



The
Heritage
Practice

10 Bloomsbury Way, London WC1A 2SL
+44 (0)20 3871 2951
www.theheritagepractice.com
info@theheritagepractice.com

Heritage Appraisal Addendum
Nos. 1-3 & 5 Erskine Mews, London NW3 3AP

May 2022



1 Introduction

1.1 The following Heritage Appraisal Addendum has been prepared by The Heritage Practice in support of proposals for the alteration and extension of the existing mews buildings at nos.1-3 & 5 Erskine Mews, London NW3. This report should be read in conjunction with the drawings and Design and Access Statement prepared by 21st Century Architects and the Planning Statement prepared by SM Planning.

Revised Application

1.2 Lb Camden resolved to granted permission, subject to a s106 legal agreement for planning application 2021/2411/P for the *"Erection of single storey roof extension to five dwellings at 1-5 Erskine Mews to provide additional living accommodation"*

1.3 This application remains identical to the previously application, other than the fact that the roof extension to no.4 Erskine Mews has been omitted from the development.

1.4 The following addendum therefore considers the effects of the revised application scheme in light of these revisions on the character and appearance of the site and wider area.

1.5 This report should be read in conjunction with our previous heritage appraisal which is appended to this report at appendix i. The relevant historic environment policy context as it applies is set out in the previous heritage appraisal dated April 2021. There has been no change in policy following the submission or AIP of the previous scheme.

1.6 This report is divided into two main sections. The first (Section 2) considers the previous decision to resolve to grant planning permission, as well as current legislation. The second part of the report (Section 3) provides a brief description of the proposals and assesses them against significance and relevant historic

environment policy. The report will consider the principally consider the implications of building four of the five roof extension from a design and conservation perspective.

Designations

1.7 The site does not lie within a conservation area but is adjacent to Primrose Hill Conservation Area.

1.8 The four dwellings are not identified as locally listed.

1.9 The site is entirely concealed from public view positioned inside the parameter of Regents Park Road (to the east), Erskine Road (to the north) and Ainger Road (west) and Chamberlin Road (to the south) which surround the site.



2 Previous Application

2.1 The previous application (ref: 2021/2411/P) was considered through the London Borough of Camden's Development Management Members Briefing Panel channel.

2.2 The panel does not decide upon applications. Its role is to consider the nature and extent of the outstanding objections to an application. The Panel will then either:

- advise that they are satisfied with the proposed decision being made under delegated powers; or
- recommend that the decision is made by the Planning Committee instead

In this instance the panel advised that they are satisfied with the proposed decision being made under delegated power. Conditional approval was therefore resolved to be granted subject to the signing of a s106 agreement. A copy of the draft decision notice is shown in Appendix ii

2.3 The Member Briefing Delegated Report outlines the assessment of the previous scheme by officers. A copy of the Member Briefing Delegated Report is shown in Appendix iii

2.4 The report outlines officers support for the scheme from a design and conservation perspective finding

*"The roof extensions are split so each property has its own splayed roof extension, creating valleys between the extensions which allows views through. This helps to maintain and preserve the character of the mews"*¹

"Due to the gradual sloping design of the extensions, the proposed roof extensions would have the appearance of a modest height and would be seen as a subservient

*addition when viewed from neighbouring properties along Erskine Road and Ainger Road."*²

*"the proposed height is acceptable in this instance."*³

*"The outer walls of the roof extension would angle inwards so that the height of the extension would be reduced adjacent to the 'valley' cut through, reducing the overall mass of the extensions."*⁴

2.5 The overall conclusion of the Design and Conservation section of the report was that

"Overall, the design, scale, siting and materials of all parts of the development would be sympathetic to the character and appearance of the host property and adjacent conservation area, and the proposed development, by virtue of the appropriate materials and sympathetic scale and contemporary design, would preserve and enhance the character and appearance of the host dwellings and adjacent conservation area in accordance with policies D1 and D2 of the Camden Local Plan."

¹ Paragraph 4.2 of the Member Briefing Delegated Report for planning application 2021/2411/P

² Paragraph 4.2 of the Member Briefing Delegated Report for planning application 2021/2411/P

³ Paragraph 4.3 of the Member Briefing Delegated Report for planning application 2021/2411/P

⁴ Paragraph 4.2 of the Member Briefing Delegated Report for planning application 2021/2411/P



3.0 Assessment

3.1 The main issue to consider in this report is the impact of the revised design of the character and appearance of area compared with the previous scheme.

Public Views

3.2 As set out above, the site is not visible from public vantage point with only narrow, glimpsed view to the front of the mews visible from the gated entrance on Erskine Road (figure 1). Aigner Mews, to the south west of the site, is also a private with gated access preventing views of the site.

3.3 As such the revised scheme would result in no change to the visual appearance of the site from public view points.



Figure 1: Glimpsed view of the entrance of the mews from Erskine Road

Views from within Erskine mews

3.4 Nos.1-5 Erskine Mews is a group of two storey buildings clustered together in the centre of the mews providing private amenity space for each dwelling at the rear of the properties against the tall boundary walls. This has narrowed the gap between each terrace creating a densely grouped set of building which prevents long or medium range views through the site (figure 2 & 3).



Figure 2: View looking south of Erskine Mews house no. 5 (front) and no.2 (left). The image shows how the original design sought to emulate the traditional London Mews design on a contemporary style.

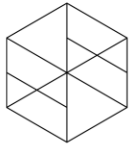


Figure 3: View looking south in Erskine Mews between house no. 5 (right) and no.2 (left). House no.4 and no.3 are at the end of the passageway.

3.5 Figures 2 & 3 show that it is not possible to view the roof of house no.4 (excluded from this scheme), because it is furthest away from the mews entrance.

3.6 Given the narrowness of the passage between the buildings and position of no. 4 at the rear of the mews it would not be possible to view the approved roof extension from any vantage point in the mews.

3.7 Therefore the exclusion of the roof extension to no.4 Erskine mews in this revised application would have no material impact on the character and appearance of the Erskine Mews from within the mews. This would



preserve the character and appearance of mews.

Private views

3.8 Only private views of the development will change compared with the previous scheme.

3.9 The views of the site from neighbouring properties is covered in detail in section 4.10.0 of the Design and Access Statement for both schemes. The impact of the each view is assessed below. Our conclusion is that there would be no more than a moderate neutral change to the wide ranging private views identified in the design statements. None of the change in views would result in harm to the character and appearance of the area or existing mews buildings.

3.10 The views shows that there is only a very marginal change in the visual appearance of the scheme compared with the scheme recommended for approval.

3.11 The tight knit nature of the existing development, coupled with the fact that 80% of the mews roof extensions would be developed, preserves the unity and consistency of the site.

3.12 The orientation and close proximity of the existing buildings would prevent No. 4 appearing isolated or separated as part of the new scheme. The existing Erskine mews building – unlike linear terraced housing or traditional terrace mews – would not result in the mews having the appearance of a ‘missing tooth’ if developed without no. 4.

3.13 A substantial majority of the roofline would be developed. The proposed scheme would continue to engender consistency and uniformity and we see no material reason why the scheme could not be supported in this instance.

3.14 The Home Improvements CPG (January 2021) is clear is that LB Camden a ‘more flexible approach⁵’ to roof extensions compared with their previous roof extension guidance (Design CPG adopted July 2015), with specific regard to ‘restricting development at roof level on any unbroken roofline’⁶

3.15 The guidance states that greater flexibility will be given inside and outside of conservation areas and taking into account permitted development – which has recently been relaxed for upward extensions for building which are built between 1948-2018 as in this instance.

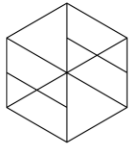
3.16 The guidance goes on to confirm that ‘not every unbroken roofline is of heritage value and therefore it not worthy of preservation.’ This is considered to one such case - where the current existence of an unbroken roofline – does not require simultaneous upward extension to retain an unbroken appearance at roof level.

3.17 The site is outside of a conservation area and it not locally listed. The site is not identified of architectural value and in our view, individual houses within the mews would qualify for roof extensions independently of each other based on the guidance outlined in the *Home Improvements CPG*.

3.18 Nevertheless as demonstrated below the proposed scheme is not considered to cause harm to the character and appearance of the mews or wider area compared with the previous scheme.

⁵ Page 45 of the Home Improvement CPG

⁶ Page 45 of the Home Improvement CPG



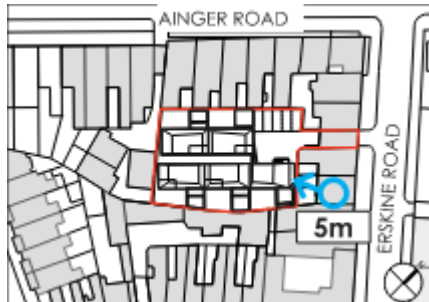
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View from 2 Erskine Road's 2nd floor window to 1 Erskine Mew's window



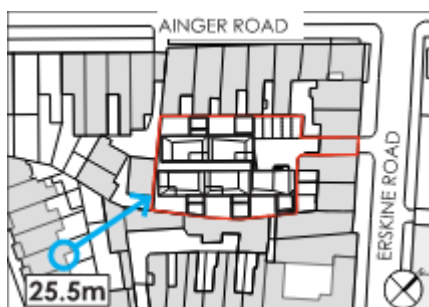
Previous scheme

*There is **no change** to the visual appearance of the roof extension from this view.*



Proposed scheme

View from 13 Chamberlain Street's 2nd floor window to 3 Erskine Mew's window

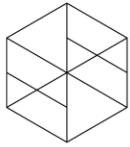


Previous scheme

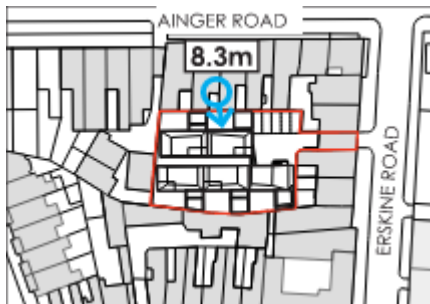
*There is a **minor neutral** change to the visual appearance of the roof extension from this view. The existing building at No.4 Erskine Mews is obscured from this view and as such there would be no meaningful change to the consistency or uniformity of the mews.*



Proposed scheme



View from 6 Ainger Road's 3rd floor window to 5 Erskine Mew's window



There is a **moderate neutral** change from this view point. The view would reduce the bulk of development but would not isolate or undermine the uniformity of the scheme as a whole. There would be no undermining of the architectural style of the mews properties or adverse effect on the skyline.

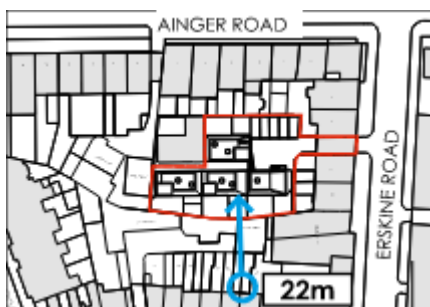


Previous scheme

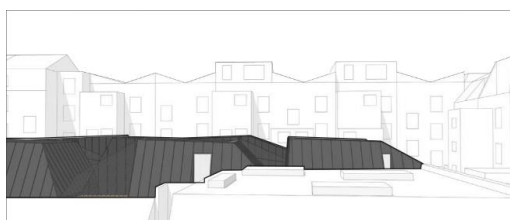


Proposed scheme

View from 87 Regent's Park Rd's 2nd floor window to 2 Erskine Mew's window



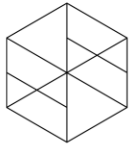
There is a **minor positive** change to this view. The exclusion of the roof extension to no.4 would better define the angled valley gutters between the retained extensions allow views through.



Previous scheme



Proposed scheme



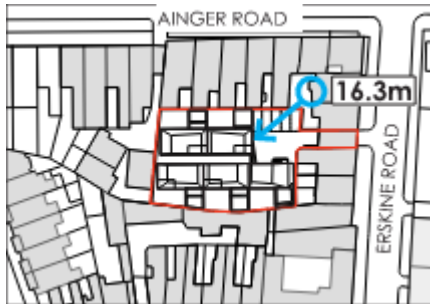
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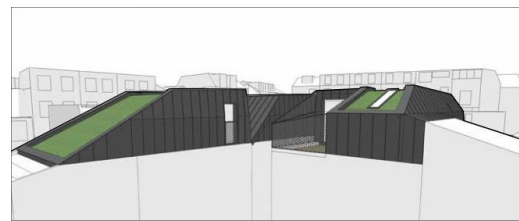
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View from 4 Erskine Road's 2nd floor
window to 5 Erskine Mew's window



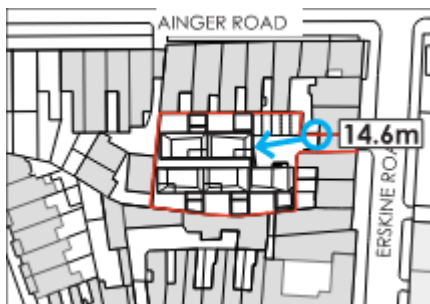
Previous scheme

*There is no material change to the visual
appearance of the roof extension from this view.*



Proposed scheme

View from 2 Erskine Road's 2nd floor
window to 5 Erskine Mew's window



Previous scheme

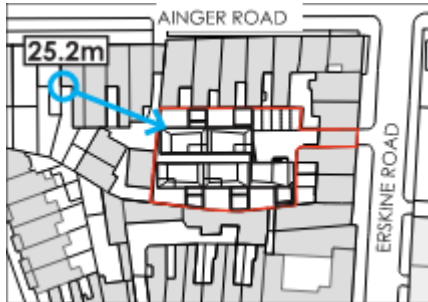
*There is no material change to the visual
appearance of the roof extension from this view.*



Proposed scheme



View from 12 Ainger Road's 2nd floor window to 4 Erskine Mew's window



Previous scheme

There is a **moderate neutral** change from this view point. The existing architectural style of the current 1960s dwellings would not be undermined or prevent no.4 from been completed in the future. No. 4 would not appear separated due to the close knit nature of the existing development and the majority of the site would continue to be developed in unity.



Proposed scheme

View from 75 Regent's Park Road's 2nd floor window to 3 Erskine Mew's window



Previous scheme

There would be a **minor neutral** change to the visual appearance of the roof mews from this views. The change in appearance would not disrupt the roofline or undermine the character or visual appearance of the existing mews buildings.



Proposed scheme



Conclusion

4.1 This Heritage Appraisal has been produced to accompany proposals for the extension of nos 1-3 & 5 Erskine Mews. Its significance has been appraised in the main heritage appraisal appended to this document.

4.2 Lb Camden resolved to granted permission, subject to a s106 legal agreement for planning application 2021/2411/P for the *"Erection of single storey roof extension to five dwellings at 1-5 Erskine Mews to provide additional living accommodation"*

4.3 This application remains identical to the previously application, other than the fact that the roof extension to no.4 Erskine Mews has been omitted from the development.

4.4 This assessment has been used to inform the revised design compared. The assessment has not identified harm through the loss of the roof extension to house no.4.

4.5 The development would result in no change to external appearance of the mews from public views points. The proposed development would result in no change to the visual appearance from within the mews or from public vantage points within the surrounding conservation areas.

4.6 All the private view points assessed identify only moderate change in the visual appearance and character of the development. None of these result in harm to the character or appearance of the mews.

4.7 Due to the close grouping of the existing dwellings the proposal would preserve the unity and consistency of the site. This would prevent No. 4 appearing isolated or separated as part of the new scheme. The existing Erskine mews building – unlike linear terraced housing or traditional terrace mews – would not result in the mews having the appearance of a 'missing tooth'

4.8 The mews is outside of a conservation area, its dwelling date from the 1960s and are identified as being of architectural merit. Proposal is considered to comply with the LB Camden guidance which states that not every unbroken roofline is of heritage value and therefore it not worthy of preservation. The guidance sanctions greater flexibility for extending building of this type.



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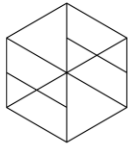
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Appendix i

Heritage Appraisal dated April 2021

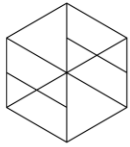


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April 2021





1 Introduction

1.1 The following Heritage Appraisal has been prepared by The Heritage Practice in support of proposals for the alteration and extension of the existing mews buildings at nos. 1-5 Erskine Mews, London NW3. This report should be read in conjunction with the drawings and Design and Access Statement prepared by 21st Century Architects and the Planning Statement prepared by SM Planning.

1.2 Erskine Mews comprises 5, two storey dwellings constructed in the late 1960's/ early 1970s. The mews is entirely concealed from public view, accessed via a gated vehicular archway beneath no. 2 Erskine Road. The scheme proposes single storey roof extensions to all of the dwellings in the mews.

Research and report structure

1.3 The purpose of this report is to set out the historic development and significance of nos. 1-5 Erskine Mews (hereby known as the site) and to assess the proposed scheme against that significance and relevant historic environment policy and guidance.

1.4 **The site does not lie within a conservation area** but is adjacent to Primrose Hill Conservation Area. The five dwellings are **not identified as locally listed**.

1.5 Desk-based and archival research has been combined with a visual assessment and appraisal of the existing building and its context.

1.6 This appraisal is divided into two main sections. The first (Section 2) describes the site and its historic development and significance. This section of the report focuses particularly on the character and appearance of the 'mews' as a building typology. The second part of the report (Section 3) provides a brief description of the proposals and assesses them against significance and relevant historic environment policy. The report will consider the form, height, and scale of the buildings within Erskine Mews

and how collectively these, and the proposed site, contribute to a cohesive and balanced townscape.

Designations

1.7 As noted above, nos. 1-5 Erskine Road does not form part of a conservation area. Primrose Hill conservation area borders the site to the north and east (figure 1).

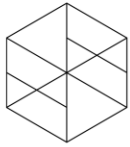
1.8 The Primrose Hill Conservation Area was designated on 1st October 1971 and extended to include the north part of Erskine Road on the 18th of June 1985. The designation report notes that the character of the area "is made up of a series of well laid out Victorian terraces. It is residential in character, although there are a number of local industries, and it has its own shopping centres, a primary school and, because of the vicinity of Primrose Hill, is extremely well provided with open space".

1.9 The adopted Conservation Area Statement published in 2001 (CAS), divides the area into four sub-areas entitled:

1. Regent's Park Road South;
2. Central Area
3. Regent's Park Road North
4. Gloucester Crescent

1.10 Sub area three (Regent's Park Road North) adjoins the site. This sub area is located to the north of the Conservation Area. The southern part of the area slopes steeply from east to west, towards Primrose Hill. The north boundary is defined by the railway line and the west boundary follows the former St. Pancras Borough boundary.

1.11 The area is dominated by Regent's Park Road which is the principal road that curves along its entire length. The CAS describes 'numerous secondary roads radiate from Regent's Park Road and enclose relatively small and irregularly shaped blocks with central mews developments.'



1.12 This pattern of development is prevalent throughout the conservation area, with primary roads, containing three and five storey Victorian terraced housing forming perimeter blocks around smaller scale, secondary and often ancillary buildings.

1.13 Commentary of Sub area 3 on page 20 of the CAS goes on to say 'within the centre of the small blocks are a number of single access mews developments. These mews are similar in character to those within Sub Area 2, the Central Area.' This mews character is discussed in more detail section 2.



Fig. 1 Heritage asset map

1.14 The site forms part of a relatively densely packed series of mews developments inside of the parameter surrounded by Regent's Park Road (to the east), Erskine Road (to the north) and Ainger Road (west) and Chamberlin Road (to the south)

Regent's Park Road

1.15 The site is overlooked from the east by the terrace group at nos. 77-87 (odd) Regent's Park Road. The terrace is three storeys with mansard roofs. The ground floor is primarily commercial containing shopfronts.

Mayfair Mews

1.16 Regent's Park Road is separated from the site by Mayfair Mews. This narrow mews backs onto the site and contains two and three storey buildings.

Erskine Road

1.17 There are several short roads that run north of Regent's Park Road. This includes Erskine Road which provides a link across the old St. Pancras Borough Boundary to Ainger Road.

1.18 The south side of the street adjoins the site and comprises mid 19th century terrace of four storey buildings with rusticated ground floors. All of the terrace has mansard roof additions making them five stories tall. Some properties are in commercial uses with the addition of later shopfronts. Access is provided to Erskine Mews, via an archway in the terrace.

Ainger Road

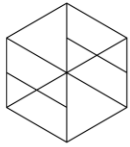
1.19 Ainger Road bounds the site to the west. The road is outside of a conservation area but the terrace at nos. 1-7 and nos.8-29 are identified by LB Camden as locally listed (non-designated heritage assets). Nos.1-7, which adjoins the site, are four stories in height with half containing roof additional roof extensions.

Ainger Mews

1.20 The site is bound to the south by Ainger Mews. This is a small rear courtyard accessed via an archway beneath no. 8 Ainger Road. The mews is also outside of the conservation area and comprises 3 modern two storey buildings.

Chamberlin Street

1.21 There are two groups of listed buildings within the site's wider context located either each side of Chamberlin Street which is the southern perimeter block of the site. The



terraces was grade II listed in 1999 and is three storeys high with raised ground floors and basements with lightwells surrounded by decorative railings. Almost all the properties have roof alterations in the form of large box back mansard extensions.

1.22 For reasons identified below, the scheme is not considered to harm the setting of nearby listed buildings.

1.23 The following section provides an account of the site's historic development.

2 Site and context

2.1 The following section provides a brief description of the site and its context and sets out a summarised historic development of the site.

Historic development

2.2 The site was originally constructed as typical mews in the mid 19th century. The site first appears on the 1850 OS Map (figure 2) which shows the completion of Regent's Park Road with the roads to the west south still under construction.

2.3 The built development of the area is complete by the 1890 OS Map (figure 3) which clearly shows the layout of the mews. The mews was originally constructed as 10 terrace buildings of varying width, 5 on either side of a central courtyard.

2.4 The 1901 GOAD plan (figure 4) describes the original mews in detail. Nos.2-9 were 'stables with dwellings over.' Nos.1 and 10 are described as firewood store at ground level with dwelling at first floor level. This confirms the appearance of the former mews was typical London Mews with stabling at ground level and accommodation above.

2.5 The scale of the former dwellings on the site are also indicated by the numbers and letters assigned to each property on the GOAD plan. The number '2' tells us the buildings were two stories high (consistent with the description). The letter 'o' indicates the buildings would have had a slate roof. These would have been pitched roofs.

2.6 The buildings which surround the mews on Erskine Road and Ainger Road were four storeys high with slate roof and two storey outriggers. These terraced houses are now contain mansard roof and are five stories high.



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Figure 2: 1841-52 OS Map



Figure 4: 190 GOAD Plan.
The number '2' indicates the number of stories
The letter 'O' - indicates slate roof



Figure 3: 1890 OS Map

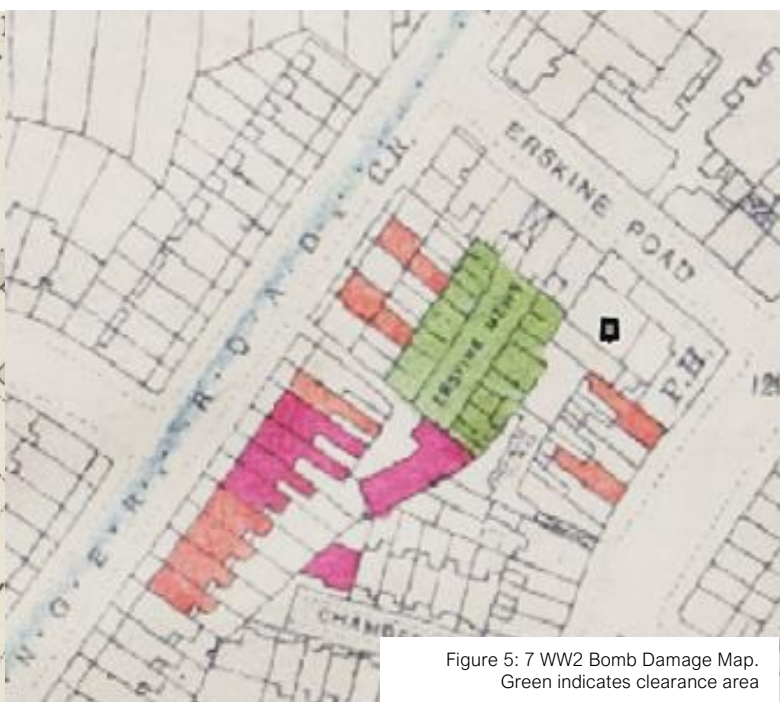


Figure 5: 7 WW2 Bomb Damage Map.
Green indicates clearance area



2.7 The former buildings on the site were set against the east and west boundary walls compared with the current arrangement which are set in the centre of plan with amenity space to the edges.

Post War

2.8 The site appears to be already earmarked for clearance in the bomb damage maps from WW2. This may have been due to the poor quality of the buildings or slum clearance (figure 5)

2.9 The site was not redeveloped until the late 1960s when the current dwellings were constructed.

Site Description

2.10 Today nos. 1-5 Erskine Mews is a group of two storey buildings clustered together in the centre of the mews providing private amenity space for each dwelling at the rear of the properties against the tall boundary walls. This has narrowed the gap between each terrace but has also pushed the dwellings away from the buildings which surround the site.

2.11 The site is not visible from public vantage point with only narrow, glimpsed view to the front of the mews visible from the gated entrance on Erskine Road (figure 6).

2.12 The dwellings currently has a flat roofs. The mews dwellings are constructed in a stretcher-bonded reclaimed stock brick with blue engineering brick strong course above the ground floor windows, distinguishing the bressummers and facing brickwork of the former mews buildings which previously occupied the site.

2.13 The windows are stained timber in a horizontal format but with matching stained timber boarding above the first-floor windows, which extends to the underside of the parapet coping. This gives the aperture a more vertical emphasis. Together with facing brickwork and

string course detail this assigns the group some of the key characteristics of traditional London mews properties providing a contemporary interpretation of the former mews on the site (figure 7).



Figure 6: Glimpsed view of the entrance of the mews from Erskine Road



Figure 7: View looking south of Erskine Mews house no. 5 (front) and no.2 (left). The image shows how the original design sought to emulate the traditional London Mews design on a contemporary style.

Significance

2.14 As a comparatively modern set of buildings outside of a conservation area, the existing group has little embodied historic value despite the history of the site and the nature and interest of earlier buildings on the site. It does however reflect the decline of London's inner-city areas in the later 20th century and efforts made by Councils to rejuvenate areas characterised by dereliction and redundancy of historic buildings.



2.15 The group was built in brick to match the former mews properties and the facing brick link it with historic neighbours. The window and brick detailing, albeit of its time, has sought to reference the key characteristic of the former mews buildings in a stylised and contemporary manner.

2.16 The site is located very discretely between the residential terrace properties on the main roads. The dwellings are clustered around the small enclosed courtyard, accessed from the original gated archways.

2.17 The mews is hidden from public view, therefore allowing the residential terraces to dominate the townscape. The mews is largely seen from above in private views from the upper floor windows of neighbouring properties. Some of these views are from within the conservation area looking out. The views afford a conspicuous mass of flat roof which fails to provide the traditional, more finely grained perspective, appearance and shadow than would be provided from a more traditional pitched roofs.

2.18 The buildings are not considered to be a non-designated heritage asset and do not meet Camden's criteria as locally listed buildings. The mews properties have been brought inward to provide private amenity at the rear of each house. This has narrowed the central courtyard between each terrace group, creating a cramped internal relationship. However, they display materials and architectural expression and scale in common with many other mews buildings across the area and within Primrose Hill Conservation Area.

2.19 Its contribution to the setting of the Primrose Hill Conservation Area is neutral with the buildings forming a restrained and complementary backdrop to its more historic context.

The London Mews

2.20 This section sets out a clear understanding of the value of the mews building and considers the form and scale of the former mews buildings on the site prior to their replacement in the mid 20th century.

2.21 The first mews were built in the 17th and 18th centuries as stabling yards serving the principal terraces and squares of the Georgian City. The tradition of building mews continued throughout the 19th century, but over the last 75 years their function has changed. As households dwindled in size and carriages were replaced with motor cars, accommodation for grooms and coachmen was no longer needed and mews buildings became separate properties from the houses they originally served. Today, although some are still used for garaging, most have been converted into residential use and provide an important reservoir of small-scale houses.

2.22 The London Mews is a building typology with a typical set of characteristics which give a mews its distinct character and appearance. This includes:

- Contrast in Scale

The original 'secondary' importance of mews (in comparison to the main streets and the main buildings which they used to serve), is reflected not only in the smaller size, but also in the smaller scale of these service streets and buildings.

- Enclosure

When mews were purely service streets, effort were made to isolate them visually from main streets. An entrance through a narrow alleyway on the ground floor of a large terrace in the main street was a common type of access to mews in the early/mid 19th century and before.



- Architectural Details & Materials

Generous ground floors with timber coach-doors below timber bressummers to span the wide openings typify a mew building. Smaller domestic windows would be present on the upper floors often with split-level winch-doors, are some of the most characteristic features of mews buildings. Mews are typically stock brick or painted brickwork with cast iron vents, gutters and wrought iron hinges and foot scrappers.

Typically, a mews would have a pitched roof clad in traditional roofing material such as slate or lead. The roof would have included partywall upstands and chimneys

- Landscape

Mews always have direct access to the carriageway to allow easy access for vehicles and animals. The paving would have typically been hard wearing granite setts.

The Original Erskine Mews

2.23 While a good deal of information has been forthcoming through this historic research it is the case, as with most historic buildings, that it is not possible to provide a truly comprehensive account of the original mews development at the site. In addition, the research and analysis set out in this report is restricted by the type and number of archival resources available during the current COVID pandemic.

2.24 Nevertheless, archival research has been combined with similar mews precedents to give a clearer idea of the sites original form and scale.

2.25 Erskine mews is currently two storeys with a flat roof. Each of the 5 dwellings has consistent floor to ceiling heights of 2.5m for both ground and first floors.

2.26 The original mews buildings would have had a greater floor to ceiling height at ground floor level to allow for carriages or stabling (The GOAD plan of 1901 confirms the buildings had stabling at ground floor with dwellings above). This could have extended to roughly 3m.

2.27 We also know that the original mews buildings had a slate roof (refer to the GOAD plan). This would have meant the roof would have been pitched (refer to Appendix B).

2.28 Baynes Mews, in Belsize Village, is a remarkably similar precedent. It was built around the same time, has broadly the same area and sense of enclosure, as well as position secondary to a principal shopping thoroughfare (Belsize Lane). Baynes Mews retains its original mews buildings. The buildings within Baynes Mews are two storeys plus pitched roof (figure 8). The buildings have a slate clad roof pitched at 35degrees.

2.29 The depth of the current Erskine mews properties match that of the original mews buildings on the site, which is a typical depth for single room deep mews property. However, they have been brought inward to provide private amenity at the rear of each house when redeveloped. This has narrowed the gap between each group but has also pushed the dwellings away from the buildings which surround the site.

2.30 The former mews building on the site were located tight against the rear boundary wall of the mews closer in proximity to the neighbouring dwellings.

2.31 The depth of the rear gardens of principal street frontage properties which enclose the site are relatively consistent for the area and by no means closer than other mews sites or typical central London proximities between developments.



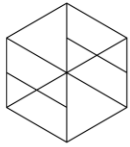
The
Heritage
Practice

10 Bloomsbury Way, London WC1A 2SL
+44 (0)20 3871 2951
www.theheritagepractice.com
info@theheritagepractice.com

Heritage Appraisal
Nos. 1-5 Erskine Mews, London NW3 3AP
April 2021



Figure 8: Elevation and section of Baynes Mews building. We would have expected the original mews buildings at the site to have looked very similar to this.



3 Assessment of the proposed scheme

3.1 The following section provides a brief overview of the proposed scheme and assesses the effects of the proposal. The main issue to consider is the impact the scheme would have on the character and appearance of the mews and the setting of the Primrose Hill Conservation Area. This section should be read with the accompanying Design and Access Statement which provides more detail on the proposed scheme.

3.2 Importantly the proposed roof extension will only be seen in private views from neighbouring properties. There is no public views of the site and no views of the proposals from the entrance of the mews on Erskine Road.

3.3 The affect, therefore on the setting of the adjoining conservation area and character and appearance of the immediate area more generally is extremely limited.

Outline of the proposed scheme

3.4 The proposals seek to extend the existing buildings within the mews to provide single storey roof extensions to each mews property

3.5 The extensions will provide an additional bedroom and bathroom to each house. The internal alterations will have no bearing on the character and appearance of the conservation area and this appraisal does not consider such details any further. The focus of the following section is on the effect of the proposed roof extension.

3.6 The proposed roof extensions (figure 9) have been designed in the form of stylised pitched roofs. The roofs have been sculpted and massed to limit the impact on the surrounding properties and create high-quality contemporary residential accommodation. The windows would be flush or inset from the roof.

3.5 The proposed roof extensions would be clad in standing seam zinc and incorporate green roofs (figure 10). The windows would be aluminium with matching perforated metal facade enclosing the balconies. No other external changes are proposed to either the front or rear elevations.

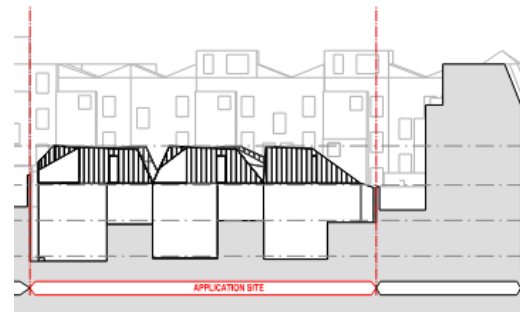


Figure 9: Proposed roof extension

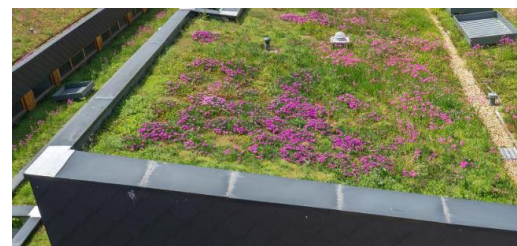
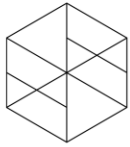


Figure 10: Standing seam zinc and green roof. Proposed materials for the roof extension.



Assessment of the proposals

3.7 The existing buildings at nos. 1-5 Erskine Road are neutral contributors to the character and appearance of the area generally. They are discreet, low level cluster of dwellings largely hidden from view. The site is small scale and has an intimate mews character. The dwellings retain the same qualities of traditional mews buildings.

3.8 The principal elevations are articulated and composed in such a way as to reflect the architectural traditions of a typical London mews but in a contemporary manner having regard for their age and use as dwellings. The facades have a recessive, neutral quality.

3.9 However, the buildings are clustered closely together and lack termination. They are largely seen from above, from windows in the rear facades of adjoining buildings, where the conspicuous flat roofs fail to provide the more finely grained perspective, appearance and shadow that would be expected of a roofscape.

Form

3.10 The proposed roof extensions would read as an appropriate addition to a mews building. Mews buildings typically have pitched roofs. The original buildings on the site had pitched roofs. The existing dwellings are contemporary interpretation of the traditional buildings which would have originally occupied the mews. The proposed alterations would be architecturally sympathetic to the age and character of the building in line with Camden guidance.

3.11 The roof pitched would be asymmetrical and faceted to break down the form and distinguish each dwelling. This will also aid views through and between the roofs. Creating individual roof forms in this way would distinguish each building and help separate the closely knit cluster.

3.13 The scheme is in line with Camden January 2021 supplementary planning guidance which seeks innovative approach to the roof design which is supported by pre-application advice.

3.14 Lb Camden pre-application letter dated 2nd March 2021 confirms, "the massing of the roof extensions is split so that each property would have its own splayed roof extension. The splitting of the massing with 'valleys' between the extensions would allow views through, thus helping to maintain the open character of the mews...The massing would be further reduced by angling the outer walls of the roof extensions inwards and angling the roof so that the height of the extension is reduced adjacent to the 'valley' cut through. All of these design devices would help to reduce the massing and would assist in maintaining the subservience of the extended Erskine Mews properties in relation to the perimeter buildings."

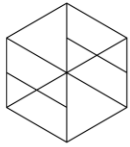
Balconies

3.15 The balconies complement the form and treatment of the proposed roof. The window and balconies are flush or inset so as not to break the form of the roof and reduce the impact on the elevation

3.16 They are screened further reducing the presence and prominence and finished in materials and colour to match the existing elevations. This accords with guidance in paragraph 5.17 of the supplementary planning guidance for home improvements (published January 2021)

Materials

3.17 The proposed pitched finely grained cladding would feel more appropriate than the existing mass of flat roofs. This would relate to the host dwellings and continue the design approach, but retain an appropriately contemporary feel, providing modern pitched



roofs of varying steepness, clad in traditional standing seam roofing materials.

3.18 The green roof would provide a distinctly contemporary and highly sustainable approach to the roofs which would vastly improve the impression of the site from neighbouring properties and help soften, enliven and add interest and biodiversity to the existing roofs.

Harmony

3.19 Camden supplementary planning guidance encourages "comprehensive design for the whole group" where a group of buildings are originally designed as a complete composition.

3.20 The proposed design takes this approach and considered the site as a whole, resulting in unity and cohesion which better preserves the existing appearance of the area.

Contrast in Scale

3.21 Nos. 1-5 Erskine Road are something of a recessive townscape element and, as with most planning application, consideration needs to be given to disturbing the existing balance and to maintain the subservient relationship between the mews and the principal terraces which surround it.

3.22 The proposed extension would not upset the local townscape balance. The new roofs would remain subordinate to the host dwellings and the adjoining terraces. They have been designed to have the minimum necessary height. The proposed roofs slopes away from boundary walls forming a further recessive feature in the roofscape and have been split for form valleys between each roof element.

3.23 The proposal is not visible in the streetscene. The proposal roofs would not give no undue prominence to the buildings when



Utopia village	2 & 3 storeys plus roof
Chalcot Road	3 storeys plus 1
Gloucester Avenue	3 storeys plus 1

Figure 11: Utopia Village example taken from Appendix B to indicate change in scale between mews and main buildings

viewed from the neighbouring buildings and would allow them to continue to have a neutral role within the area and setting of the Primrose Hill Conservation Area.

3.24 In this case, the proposed increase in height of the building is entirely contextually appropriate. The overall proposed height of the mews buildings would remain subordinate to the principal frontage buildings.

3.25 The proposed contrast in scale between the mews and the principal frontage building on Regents Park Road, Erskine Road and Ainger Road would be consistent with the comparable contrast in height seen in other mews developments in the area.

3.26 The study set out in Appendix B show some typical Camden mews properties. All the mews examples are in the north part of the borough. The examples typify the general character of a London mews as set out above. The mews are typically 2 storeys in height with pitched roofs. Many of the mews have original or later habitable 2nd floor accommodation in the form of attic conversions or roof extensions.

3.27 The information below each pictures outlines the scale of each mews example compared with the scale of the principal frontage building which it would have originally served.



3.28 For example: Utopia Village in the Primrose Hill Conservation Area is a 2 & 3 storey mews with pitched roofs. The mews original served the houses on Chalcot Square and Gloucester Avenue which are 4 storeys in height (3 plus mansard roofs). This gives a contrast in scale of +1 & 2 storey between the mews and main building (figure 11).

3.29 The examples indicate that the mews are typically 1 storey below the height of the principal buildings, although this can vary between 0 and +2 storeys heights difference.

3.30 Erskine mews currently has a three storey difference in height between Erskine Road and Ainger Road. The proposal would result in a two storey difference in height between the principal frontage buildings. This is well within the typical contrast in height found between mews and principal frontage buildings in the area.

Original Mews Roofs

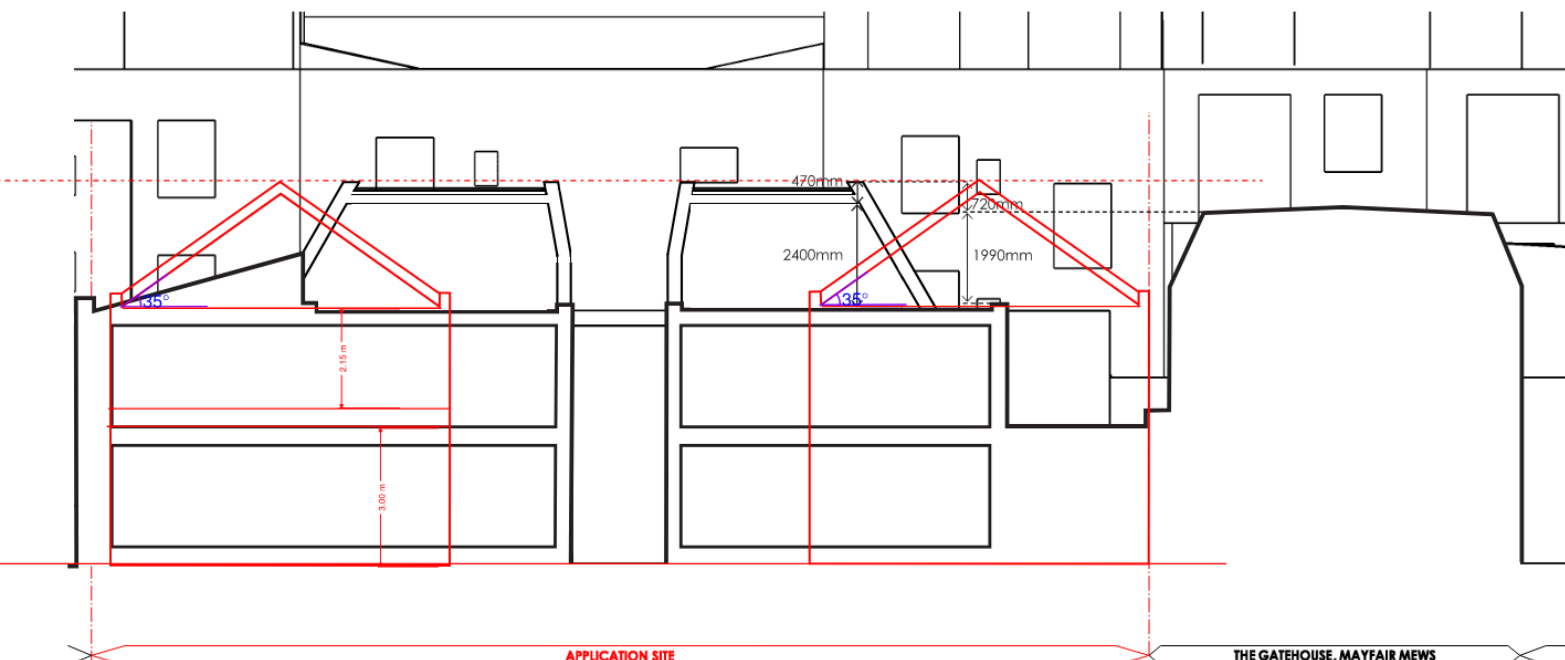
3.31 In addition the proposal is considered to more likely to align with the height of the original mews buildings on the site.

3.32 We have interpreted the likely scale of the original buildings in the mews based on what we know about the previous buildings in the mews which existed until the 1960s. This is shown in figure 12.

3.33 We set the building at their original depth and positioned the buildings in their original location against east and west boundary wall (figure 3 and 4). We set the height based on level from the courtyard with a 3m floor to ceilings height at ground level with a modest 2.1m at first floor level (the existing dwellings have a consistent floor to ceiling height of 2.5m for both ground and first floors). The original mews buildings would have had a greater floor to ceiling height at ground floor level to allow for carriages or stabling (figure 4). We have assumed a 35degree pitched roof which matches the existing original Baynes Mews buildings.

3.34 The result at figure 12 shows our reasonable assumption for the scale of the original mews buildings on the site (outlined in red). This would be equal in overall height to the proposed roof extensions and would have been positioned closer to the neighbouring boundaries.

Figure 12: Proposed section drawing overlaid with theoretical original mews building on the site (outlined in red).





3.35 In this respect the proposed original mews development on the site is considered commensurate with the traditional surrounding mews developments.

3.36 The existing buildings at no. 1-5 Erskine Mews has some synergy with traditional mews development and character of the local area. Its existing qualities help to reinforce the historic and architectural interest of the latter. The proposed roof extension would not affect the sites ability to do this. The proposals would introduce another recessive element that echoes the historic and architectural interest of the area. Overall the mews would retain its small scale intimate character.

3.37 The proposal would not harm the inherent character and appearance of the Primrose Hill conservation area. The proposed scheme is not at odds with scale or prevailing local character or materials for mews development. The proposed roof extension would not cause harm to the host buildings or to the setting of the Primrose Hill Conservation Area.

Setting of Grade II listed building on Chamberlin Street

3.38 There is a strong sense of separation between the listed terrace on Chamberlin Street and the site. The rear of the properties on the north side of Chamberlin Street face the site at a distance of approximately 24m. The proposed recessive extensions would represent a change within the wider setting of the terrace but would continue to allow the site and its immediate neighbours to have a restrained and unassuming townscape role as part of the urban townscape.

3.39 The setting of all the nearby listed buildings is characterised principally by a variety of phased inner London development. This includes 19th-21st century buildings, the use of which often reflects the period of their construction. This surrounding townscape

includes a broad range of building types, dates, heights and architectural language.

3.40 The alterations to the rear of the buildings will not be visible at the lower levels because of intervening development and the positioning and depths of buildings within the urban block. The new roofs would be visible from the upper floor rear windows of the listed terrace on the north side of the street.

3.41 This view will change to a small degree with the addition of the proposed roof extension but its visibility will clearly be limited. The proposed extension would not obscure the view or infill a area of sky in the view given the low scale of the site. The listed terrace, much like the other properties which surround the site would remain visible and would be unaffected by the proposed roof extension.

Policy compliance and conclusions

3.42 In relation to the policy requirements set out in the NPPF, it is considered that the proposed scheme would not cause harm to the significance or interest of the host buildings and it would not cause harm to the significance or setting of designated heritage assets. The proposals would therefore comply with national historic environment policy.

3.43 In terms of the LB Camden Local Plan, the proposal would accord with D1 Design which sets out that development should respect and respond positively to existing buildings, the streetscape and the wider context. It should respond to local architectural character and surrounding heritage assets. As set out above, it is considered that the proposed scheme meets these policy objectives. The proposal would respond to and reinforce local character and distinctiveness. The proposal would not result in an unacceptable adverse impact on views of grade II listed terrace in Chamberlin Street

3.44 Policy D2g resists development



outside of a conservation area that causes harm to the character or appearance of that conservation area. For reasons set out above, it is considered that a recessive and complementary addition to a recessive and complementary cluster of building would preserve the character and appearance of the conservation area and would therefore accord with local policy in this regard.

3.45 The Camden supplementary guidance 'Design' discusses situations where roof extensions may be appropriate to non-residential properties. Whilst not strictly relevant it provides a useful guide to the acceptability of the proposed scheme. Paragraph 5.13 states rooflights, additional storeys, mansards, and other roof alterations **are likely to be acceptable where:**

- Good quality materials and details are used and the visual prominence, scale and bulk would be appropriate having regard to the local context;
- There is an established form of roof addition or alteration to a group of similar buildings and where continuing the pattern of development would be a positive design solution, e.g. helping to reunite a group of buildings or townscape;
- Alterations are architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form.

The scheme complies with all of these criteria.

3.46 Paragraph 5.14 discusses where roof alteration or **addition is likely to be unacceptable** in the following circumstances where there is likely to be an *adverse effect on the skyline*, the appearance of the building or the surrounding street scene:

- Buildings which have a roofline that is exposed to important Londonwide and local views from public spaces;
- Buildings whose roof construction or form are unsuitable for roof additions;
- Buildings designed as a complete composition where its architectural style

would be undermined by any addition at roof level;

- The impact on adjoining properties both in terms of bulk and design and amenity of neighbours would be detrimental, e.g. due to a loss of light from the additional height;
- Buildings that are part of a group where differing heights add visual interest and where a roof extension would detract from this variety of form;
- Where the scale and proportions of the building would be overwhelmed by an additional extension/storeys.

The scheme doesn't affect the skyline or meet any of these criteria.

3.47 The Camden supplementary guidance 'Home Improvements' has already been referred to above. The guidance notes at 2.22 that roof extensions that are visible from the street will not be allowed where it would harm the host building and should;

- Be subordinate to the host building;
- Include features informed by the host building and surrounding context;
- Take the form of a traditional mansard, a modern interpretation or a more innovative approach, supported by pre-application advice;
- Where a group of buildings are originally designed as a complete composition a comprehensive design for the whole group is encouraged. Your design should be supported by pre-application advice, prior to a planning application submission.

The proposed scheme complies with all of these criteria.

3.48 For reasons set out above, it is considered that the proposed extension would sit comfortably on the host building, would relate to and reinforce its architectural character and would relate well to surrounding development. The proposed scheme would not have a harmful effect on the character and appearance of the Primrose Hill Conservation Area and would not harm the setting of nearby listed buildings.



Appendix A

Relevant Historic Environment Policy Context

This appendix sets out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment. The relevant statutory provision for the historic environment is the Planning (Listed Buildings and Conservation Areas) Act 1990. The following policies are underpinned by this legislation which at section 72 of the Act seeks to preserve or enhance the character and appearance of conservation areas.

A conservation area is a Designated Heritage Asset as established and defined by the National Planning Policy Framework (see below). No. 18 Clerkenwell Close forms an element with the Clerkenwell Green Conservation Area. It is not identified as a building that should be retained in the Clerkenwell Green Conservation Area Design Guidelines which suggests that its contribution to local character and appearance is not considered to be positive.

The National Planning Policy Framework (2012)

The National Planning Policy Framework (NPPF) was published in March 2012 and revised in 2018. It sets out the government's approach to dealing with the historic environment. Section 12 of the NPPF deals specifically with this area of policy. Policies relevant in this particular case are as follows.

Paragraph 189 states that applicants should describe the significance of any heritage assets affected, including any contribution made by their setting. 'The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.' A history of the site and its context are set out in Appendix A.

Paragraph 193 sets out that 'when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be).

Paragraph 194 sets out that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

Paragraph 196 notes that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

Paragraph 200 sets out that local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

Paragraph 201 notes that 'Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.'



Any proposals that represent change within a conservation area should be judged on the basis that 'great weight' should be given to the asset's conservation. In this case, the proposals need to preserve or enhance the conservation area in terms of statutory considerations and to prevent harm to the designated heritage asset as a whole. Policy allows for proposed schemes to be justified and particularly where any harm to the significance of a designated heritage asset may be caused. Harm can also be outweighed by public benefits as noted above.

London Borough of Camden Local Plan

Camden's Local Plan was adopted in June 2017. The most relevant policy in this case are Policies D1: Design & D2Heritage.

With regard to design D1 the Council will require that development:

- a. respects local context and character;
- b. preserves or enhances the historic environment and heritage assets in accordance with "Policy D2 Heritage";
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;
- e. comprises details and materials that are of high quality and complement the local character;
- f. integrates well with the surrounding streets and open spaces

With regard to Conservation Areas, policy D2g states that the Council will:

- Resist development outside of a conservation area that causes harm to the character or appearance of that conservation area.

Supporting text paragraph 7.48 confirms,

"Due to the largely dense urban nature of Camden, the character or appearance

of our conservation areas can also be affected by development which is outside of conservation areas, but visible from within them. This includes high or bulky buildings, which can have an impact on areas some distance away, as well as adjacent premises. The Council will therefore not permit development in locations outside conservation areas that it considers would cause harm to the character, appearance or setting of such an area."

Camden Planning Guidance

Design - January 2021

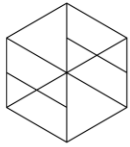
Section 5 provides general principles for non-domestic buildings which is a useful guide for considering the principle of development at 1-5 Erskine Mews.

Roofs

Paragraph 5.13 states rooflights, additional storeys, mansards, and other roof alterations **are likely to be acceptable where:**

- Good quality materials and details are used and the visual prominence, scale and bulk would be appropriate having regard to the local context;
- There is an established form of roof addition or alteration to a group of similar buildings and where continuing the pattern of development would be a positive design solution, e.g. helping to reunite a group of buildings or townscape;
- Alterations are architecturally sympathetic to the age and character of the building and retain the overall integrity of the roof form.

Paragraph 5.14 discusses where roof alteration or **addition is likely to be unacceptable** in the following circumstances where there is likely to be an adverse effect on the skyline, the appearance of the building or the surrounding street scene:



- Buildings which have a roofline that is exposed to important Londonwide and local views from public spaces;
- Buildings whose roof construction or form are unsuitable for roof additions;
- Buildings designed as a complete composition where its architectural style would be undermined by any addition at roof level;
- The impact on adjoining properties both in terms of bulk and design and amenity of neighbours would be detrimental, e.g. due to a loss of light from the additional height;
- Buildings that are part of a group where differing heights add visual interest and where a roof extension would detract from this variety of form;
- Where the scale and proportions of the building would be overwhelmed by an additional extension/storeys.

Balconies and Terraces

Paragraph 5.17 confirms that balconies and terraces should complement the elevation upon which they are to be located. Consideration should therefore be given to the following:

- Detailed design to reduce the impact on the existing elevation;
- Careful choice of materials and colour to match the existing elevation;
- Possible use of setbacks to minimise overlooking – a roof terrace need not necessarily cover the entire available roof space;
- Possible use of screening (frosted glass etc) to prevent overlooking of habitable rooms in residential properties or nearby gardens, without reducing daylight and sunlight or outlook.

Home Improvement - January 2021

Section 2.2 deals with roof extensions

It states *“A successful roof extension would consider the overall roof form of the existing building, adjoining buildings and impact in key*

views (when relevant) and be proportionate to the roof slope being extended.”

The guidance tells us that:

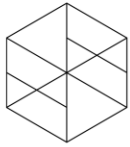
A new roof level should:

- Be subordinate to the host building;
- Include features informed by the host building and surrounding context;
- Take the form of a traditional mansard, a modern interpretation or a more innovative approach, supported by pre-application advice;
- Erecting a roof extension on a building within a complete terrace or group that currently has no extensions and it is not identified in Conservation Area Appraisals as being significant for its roofline, it is likely to be acceptable, generally, in a traditional form;
- Where a group of buildings are originally designed as a complete composition a comprehensive design for the whole group is encouraged. Your design should be supported by pre-application advice, prior to a planning application submission.

The London Plan 2021

The London Plan is the overall strategic plan for London, and it sets out a fully integrated economic, environmental, transport and social framework for the development of the capital from 2019-2041. It forms part of the development plan for Greater London. London boroughs' local plans need to be in general conformity with the London Plan, and its policies guide decisions on planning applications by councils and the Mayor.

The 2021 London Plan is a new London Plan (also known as a Replacement Plan). This means it is not an alteration or update to previous London Plans. This new London Plan is the third London Plan, the previous ones being the 2004 London Plan produced by former Mayor of London Ken Livingstone, and the 2011 London Plan produced by former Mayor of London Boris Johnson. All of the other iterations of the London Plan from 2004-2016 have been



alterations. This London Plan replaces all previous versions.

Chapter 7 deals with 'Heritage and Culture' including **Policy HC1 Heritage conservation and growth**. Policy HC1c relates to development proposals affecting heritage assets, and their settings.

It states that "Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process."

Chapter 3 considers 'Design' including **Policy D1 London's form, character and capacity for growth** addresses the issue of understanding character and context.

Part A of this policy sets out the requirements for assessing an area's characteristics. It states that 'Boroughs should undertake area assessments to define the characteristics, qualities and value of different places within the plan area to develop an understanding of different areas' capacity for growth' including, inter alia, 7) historical evolution and heritage assets (including an assessment of their significance and contribution to local character; and 12) views and landmarks.

Policy D1 part B sets out the steps for using this information from Part A to establish the capacity for growth of different areas and ensure that sites are developed to an optimum capacity that is responsive to the site's context and supporting infrastructure. D1(b) 3 states 'following the design-led approach (set out in Policy D3 Optimising site capacity through the design-led approach) to establish optimised site capacities for site allocations. Boroughs are

encouraged to set out acceptable building heights, scale, massing and indicative layouts for allocated sites, and, where appropriate, the amount of floorspace that should be provided for different land uses.'

Policy D3 Optimising site capacity through the design-led approach confirms a design-led approach to optimising site capacity should be based on an evaluation of the site's attributes, its surrounding context and its capacity for growth to determine the appropriate form of development for that site.

This includes;

D3 (A) All development must make the best use of land by following a design-led approach that optimises the capacity of sites

D3 (D) Development proposals should:
Form and layout

1) enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape, with due regard to existing;

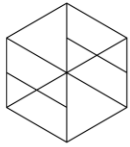
Quality and character

11) respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character

12) be of high quality, with architecture that pays attention to detail, and gives thorough consideration to the practicality of use, flexibility, safety and building lifespan through appropriate construction methods and the use of attractive, robust materials which weather and mature well

13) aim for high sustainability standards (with reference to the policies within London Plan Chapters 8 and 9) and take into account the principles of the circular economy

14) provide spaces and buildings that maximise opportunities for urban greening.



The
Heritage
Practice

10 Bloomsbury Way, London WC1A 2SL
+44 (0)20 3871 2951
www.theheritagepractice.com
info@theheritagepractice.com

Heritage Appraisal
Nos. 1-5 Erskine Mews, London NW3 3AP
April 2021

Appendix B

North Camden Mews Study

This looks the height mews properties compared with height of the principal buildings with surround them.

The examples chosen are typical mews properties are all in north of part of the London borough of Camden

Erskine mews existing
 Erskine mews proposed
 Erskine Road
 Ainger Road

2storeys
 2 storeys plus 1 (habitable roof)
 4 storeys plus 1 (mansard roof)
 4 storeys plus 1 (mansard roof)



St Georges Mews 2storey plus roof
 Regent Park Road 3storey plus roof



Utopia village
 Chalcot Road
 Gloucester Avenue

2 & 3 storeys plus roof
 3 storeys plus 1
 3 storeys plus 1



Primrose Mews
 Sharples Hall Street
 Regents Park road

2 storey plus roof
 3 storeys
 4 storeys



Rochester Place 2storey plus roof
 Rochester Terrace 2 & 3storeys plus roof



Daleham mews 2 storeys plus roof
 Daleham Gardens 2 storeys plus habitable roof



Baynes Mews 2 storey plus habitable roof
 Belize Lane 2 & 3 storey



Belsize Park Mews 2 storey plus roof
 Belize Lane 2 Storey plus 1.



Belsize Park mews and Baynes Mews are similar in scale and approach from the street as Erskine Mews

It is noteworthy that Belsize Park Mews has been redeveloped in the later half of the 20th century and contains 2 storey dwellings with flat roof much like Erskine Mews. Baynes Mews, which adjoins directly to the north, retains its original mid 19th century properties which are 2 storeys with pitched roof.

These are taller than the properties in Belsize Park Mews as can be seen from the image opposite.



West Hampstead Mews 2 storeys plus roof

West End Lane

3 storeys plus roof



Kings Terrace, Camden town

Camden High Street

2 plus 1

4



McCrone Mews, Belsize 2& 3 storeys plus roof

Belsize Lane

2 storeys plus roof



Eton Garages

2 storey plus 1 (hab roof)

Eton Avenue

2 storeys plus 1 (hab roof)



Belsize Court Garages 2 storeys plus 1 (hab roof)

Belsize Place

3 storeys plus 1



Steeles mews

2 storeys plus 1 (hab roof)

Haverstock hill

3 storeys



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Heritage Appraisal Addendum
Nos. 1-3 & 5 Erskine Mews, London NW3 3AP

May 2022

Appendix ii

A copy of the draft decision notice for
application ref: 2021/2411/P

Application ref: 2021/2411/P
Contact: Enya Fogarty
Tel: 020 7974 8964
Date: 4 October 2021

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

SM Planning
80-83 Long Lane
London
EC1A 9ET

Dear Sir/Madam

FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:

**1-5
Erskine Mews
London
NW3 3AP**

Proposal: Erection of single storey roof extension to five dwellings at 1-5 Erskine Mews to provide additional living accommodation

Drawing Nos: 308_EE_01; 308_EE_02; 308_EE_03; 308_EE_04; 308_ES_01; 308_ES_02; 308_ES_03; 308_ES_04; 303_GA_00; 303_GA_01; 303_GA_02; 03_GA_03; 303_GA_EX_00; 303_GA_EX_01; 308_GE_01; 308_GE_02; 308_GE_03; 308_GE_04; 308_GS_01; 308_GS_02; 308_GS_03; 308_GS_04; 308_SU_01; 308_SU_02; 308_SU_03; 308_DE_01; 308_DE_02; Design and Access Statement prepared by Architecture Ltd; Daylight and Sunlight Report (within Development) dated 05/05/2021 produced by RICS; Daylight and Sunlight Report (Neighbouring properties) dated 01/04/2021 produced by RICS

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans; 308_EE_01; 308_EE_02; 308_EE_03; 308_EE_04; 308_ES_01; 308_ES_02; 308_ES_03; 308_ES_04; 303_GA_00; 303_GA_01; 303_GA_02; 303_GA_03; 303_GA_EX_00; 303_GA_EX_01; 308_GE_01; 308_GE_02; 308_GE_03; 308_GE_04; 308_GS_01; 308_GS_02; 308_GS_03; 308_GS_04; 308_SU_01; 308_SU_02; 308_SU_03; 308_DE_01; 308_DE_02; Design and Access Statement prepared by Architecture Ltd; Daylight and Sunlight Report (within Development) dated 05/05/2021 produced by RICS; Daylight and Sunlight Report (Neighbouring properties) dated 01/04/2021 produced by RICS

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 The metal screens hereby approved shall be erected prior to commencement of use of the balconies and shall be permanently retained.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 5 The west facing windows on nos. 4 and 5 and the east facing windows on nos. 1, 2 and 3 shall be fitted with fritted glazing prior to occupation and shall be permanently maintained as such.

Reason: To safeguard the residential amenity of neighbouring occupiers and prevent overlooking in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include

i. a detailed scheme of maintenance



ii. sections at a scale of 1:20 of all green roofs showing substrate depth.

iii. a broad range of plants to maximise biodiversity enhancement.

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

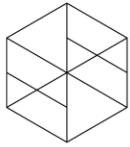
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate



The
Heritage
Practice

10 Bloomsbury Way, London WC1A 2SL
+44 (0)20 3871 2951
www.theheritagepractice.com
info@theheritagepractice.com

Heritage Appraisal Addendum
Nos. 1-3 & 5 Erskine Mews, London NW3 3AP

May 2022

Appendix iii

A copy of the A copy of the Member Briefing
Delegated Report

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	09/07/2021
		N/A / attached		Consultation Expiry Date:	12/07/2021
Officer				Application Number(s)	
Enya Fogarty				2021/2411/P	
Application Address				Drawing Numbers	
1-5 Erskine Mews London NW3 3AP				See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection Of Single Storey Roof Extension To Five Dwellings At 1-5 Erskine Mews to provide additional living accommodation					
Recommendation:		Grant conditional planning permission (subject to a Section 106 Legal Agreement)			
Application Type:		Full Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation:	Three site notices were displayed surrounding the site on the 18/06/2021 (consultation end date 12/07/2021)			
Summary of consultation responses:	No. of responses	15	No. of objections	11
	<p>11 objections were received during the statutory consultation period by 64 Regents Park Road, 89A Regents Park Road, 1 Ainger Road, Flat 1 and 2 from 6 Ainger Road, 1 Erskine Road, 2 Erskine Road, 3 Erskine Road, 14 Chamberlain Street in regards to the proposal.</p> <p>Their responses can be summarised as follows:</p> <p>Design</p> <ol style="list-style-type: none">1. Scale, form and design would harm the character of the area2. Inappropriate materials <p><u>Officer response</u></p> <ol style="list-style-type: none">1. See design and conservation section of the report2. See section 4.4 of the report <p>Amenity</p> <ol style="list-style-type: none">1. Impact on privacy to 64 Regents Park Road, 2, 3 Erskine Road, 6 Ainger Road2. Overlooking into amenity spaces and neighbouring habitable rooms3. Overbearing development4. Loss of daylight/sunlight on open spaces and habitable rooms to no. 1, 2,3 Erskine Road, 1, 6 Ainger Road, 64 and 89a Regents Road5. Overshadowing of open space6. Loss of outlook7. Metal screening fails to prevent overlooking into neighbouring properties8. Failure to comply with Camden guidance for minimum distance of 18m between windows and neighbouring habitable rooms9. Noise disruption10. Loss of a view <p><u>Officer response</u></p> <p>1 – 7 Please refer to amenity section of the report</p> <p>8 Due to the location of the site, the minimum distance of 18m cannot be achieved as is the current situation. However, with privacy measures, including the design and location of the windows and the metal</p>			

screening surrounding the proposed amenities spaces, the proposal will have minimal impact on overlooking into neighbouring properties.

9 The construction works and associated noise are considered temporary in nature and able to be managed by the Control of Pollution Act 1974. The noise generated during construction is not considered grounds for refusal and the works would be subject to a Construction Management Plan which would be secured by S106 agreement. The neighbour is able to contact Environmental Health if any concerns arise during the construction period.

10 Although the development would be visible from neighbouring windows, it is not considered so harmful to their residential amenity as to warrant refusal of the application on this ground.

Other

1. Inaccuracies with the drawings as the drawings do not show true relationship between the proposal and 2 Erskine Road.
2. Increase valuation at the neighbouring properties loss

Officer response

- 1. The drawings provided with the application are considered acceptable to determine the application.*
- 2. Increasing the value or decreasing the value of properties is not a material planning consideration and has no bearing on the planning process.*

4 Support letters were received from Nos. 14 Elsworthy Rise, 188 Regents Park Road, 18 Chalcot Road and 6 Sharpleshall Street;

1. More space for the existing families
2. Good design
3. No impact on neighbouring properties in terms of daylight
4. Green roofs are supportive and beneficial for biodiversity
5. Will result in an attractive view for neighbouring properties

<p>Councillor Cotton:</p>	<p><u>Cllr Richard Cotton</u></p> <ol style="list-style-type: none"> 1. Inappropriate development within a conservation area 2. Impact on daylight/sunlight on neighbouring properties 3. Overlooking into amenity spaces and neighbouring habitable rooms <p><u>Officer response:</u></p> <ol style="list-style-type: none"> 1. <i>See design and conservation section of the report</i> 2. <i>See amenity section of the report</i> 3. <i>See amenity section of the report</i>
<p>Primrose CAAC Comments:</p>	<p>A letter of objection was received on behalf of the Primrose Hill Conservation Area Committee CAAC. Their objection comments can be summarised as follows:</p> <ol style="list-style-type: none"> 1. Inappropriate scale 2. The extensions would not be subservient. 3. The proposal would fail to preserve or enhance the conservation area. 4. Loss of daylight/sunlight 5. Overshadowing/overlooking to private open space and into habitable rooms 6. Overdevelopment would increase the height of the mews by 50% <p><u>Officer's response:</u></p> <ol style="list-style-type: none"> 1. <i>See design and conservation section of the report</i> 2. <i>See design and conservation section of the report</i> 3. <i>See design and conservation section of the report</i> 4. <i>See amenity section of the report</i> 5. <i>See amenity section of the report</i> 6. <i>Due to the design and the height of the roof extensions, it is considered that the development would not increase the height of the mews by 50%</i>

Site Description

The application site is accessed from the south side of Erskine Road and comprises a mews development of five two storey dwellings. The site is gated and cannot be seen from the public realm.

The dwelling is not statutorily listed and is not located within a conservation area but is located adjacent to the Primrose Hill Conservation Area to the north and east of the site and a locally listed terrace (1-29 Ainger Road) is located to the West of the site.

The site is located in an area with a PTAL Rating of 3. The site is located within flood zone 1, which has a low probability of flooding.

Relevant History

Host Site

H9/7/B/4640 - *Erection of five dwelling houses at Erskine Mews, Camden and the provision of five car parking spaces. Granted 28/03/1968*

1 Erskine Mews

2011/4781/P: *Erection of a first floor side extension with roof terrace to existing dwelling house (Class C3). Granted 17/11/201*

5 Erskine Mews

8903757: *The erection of a rear extension at first floor level to form study. Granted 28/02/1990*

The Gatehouse Mayfair Mews

2017/1162/P: *Erection of a roof extension with 2 x rooflights to the front, 2 x obscured glazed rooflights to the rear, installation of 1 x window to the flank elevation and 3 additional rooflights at roof level all associated with the use as ancillary residential accommodation (Class C3). Granted 07/06/2017*

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **D1** Design
- **D2** Heritage
- **H1** Maximising housing supply
- **T2** Parking and car-free development

Camden Planning Guidance:

- CPG Home Improvements (2021)
- CPG Amenity (2021)
- CPG Design (2021)
- CPG Developer contributions (2019)

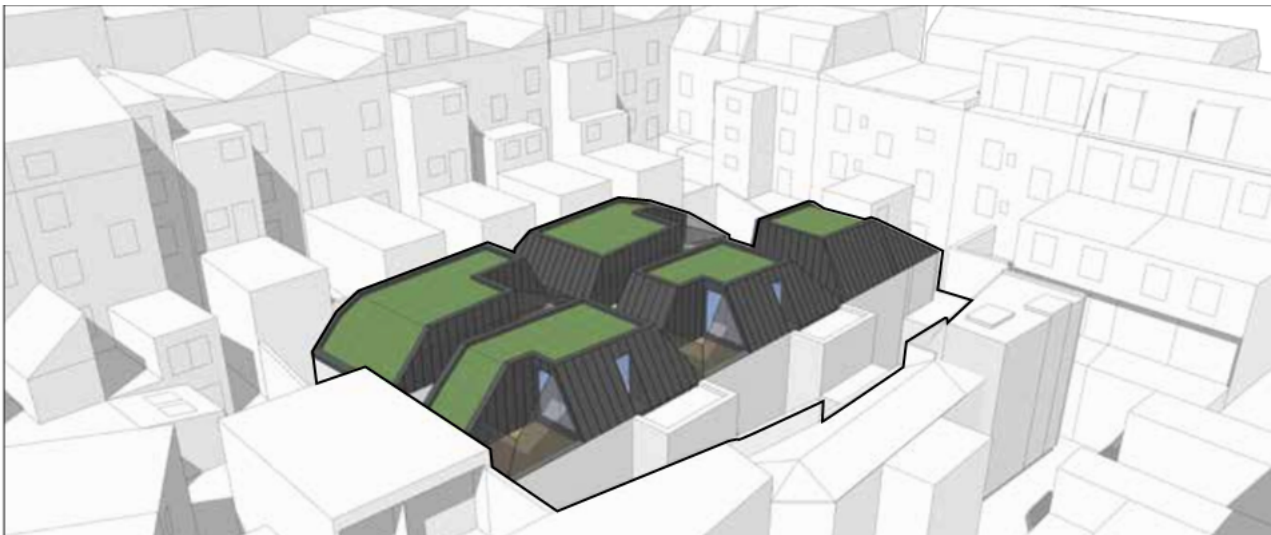
Assessment

1. The proposal

- 1.1. Planning permission is sought for the proposed single storey roof extension to five dwellings at 1-5 Erskine Mews. The proposed extension will be on the roof of the existing properties seeking to create a third floor and additional living accommodation for each dwelling.

2. Pre Application

- 2.1. A pre application enquiry was submitted on the 4th of August. A pre application meeting was held on the 17th of September where officers highlighted concerns and following this a revised scheme was submitted on the 15th December and a further pre app meeting was held on the 7th of January. An amended scheme was submitted and the scheme was reviewed by the Council's Design officers and was considered acceptable. In addition, the conservation officer reviewed the proposal and stated the proposal would not harm the nearby conservation area. Since the pre application, minor amendments have been made as part of the current proposals to respond to the pre application advice.



Proposal at pre application stage

3. Assessment

- 3.1. The principal considerations material to the determination of this application are as follows:

- Design and Conservation
- Residential amenity
- Transport

4. Design and Conservation

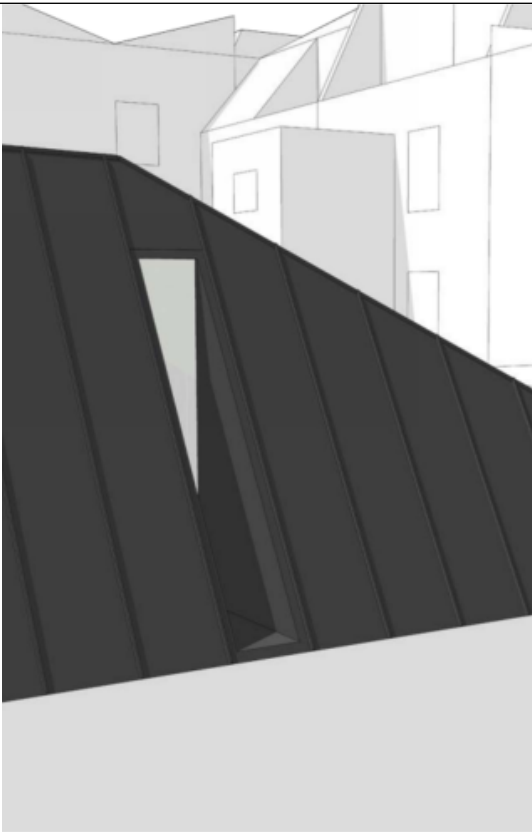
- 4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation areas that fails to preserve or enhance the character and appearance of that conservation area.
- 4.2. It is acknowledged that the properties within the Erskine Mews are two storeys in height all with flat roofs. The host site is currently 2 storeys below the height of neighbouring properties along Erskine Road and Ainger Road. The proposed extension would not be readily visible from the public realm due to its design and setting. The proposed roof extensions would measure approximately 2.8m at the highest point and no other part would exceed this height. The roof extensions would be splayed

at both ends, north and south with a shallower angle at No.1 due to close proximity to No 1 & 2 Erskine Road. The roof extensions are split so each property has its own splayed roof extension, creating valleys between the extensions which allows views through. This helps to maintain and preserve the character of the mews. The outer walls of the roof extension would angle inwards so that the height of the extension would be reduced adjacent to the 'valley' cut through, reducing the overall mass of the extensions.



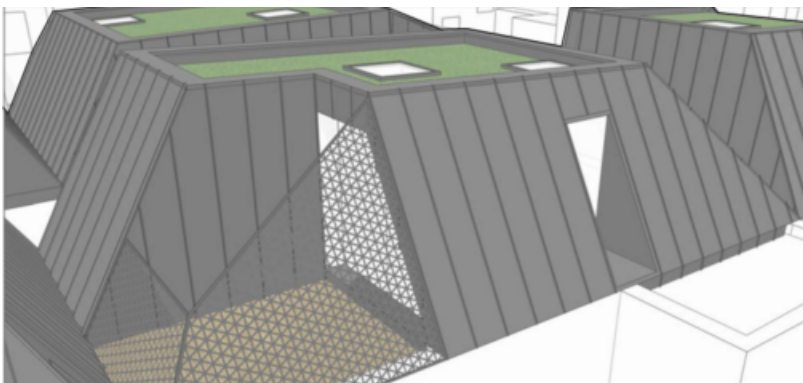
Roof extensions have been designed to be angled and splayed creating valleys to reduce the overall mass

- 4.3. Due to the gradual sloping design of the extensions, the proposed roof extensions would have the appearance of a modest height and would be seen as a subservient addition when viewed from neighbouring properties along Erskine Road and Ainger Road. Given that the roof extension would be designed to provide additional accommodation, the proposed height is acceptable in this instance. It is important that all 5 dwellings have their extensions built as part of one project and that no dwellings are omitted as this would disrupt the unified roofscape. As such, a section 106 will be required to ensure that the proposed works are carried out simultaneously and that the uniform appearance of the mews will be safeguarded.
- 4.4. The roof extension would be constructed in zinc standing seam and this is considered an appropriate material. In addition, green roofs would be located on each extension which would add visual amenity. Furthermore, the proposed materials are considered to appear as high quality materials and the scale and design would respect the context of the host building and site surroundings. The proposed fenestration design is considered a sympathetic approach in terms of its design and siting. The rooflights would be subordinate in both in size and number and would be fitted flush with the roof surface.



Proposed design of fenestration

- 4.5. The roof extensions would be of a contemporary design and style. Although the proposed material would differ to the existing, the use of a more modern material and design is considered to be acceptable in this instance and would differentiate the development as a new contemporary addition. Overall the proposed design and materials would help the roof extensions to appear as subservient additions to the original properties.
- 4.6. Due to the design of the roof extensions, the internal head height would vary and would not always meet the recommended 2.3m recommended by Camden planning guidance. The internal height in some parts of the extension would only be 2.0m. However, given that the roof extension would be designed to reduce amenity impacts on neighbouring properties and to provide additional living accommodation for the existing occupants without significantly increasing the overall bulk, the proposed height is acceptable in this instance.
- 4.7. Three of the roof extensions will provide an amenity area for the occupants of 2, 3 and 5 Erskine Mews. Each outdoor amenity area would have a perforated metal screening. The material of screening and the detailed design is considered appropriate (see below).



The proposed perforated metal screening for the amenity spaces at No. 2,3 and 5 Erskine Mews

- 4.8. Officers consider that whilst the extension would be an unconventional roof addition, the proposal would not appear top heavy in appearance. The proposed roof extension would be sufficiently set back and given its limited visibility would be acceptable in this instance. Concerns were raised by objectors that the proposed roof extension would diminish the subservient mews character of the

buildings, however, they would remain between one to two storeys below neighbouring buildings, and alongside the recessive nature of the design, would preserve the mews character of the site.

- 4.9. Overall, the design, scale, siting and materials of all parts of the development would be sympathetic to the character and appearance of the host property and adjacent conservation area, and the proposed development, by virtue of the appropriate materials and sympathetic scale and contemporary design, would preserve and enhance the character and appearance of the host dwellings and adjacent conservation area in accordance with policies D1 and D2 of the Camden Local Plan.

5. Residential Amenity

- 5.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacted upon by virtue of noise or vibrations.

Overlooking

- 5.2. Concerns have been raised regarding overlooking to neighbouring occupiers. The roof extensions will have windows facing neighbouring properties as shown below. These separation distances between the proposed windows and neighbouring habitable windows do not meet Camden's minimum separation distance of 18m as required by CPG amenity.
- 5.3. However, due to the site's constraints and the proposed design of the extension including the design of the windows, the proposed development would not result in an adverse loss of privacy though overlooking into neighbouring habitable windows. As stated above, the windows have been designed with fritted glass and would be slender, recessed and set back at an angle to prevent overlooking.



Separation distances between proposed windows and neighbouring properties windows

- 5.4. The proposed fenestration due to its design and location are considered to minimise overlooking and are considered acceptable. In addition the windows facing neighbouring properties would have fritted glass to protect both views in and out but would still allow necessary light into the extensions.



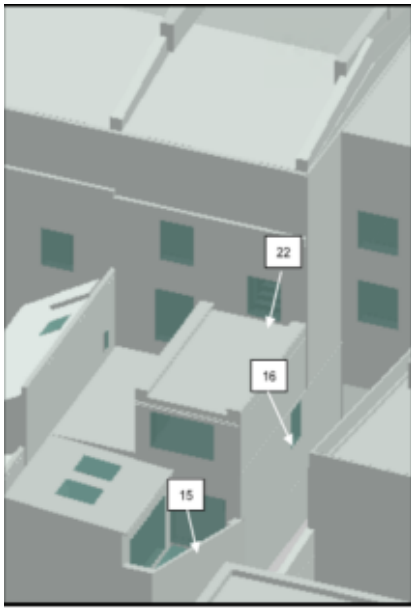
Proposed fenestration would be fitted with fritted glass, designed to prevent views in and out (example above)

- 5.5. Metal screenings are proposed for the amenity space at no.2, 3 and 5 Erskine Mews to safeguard the amenity of future occupiers and ensure their privacy. In addition, the screenings would be an appropriate solution to overcome overlooking to the neighbouring windows. The proposed screenings due to their height and angle would not result in reduction of outlook, nor daylight/sunlight to the neighbouring properties. In respect of noise nuisance, the balconies are not significantly large and would have very limited potential to fit a table or chairs. It is also noted that the doors leading out to the balconies are from bedrooms and not a kitchen, which may decrease the likelihood of the balconies being used for entertainment purposes. Nevertheless, noise disturbance from use of these terraces would be no greater than standard use of residential gardens in this area.

Daylight/Sunlight

- 5.6. Concerns have also been raised regarding the impact on neighbouring amenity from the overbearing impact and loss of daylight/sunlight and the effect of overshadowing of the proposed roof extensions.
- 5.7. The proposal was accompanied by a daylight/sunlight assessment commissioned by Right of Light Consulting, which concluded that the impact in regards to daylight/sunlight and overshadowing would not be significant. It is considered due to the siting and orientation of the proposed roof extensions, the development is not considered to result in a significantly worse loss of light than the impact created by the existing built form. The daylight and sunlight assessment includes results of the vertical sky component, sunlight to windows and impact of overshadowing on neighbouring properties. The assessment was written in accordance with BRE guidance (2011) and the guidance stipulates that windows should not experience a loss of greater than 20% from its existing value as measured by the VSC criteria; any loss greater than this would be noticeable and more significant.
- 5.8. According to the report, some of the existing windows do not meet the BRE recommendation in terms of VSC prior to the proposal, although some may suffer a loss, there is no window which suffers a great loss.
- 5.9. In terms of daylight, some windows would suffer a loss, window 15 & 16 would suffer a loss of 17.0% which would still be within the recommended BRE limits of less than 20%, and these windows would serve a lounge. Window 182 of 4 Erskine Mews and window 190 of 5 Erskine Mews would suffer a loss of 47.0% and 41.0% but these windows would serve non-habitable rooms which do not have the same requirements for lighting. Window 214 of 2 Erskine Mews and window 222 of 3 Erskine Mews would also suffer a loss of 43.0% and 39.0% but again, both these windows also serve non habitable rooms and as such, the reduction is considered acceptable.

- 5.10. All the windows with a requirement for sunlight pass both the sunlight hours test and the winter sunlight hour test with the exception of window 15 (see below) at 8 Ainger Road. This window meets the BRE's 25% recommendation over the whole year and only falls 1% during the winter months. As such, the degree of loss is only marginally above the BRE recommended minimum.



Window 15 at 8 Ainger Road

- 5.11. Nos. 1, 2, 3 Erskine Road would suffer a marginal loss but would still pass the BRE recommendation. 6 Ainger would not suffer any loss of the sunlight as a result of the proposal. Due to the location of the proposal and 1 Ainger road, 64 and 89a Regents Park Road, these properties are not included in the assessment as the proposal would not impact daylight/sunlight to these nearby properties.
- 5.12. The report concludes; in terms of the Vertical Sky Component, the application site would pass the BRE recommendation. In terms of daylight, all the proposed windows would receive and surpass the BRE minimum average daylight factor. Window 7 the living room fails to meet the annual probable sunlight hours. This shortfall would provide the living room only 1 % of sunlight during the winter months instead of the recommended 5%. However this room would be served by three additional windows and these windows would pass the ADF and would be considered acceptable.

Overshadowing

- 5.13. All the outdoor amenities areas of neighbouring properties tested meet the BRE recommendations. The analysis also demonstrates that the rear gardens of the adjacent properties would exceed 2 hours of direct sunlight on 21st March, which complies with the BRE guidelines. The proposals would therefore not result in severe overshadowing to neighbouring rear gardens. According to the report, two neighbouring properties would suffer a marginal loss of sunlight onto existing terraces, 5 Ainger Road would suffer a loss of 0.07m² and 7 Ainger Road would suffer a loss of 0.04m², this would be considered a marginal loss and both properties have two outdoor amenity spaces, and the other amenity spaces would be unaffected by the proposal.
- 5.14. According to the report, the proposed amenity spaces at No. 2,3 ,5 Erskine Mews indicate that 66 % or more of the amenity spaces will receive at least two hours of sunlight on 21st March passing the BRE overshadowing to gardens. The report concluded that the proposed roof extensions would provide the current or future occupiers of the property with adequate levels of natural light.
- 5.15. As such, the proposal is considered acceptable in regards to Daylight/sunlight and overshadowing for both neighbouring properties and the application site. Overall, it is accepted that the development would not impact on the amenity of neighbouring residents in accordance with policy A1.

Outlook

- 5.16. Given the quality and contemporary design of the extensions it is considered the quality of outlook from neighbouring properties rear windows would not be adversely affected and it is considered acceptable in this regard. Although visible from rear neighbouring windows, it would not be so overbearing as to be considered harmful.
- 5.17. Subject to the securing of a CMP (discussed below), the proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policy A1.

6. Transport

Construction Management Plan

- 6.1. Given the extent of construction work and the location of the site in the middle of a residential block a Construction Management Plan (CMP) will be secured by Section 106 legal agreement to ensure the proposed development does not create traffic congestion and lead to a loss of amenity for surrounding occupiers in accordance with policy A1. A CMP Implementation Support Contribution of £3,920 and a bond of £7,500 (in the event of any enforcement issues) would also be secured as a Section 106 planning obligation if planning permission is granted.

7. Recommendation

- 7.1 Grant conditional Planning Permission (subject to section 106 legal agreement)

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 11th October 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.