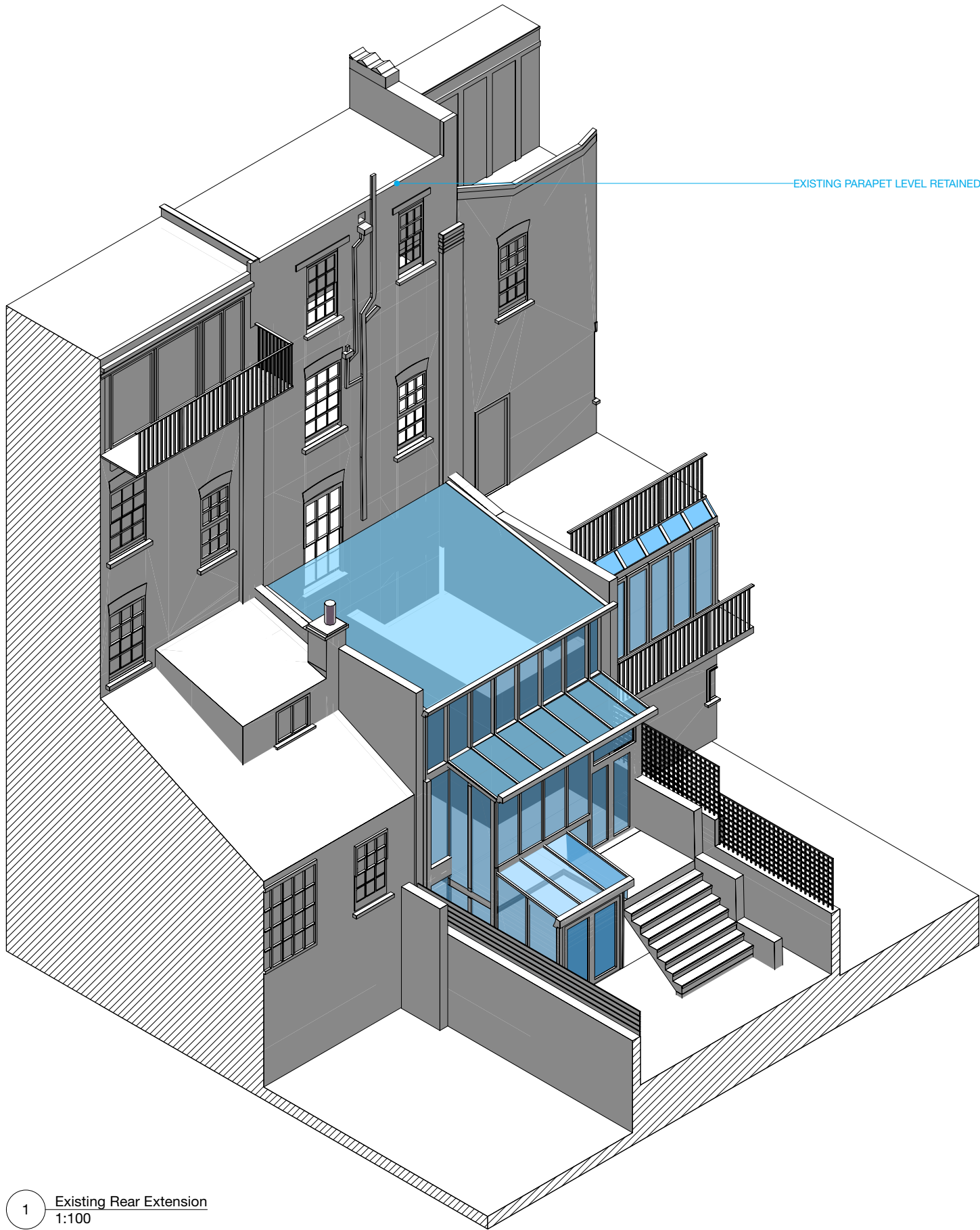
PROJECT
72 Albert Street
NW1 7NR

SHEET TITLE
Existing & Proposed Rear Elevation

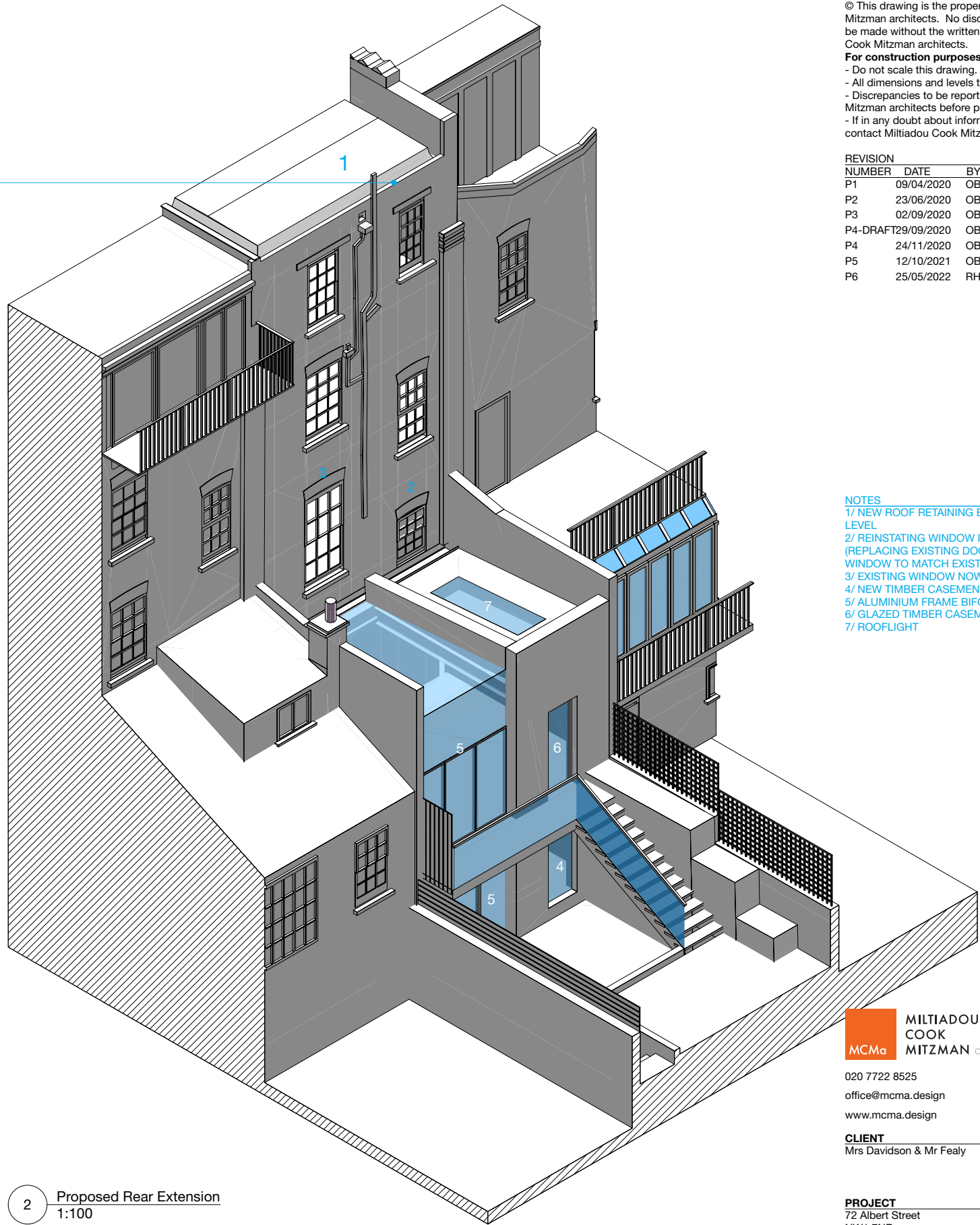
SCALE
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DATE CREATED **FILE REFERENCE**

DRAWING NUMBER	REVISION
314-DWG-121	P5



1 Existing Rear Extension
1:100



2 Proposed Rear Extension
1:100

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REVISION			
NUMBER	DATE	BY	NOTES
P1	09/04/2020	OB	Issued to planning
P2	23/06/2020	OB	Issued to planning
P3	02/09/2020	OB	Issued to planning
P4-DRAFT	29/09/2020	OB	[DRAFT]
P4	24/11/2020	OB	Issued to planning
P5	12/10/2021	OB	Issued to planning
P6	25/05/2022	RH	Revised information for planning

NOTES

1/ NEW ROOF RETAINING EXISTING PARAPET LEVEL

2/ REINSTATING WINDOW IN ORIGINAL POSITION (REPLACING EXISTING DOOR)

3/ EXISTING WINDOW NOW FULLY EXPOSED

4/ NEW TIMBER CASEMENT WINDOWS

5/ ALUMINIUM FRAME BIFOLD DOORS

6/ GLAZED TIMBER CASEMENT DOOR

7/ ROOFLIGHT

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CLIENT
Mrs Davidson & Mr Fealy

PROJECT
72 Albert Street
NW1 7NR

SHEET TITLE
Existing & Proposed Rear Extension
View (3D)

SCALE
N/A

DATE CREATED **FILE REFERENCE**

DRAWING NUMBER	REVISION
314-DWG-800	P6



Variation of Condition

Site Address	72 Albert Street, Camden Town, London, NW1 7NR
Subject	Householder & Listed Building Consent: Variation of Condition 3.
Application No	2021/5060/P (2021/5290/L)
Description	Erection of new roof, erection of replacement two-storey rear extension and associated external and internal alterations.
Revision	B

Introduction

This application is in relation to planning application 2021/5060/P, granted 2nd December 2021, which clarified drawing numbers for alterations and extensions at 72 Albert Street. It seeks permission for the variation of condition No 3 (the approved plans) listed within the Decision Notice.

This document should be read in conjunction with the amended proposed and existing drawings that have been submitted as part of this application.

Description

The points below provide a description and justification for the proposed amendments to the scheme:

Drawing No: 314-DWG-101 Existing & Proposed Lower Ground Floor Plan REV P5

- Reinstatement of original hearth and fireplace on the Lower Ground Floor, thus preserving and enhancing the architectural and historic character of this listed building.
- Minor removal of historic fabric to allow for an open-plan layout and enable modern family living. The adjustment will create a more generous space with plenty of natural light reaching further back into the library.

Drawing No: 314-DWG-102 Existing & Proposed Ground Floor Plan REV P7

- Bi-folding doors reinstated in existing original opening as an attempt to preserve the original layout while adapting to the needs of our clients.
- Reinstatement of original door opening according to the traditional Georgian layout.
- Balcony extended to full width of extension and staircase from ground floor level to the garden lawn. This will provide the property with better access from the ground floor to the garden similarly to the existing arrangement.
- Proposed window amended to a casement door providing access to the balcony.

Drawing No: 314-DWG-103 Existing & Proposed First Floor Plan REV P4

- Low level partition wall to prevent division of existing room and general reconfiguration of en-suite's layout to meet the requirements of a modern family.
- Existing door fixed closed, maintaining the original view from the hallway while adapting to the new en-suite's layout.

Drawing No: 314-DWG-104 Existing & Proposed Second Floor Plan REV P3

- Existing bathroom to be replaced with a bedroom and WC to be positioned within existing storage cupboard. The proposal maintains the original layout, managing to minimise the demolition and wet trade works while providing the floor with a WC. This will preserve the original layout and reduce noise pollution which will ensure better living conditions for all neighbouring occupiers.

Drawing No: 314-DWG-105 Existing & Proposed Third Floor Plan REV P3

- Proposed rooflight above stairwell, providing the hallway stairwell with more natural light and a general open-hearted feeling.
- Bathroom and bedroom to be kept in the original positions with family bathroom being enlarged.

Drawing No: 314-DWG-106 Existing & Proposed Roof Plan REV P3

- Proposed rooflight above stairwell.

Drawing No: 314-DWG-111 Existing & Proposed Section BB REV P5

- New roof protruding insignificantly over the existing one, while improving its functionality for modern living and achieving a habitable floor-to-ceiling height. Additionally, the set back from the rear parapet wall results in it being less visible from public views compared with the previously approved scheme. This more discreet and modest solution that respects the character and appearance of the area also provides the owners with an open terraced area to enjoy.

Drawing No: 314-DWG-120 Existing & Proposed Front Elevation REV P2

- New roof and bi-folding doors.

Drawing No: 314-DWG-121 Existing and Proposed Rear Elevation_P5

- Balcony extended to full width of extension and staircase from ground floor level to the garden lawn. This will provide the property with better access from the ground floor to the garden similarly to the existing arrangement.

314-DWG-800 Existing and Proposed Rear Extension View (3D)_P6

- To reflect the revised design changes, previously mentioned, which include the balcony being increased to the full width of the extension and a staircase from ground floor to the garden lawn. In addition to this, the proposed kitchen window will be replaced by a door providing means of access to the balcony. This circulation between the ground floor and garden is similar to the existing arrangement.

Drawing Nos. to remain as previously approved:

314-DWG-000-OS Map_P1

314-DWG-340-Glass to Brick Wall Detail_P1

314-DWG-341-Gutter to Glass Extension Detail_P1

314-DWG-342-Glass to Glass Extension Detail_P1

Conclusion

The overall design approach seeks to preserve and enhance the character and appearance of the Camden Town Conservation Area. In addition, it maintains the architectural and historic interest of this listed building.

The demolition work is limited to the minimum required, retaining the existing building fabric where possible. At the same time, the additional accommodation space makes practical use of the existing floor area, while minimising waste and pollution. This ensures good living conditions for both the owners and neighbours.

These changes are modest in their design and will be constructed of materials which are sympathetic to the context. As a result, the visual amenity of the host building and its immediate surroundings will not be harmed. Therefore, we feel that there are no planning terms that weigh against this revised proposal.