

13 to 17 Fitzroy St, London W1T

Daylight and Sunlight Report

12 May 2022



13 to 17 Fitzroy St, London W1T

DAYLIGHT AND SUNLIGHT REPORT

Client: DWS Group

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EXECUTIVE SUMMARY

- This is a report into the impact of the proposed MMA development at 13 to 17 Fitzroy St, London W1T on the daylight and sunlight to surrounding residential properties. This analysis has been based upon scheme drawings provided by Squire & Partners, a photogrammetric survey, and site photography.
- There is an extant consent for this site that has not been implemented. The current report considered a Minor Material Amendment to this extant consent. The adjustments between the existing consent and the MMA are minor in massing terms and include a slight increase in height of the electrical plants on the roof of the building along with a new roof terrace and surrounding railing. The analysis within this report compares the existing position with the MMA proposal.
- The analysis has been carried out in accordance with the methodologies contained in the Building Research Establishment's *Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice* (2011) (the "BRE Guidelines"), which is used by the local authority to determine the acceptability of a proposal in terms of its effect on neighbouring daylight and sunlight amenity.
- The analysis shows that the impacts of the proposed MMA development on the Daylight & Sunlight available to neighbouring residential properties will not exceed the levels recommended within the BRE Guidelines for daylight in VSC terms and Sunlight.



1 INTRODUCTION

Waldrams have been instructed to provide daylight and sunlight analysis comparing the Minor Material Amendment (MMA) changes of the site at 13 to 17 Fitzroy St, London W1T. This analysis is based upon scheme drawings by Squire & Partners, a photogrammetric survey of the site and surrounding context and site photography.

There is an extant consent for this site that has not been implemented. The current report considered a Minor Material Amendment to this extant consent. The adjustments between the existing consent and the MMA are minor and include a slight increase in height of the electrical plants on the roof of the building along with a new roof terrace and surrounding railing. The analysis within this report compares the existing position with the MMA proposal.

The analysis has been carried out in accordance with the methodologies contained in the BRE Guidelines which is used by the local authority to determine the acceptability of a proposal in terms of its effect on neighbouring daylight and sunlight amenity.

The existing site can be seen on drawings 2164-01-01 to -01-03 with the proposal on drawings 2164-06-01 to -06-03, all in Appendix 1. The numerical results of the quantitative daylight and sunlight analysis can be found in Appendix 2. Window maps showing the locations of the windows analysed in the neighbouring property can be found in Appendix 3.

2 SUMMARY OF HOW DAYLIGHT AND SUNLIGHT ARE CONSIDERED FOR PLANNING

2.1 INTRODUCTION TO THE BRE GUIDELINES

Daylight and sunlight are planning considerations. The main reference used by local planning authorities to determine the acceptability of proposals in terms of their internal daylight and sunlight and the impact on daylight and sunlight to the surrounding properties is the Building Research Establishment (BRE) Guidelines, used in conjunction with British Standard BS8206 Part 2. The BRE Guidelines provide scientific, objective methods for establishing the acceptability of daylight and sunlight internal to the scheme and the surrounding properties. In practice, it is principally the main habitable rooms internal to the scheme and within the surrounding residential properties that are sensitive in terms of daylight and sunlight. This report therefore focuses on the internal daylight and sunlight and the change in daylight and sunlight to habitable rooms in the surrounding residential property.

The BRE Guidelines specify that the daylight and sunlight results be considered flexibly and in the context of the site. Clearly, there would be a higher expectation for daylight



and sunlight in a rural or suburban environment than in a dense city centre location. The important factor in all cases is that the levels of daylight and sunlight are appropriate, taking into account all the planning policy requirements of the site. The BRE Guidelines acknowledge this in the introduction where the BRE Guidelines state:

“The guide is intended for building designers and their clients, consultants and planning officials. The advice given here is not mandatory and thus this document should not be seen as an instrument of planning policy. Its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly because natural lighting is only one of the many factors in site layout design. In special circumstances the developer or planning authority may wish to use different target values.”

(Page 1, BRE Guidelines)

The numerical figures should not be rigidly applied, but instead used as part of the overall evaluation of the daylight and sunlight to the surroundings in context of the site, its existing massing, and the need for regeneration and local planning policy guidance for the site. In particular, existing local precedents or recent planning consents may provide a good indication as to appropriate levels in the vicinity.

2.2 DAYLIGHT AND SUNLIGHT CRITERIA TO SURROUNDING RESIDENTIAL PROPERTY

According to the BRE Guidelines, a surrounding existing building to a proposed scheme will retain the potential for good interior daylighting if the scheme subtends less than 25 degrees from the horizontal as measured from the lowest habitable windows in the neighbouring windows. If this is not achieved, then good daylighting to the neighbouring properties is still achieved if the Vertical Sky Component (VSC) is in excess of 27% or is reduced by less than 20% from its existing level and if the area of the room that can see the sky at desk height (known as the daylight distribution or no sky contour) is reduced by less than 20% of its existing area. The BRE Guidelines state this in paragraph 2.2.21 as:

“If any part of a new building or extension, measured in a vertical section perpendicular to a main window wall of an existing building, from the centre of the lowest window, subtends an angle of more than 25° to the horizontal, then the diffuse daylighting of the existing building may be adversely affected. This will be the case if either:

- *The VSC measured at the centre of an existing main window is less than 27%, and less than 0.8 times its former value*
- *The area of the working plane in a room which can receive direct skylight is reduced to less than 0.8 times its former value.”*



The BRE Guidelines state in paragraph 2.2.2:

“Bathrooms, toilets, storerooms, circulation areas and garages need not be analysed.”

In new surrounding buildings, where layouts are known, it may also be appropriate to analyse the Average Daylight Factor. The ADF measure of daylight takes into account the main factors that affect the actual daylight appearance of a room including the area of sky visibility, which is closely related to VSC, the area of the window serving the room, the glazing transmittance, the total area of the room's surfaces and the internal reflectance of the room. ADF then provides an absolute measure of daylight expressed as a ratio of daylight for the room in question as a proportion of the daylight outside at any moment in time.

The BRE Guidelines refers to BS 8206-2 Code of practice for daylighting and CIBSE Lighting Guide LG10, which gives recommended minimum values of ADF of 2% for kitchens, 1.5% for living rooms, and 1% for bedrooms.

The test for sunlight to the neighbouring properties is calculated for each living room with a main window facing within 90° of due south. Bedrooms and kitchens are considered by the BRE Guidelines as less important for sunlight. The BRE Guidelines state that any south facing window may potentially receive up to 1486 hours of sunlight per year on average, representing 100% of the annual probable sunlight hours (APSH).

The BRE Guidelines state that, each main window facing within 90° of due south serving a main living room may be adversely affected if it has less than 25% of the APSH across the whole year or less than 5% APSH during the winter months (defined as the 6 months from September 21st through to March 21st); and receives less than 0.8 times its former sunlight hours as a result of a proposed development; and has a reduction in sunlight hours received over the whole year greater than 4% of annual probable sunlight hours with the development in place.

Following the BRE Guidelines recommendations, VSC and APSH are measured from a point on the outer window wall whilst ADF is measured from the point halfway between the inner and outer window wall.

2.3 ALTERNATIVE TARGET VALUES AND APPLYING A FLEXIBLE APPROACH

The BRE Guidelines recommend that, in urban development locations, alternative baselines or lower target values may be used (c.f. Appendix F of the BRE Guidelines for Daylight & Sunlight). Paragraph F1 states:

“These values [those set out in the BRE Guidelines] are purely advisory and different targets may used based on the special requirements of the



proposed development or its location. Such alternative targets may be generated from the layout dimensions of existing development, or they may be derived from considering the internal layout and daylight needs of the proposed development itself."

Indeed, in paragraph 2.2.3 of the BRE Guidelines it states:

"Note that numerical values given here are purely advisory. Different criteria may be used based on the requirements for daylighting in an area viewed against other site layout constraints. Another important issue is whether the existing building is itself a good neighbour, standing a reasonable distance from the boundary and taking more than its fair share of light. Appendix F gives further guidance."

In Paragraph F2, the BRE Guidelines state:

"Sometimes there may be an extant planning permission for a site but the developer wants to change the design. In assessing the loss of light to existing windows nearby, the local authority may allow the vertical sky component (VSC) and annual probable sunlight hours (APSH) for the permitted scheme to be used as alternative benchmarks. However, since the permitted scheme only exists on paper, it would be inappropriate for it to be treated in the same way as an existing building, and for the developer to set 0.8 times the values for the permitted scheme as benchmarks."

Applying flexibility when considering the BRE Guidelines in planning terms is also supported by the National Planning Policy Framework (NPPF) (July 2021) which states in paragraph 125:

"Where there is an existing or anticipated shortage of land for meeting identified housing needs, it is especially important that planning policies and decisions avoid homes being built at low densities, and ensure that developments make optimal use of the potential of each site. In these circumstances:

...

(c) local planning authorities should refuse applications which they consider fail to make efficient use of land, taking into account the policies in this Framework. In this context, when considering applications for housing, authorities should take a flexible approach in applying policies or guidance relating to daylight and sunlight, where they would otherwise inhibit making efficient use of a site (as long as the resulting scheme would provide acceptable living standards)."



In considering planning policy, it is important to establish whether the impact of a proposed development on the daylighting and sunlight conditions of surrounding property to the development:

- would or would not result in a “material deterioration” of those conditions; and
- whether such deterioration would be “unacceptable”.

The BRE Guidelines are those that assess the impact of a proposed development and whether or not there is likely to be a “material deterioration”.

2.4 METHOD USED FOR CALCULATING THE DAYLIGHT AND SUNLIGHT RESULTS

The analysis provided in this report utilizes state-of-the-art software to calculate in three dimensions the daylight and sunlight following the methods specified in the BRE Guidelines. A three dimensional accurate computer model has been created for the existing site in context of the immediate surrounding properties, based upon a photogrammetric survey of the site and surrounding properties, site photographs and Ordnance Survey information.

Drawings of the existing and proposed building in context of the surrounding properties are shown in Appendix 1.

2.4.1 SURROUNDING PROPERTIES

Daylight and sunlight levels comparing the existing and proposed daylight (VSC and daylight distribution) and sunlight (APSH) situation are then calculated for the surrounding properties. These results are provided in Appendix 2.

REFERENCES:

BRE Guidelines (BR 209): *Site layout planning for daylight and sunlight: a guide to good practice*, by PJ Littlefair (2011).

These Guidelines provide the basis of the analysis described in this report. Please refer to this document for a detailed description as to the approach, methodology, and implementation of the numerical analysis used in this report. A summary of the approach and methods recommended by the BRE Guidelines is included in Section 2 above of this report.

3 ASSUMPTIONS USED IN THE ANALYSIS

Uses of the surrounding properties have been based on external appearance to determine whether they are residential or commercial use. Where this is ambiguous, we



have researched the Council Tax records for the property, which if listed would indicate residential use.

It is important to note that, in some cases, the window positions in the surrounding property elevations has been estimated based on brick counts from site photographs. The floor levels for the surrounding buildings are assumed unless otherwise indicated, which may affect the daylight distribution calculations.

We have obtained layouts for the following properties from the local planning portal and/or estate agency listings:

- 8-13 Fitzroy Street
- 12-16 Fitzroy Street
- 19-23 Fitzroy Street

We have not been able to obtain layouts or gain access internally to any of the remaining surrounding properties and so details of the internal layouts and floor level heights have been assumed from the external appearance of the building, and the locations of windows. Unless known or otherwise, appropriate the depths of rooms have been assumed at 4.27m for residential properties and 6m for commercial properties, or half the building depth if this is less than these dimensions.

All property addresses are taken from the Land Registry MapSearch website and we advise that these are checked by your solicitor prior to any action being taken based on this report.

4 SOURCES OF INFORMATION USED IN THE REPORT

Squire & Partners

21063-SQP-B1-ZZ-M3-A-Building_220328

Received 28.3.22

Waldrams Chartered Surveyors

Photogrammetry

Site Photographs

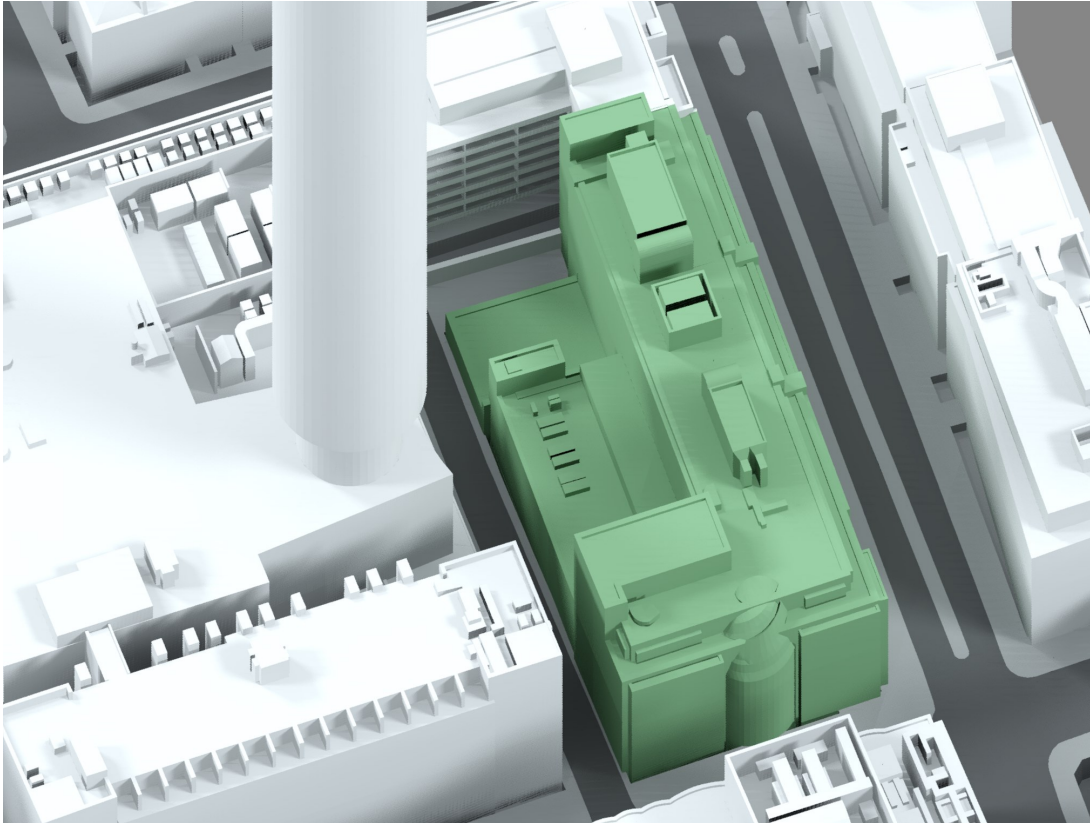


Photo 1: Existing site

5 DAYLIGHT & SUNLIGHT ANALYSIS

The existing site is shown on drawings 2164-01-01 to -01-03 in Appendix 1 whilst the proposed scheme is shown on drawings 2164-06-01 to -06-03. The existing site in its current condition is shown in photo 1 above.

In terms of daylight and sunlight, the following properties in the table below were analysed due to their proximity to the development site given the height and massing of the proposal.

The properties listed below are not residential and are generally less sensitive when considering daylight and sunlight following the recommendations within the BRE Guidelines. We have assumed therefore that these properties will retain adequate daylight and sunlight given their use and location and they have not been considered further.

The table below demonstrates that 18 - 24 Fitzroy Street will meet the target values as set out in the BRE Guidelines for daylight (in terms of VSC and daylight distribution) and sunlight (in terms of APSH) and therefore, as this property is not commented on further.

Commentary on the remaining two properties follows below the table.



Table 1: Summary of Daylight and Sunlight results

Property	Vertical Sky Component					No Sky Line				Annual Probable Sunlight Hours	
	Windows tested	Windows satisfying BRE criteria	Windows not satisfying BRE criteria (reduction)		Rooms tested	Rooms satisfying BRE criteria	Rooms not satisfying BRE criteria (reduction)		South facing windows tested	Windows satisfying BRE criteria	
			20-29.9%	30-39.9%			30-39.9%	>40%			
25 Howland	88	87	1	1	17	17			1	1	
BT Tower	95	85	5	3	39	36	3		8	8	
19-23 Fitzroy Street	37	35		2	34	32	1	1	37	37	
8 - 13 Fitzroy Street	164	164			24	24			164	164	
12 - 16 Fitzroy Street	52	52			36	34	2		46	46	
18 - 24 Fitzroy Street	61	61			54	54			61	61	

Notes:

1. Non-residential properties are highlighted blue.
2. Within 12-16 Fitzroy Street room layouts have been assumed and therefore No Sky Line can only be indicative



12-16 Fitzroy Street

12-16 Fitzroy Street will meet the target values as set out in the BRE Guidelines for daylight in terms of VSC and sunlight in terms of APSH. There is one room that retains 79% NSL very slightly below the 80% recommended, however, room layouts within this property have been assumed and therefore No Sky Line can only be indicative. Overall, therefore in our opinion the impacts to the daylight and sunlight within this property should be considered acceptable.

19-23 Fitzroy Street

All residential rooms and windows within 19-23 Fitzroy Street will meet the target values as set out in the BRE Guidelines for daylight (in terms of VSC and daylight distribution) and sunlight (in terms of APSH). Any reductions beyond these recommendations are to the commercial or ancillary space on the ground floor.



6 CONCLUSIONS

This is a report into the impact of the proposed MMA development at 13 to 17 Fitzroy St, London W1T on the daylight and sunlight to surrounding residential properties. This analysis has been based upon scheme drawings provided by Squire & Partners, a photogrammetric survey, and site photography.

There is an extant consent for this site that has not been implemented. The current report considered a Minor Material Amendment to this extant consent. The adjustments between the existing consent and the MMA are minor in massing terms and include a slight increase in height of the electrical plants on the roof of the building along with a new roof terrace and surrounding railing. The analysis within this report compares the existing position with the MMA proposal.

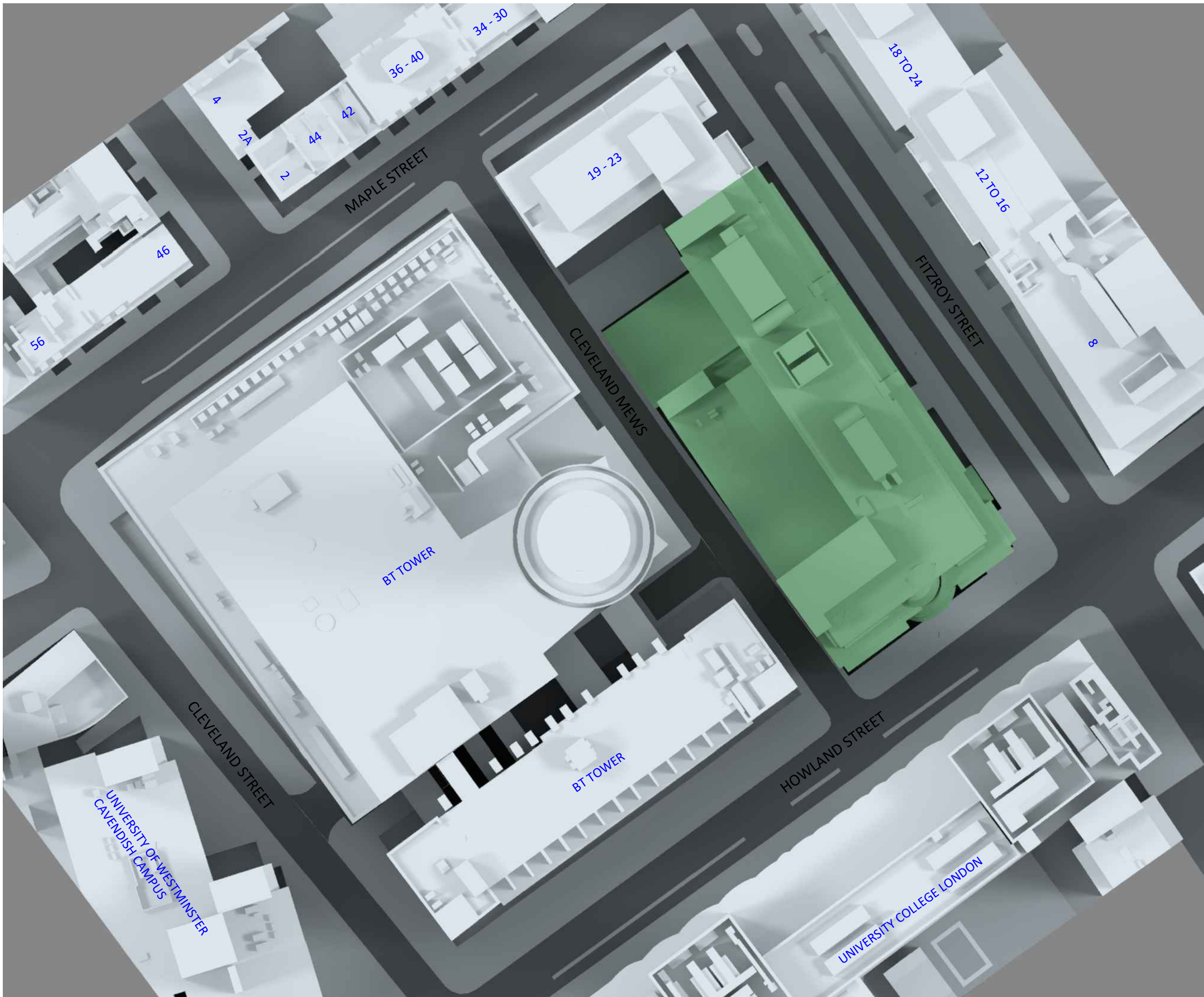
The analysis has been carried out in accordance with the methodologies contained in the Building Research Establishment's *Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice* (2011) (the "BRE Guidelines"), which is used by the local authority to determine the acceptability of a proposal in terms of its effect on neighbouring daylight and sunlight amenity.

The analysis shows that the impacts of the proposed MMA development on the Daylight & Sunlight available to neighbouring residential properties will not exceed the levels recommended within the BRE Guidelines for daylight in VSC terms and Sunlight.



APPENDIX 1

Drawings

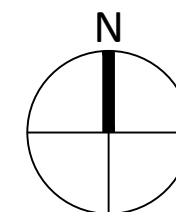


SOURCES OF INFORMATION:

SQUIRE AND PARTNERS
IRO1 (RECEIVED 28.02.18)

ACUCITIES
IRO2 (RECEIVED 23.10.18)

SITE PHOTOGRAPHS



NOTES:

EXISTING BUILDING SHOWN IN GREEN



waldrams

Email: contact@waldrams.com
Tel: 020 7183 9109
www.waldrams.com

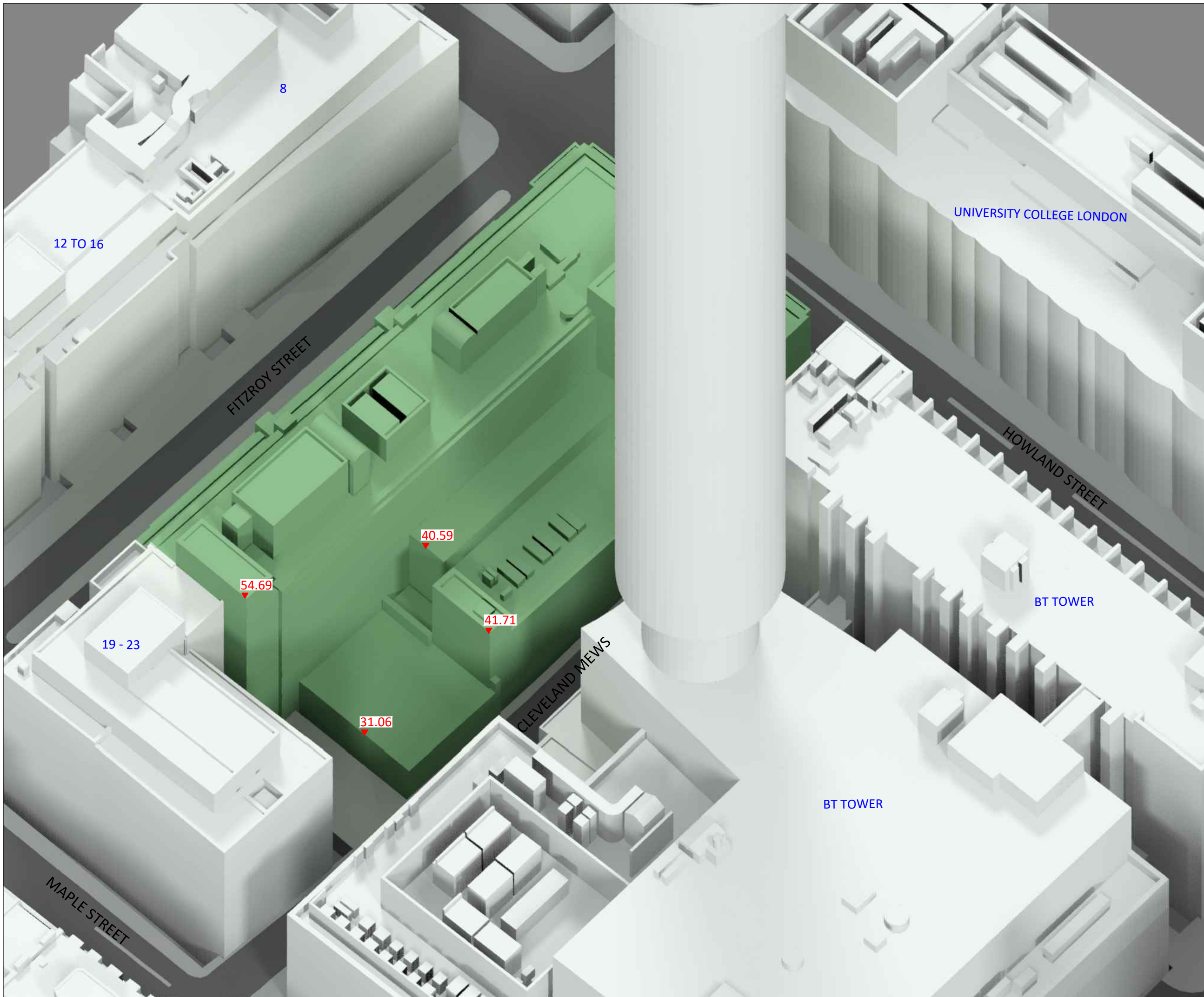
PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
PLAN VIEW
EXISTING CONDITION

DATE 30.10.18	SCALE @ A3 1:500
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MODELED BY JG	DRAWN BY JG
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PROJECT No. 2164	REL No.- DRAWING No. 01-01
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SOURCES OF INFORMATION:

SQUIRE AND PARTNERS
IRO1 (RECEIVED 28.02.18)

ACUCITIES
IRO2 (RECEIVED 23.10.18)

SITE PHOTOGRAPHS

NOTES:

EXISTING BUILDING SHOWN IN GREEN



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www.waldrams.com

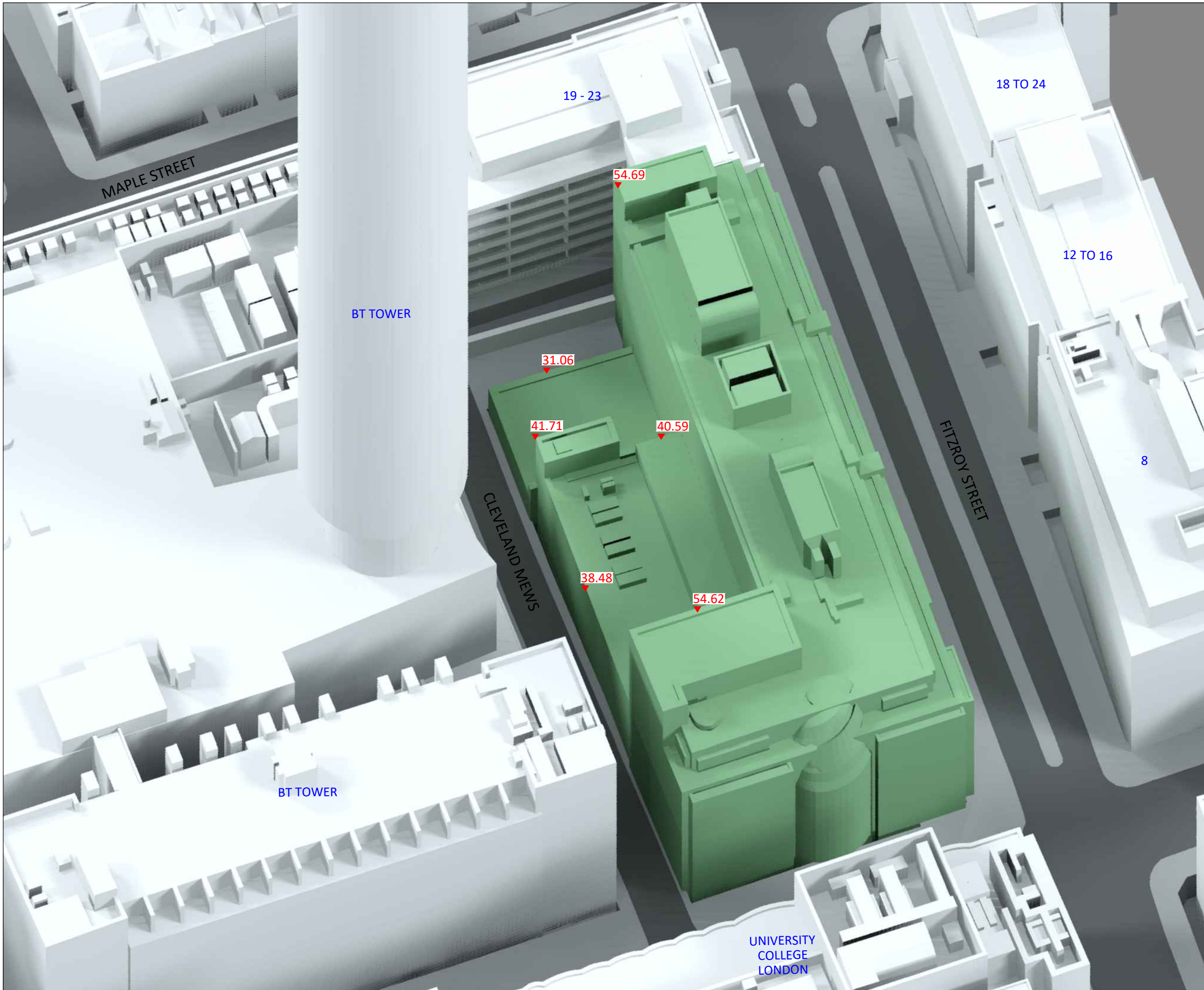
PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
PLAN VIEW
EXISTING CONDITION

DATE 30.10.18	SCALE @ A3 NTS
------------------	-------------------

MODELED BY JG	DRAWN BY JG
------------------	----------------

PROJECT No. 2164	REL No.- DRAWING No. 01-02
----------------------------	--------------------------------------



SOURCES OF INFORMATION:

SQUIRE AND PARTNERS
 IRO1 (RECEIVED 28.02.18)
 ACUCITIES
 IRO2 (RECEIVED 23.10.18)
 SITE PHOTOGRAPHS

NOTES:
 EXISTING BUILDING SHOWN IN GREEN

waldrams
 Email: contact@waldrams.com
 Tel: 020 7183 9109
 www.waldrams.com

PROJECT
 13 FITZROY STREET
 LONDON, W1T

DRAWING
 PLAN VIEW
 EXISTING CONDITION

DATE 30.10.18	SCALE @ A3 NTS
MODELED BY JG	DRAWN BY JG
PROJECT No. 2164	REL No.- DRAWING No. 01-03

SOURCES OF INFORMATION:

SQUIRE & PAR
IR10 (RECEIVED 28.03.2022)

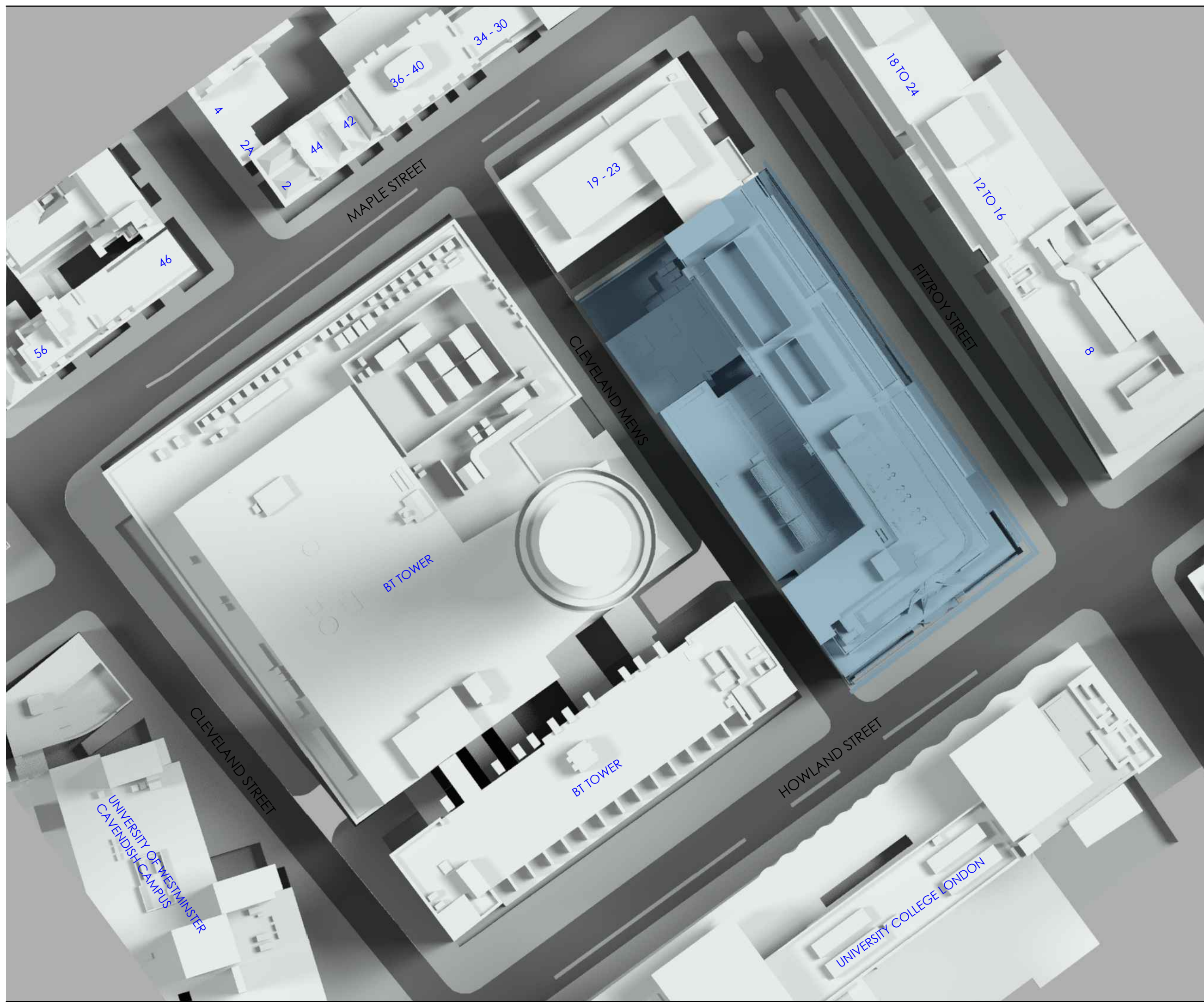
WALDRAMS LTD
2164_05

SITE PHOTOGRAPHS

SURROUNDING PROPERTY INFORMATION

NOTES:

PROPOSED BUILDING SHOWN IN BLUE



PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
PLAN VIEW
PROPOSED SCHEME

SCALE @ A3
1:500

DATE
12.04.2022

MODELLED BY
VR

DRAWN BY
VR

PROJECT No.
2164

REL No.- DWG No.
06-01

SOURCES OF INFORMATION:

SQUIRE & PAR
IR10 (RECEIVED 28.03.2022)

WALDRAMS LTD
2164_05

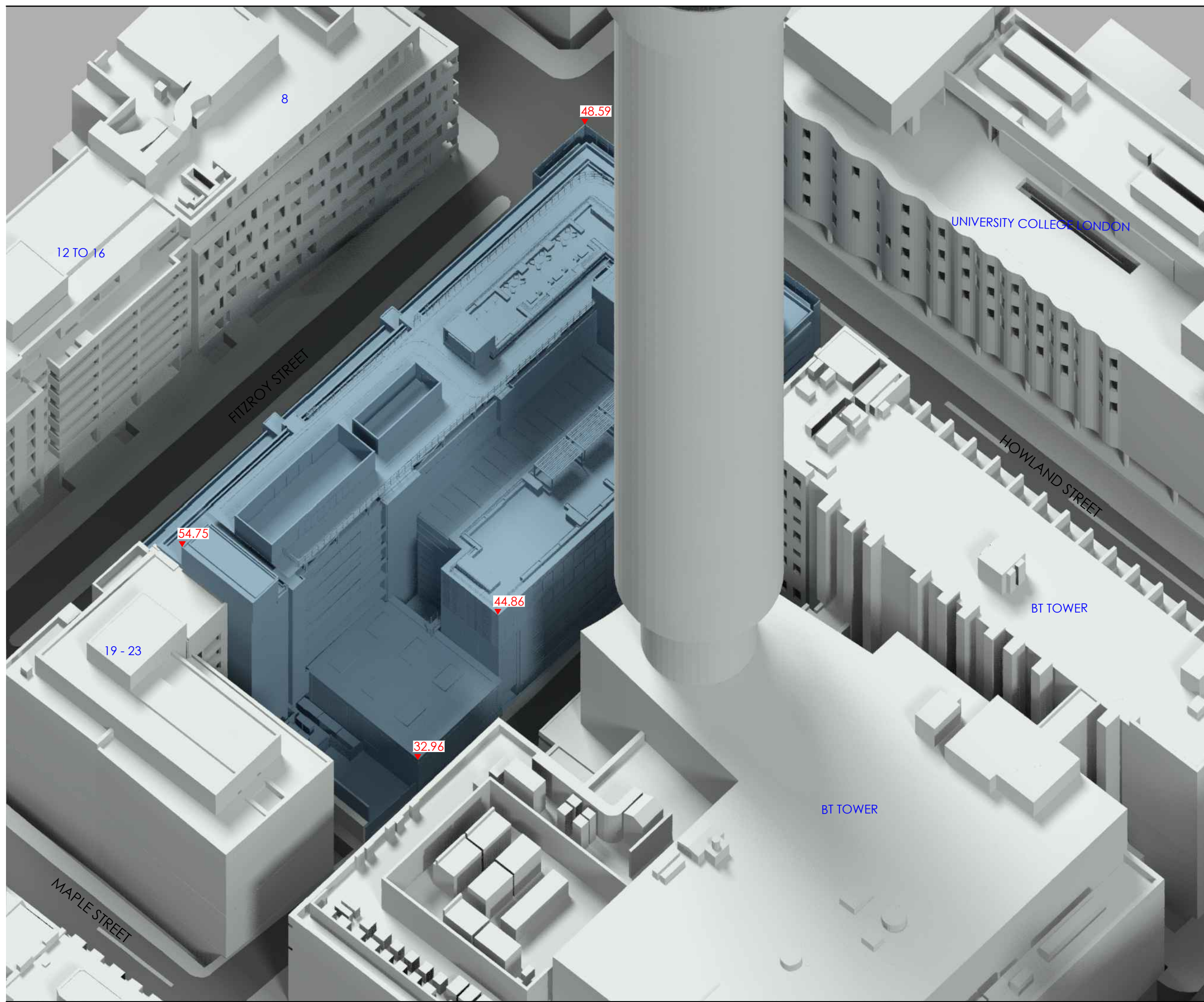
SITE PHOTOGRAPHS

SURROUNDING PROPERTY INFORMATION

NOTES:

PROPOSED BUILDING SHOWN IN BLUE

AOD HEIGHTS SHOWN IN METRES



PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
3D VIEW
PROPOSED SCHEME

SCALE @ A3 **DATE**
NTS 12.04.2022

MODELLED BY **DRAWN BY**
VR VR

PROJECT No. **REL No. - DWG No.**
2164 06-02

SOURCES OF INFORMATION:

SQUIRE & PAR
IR10 (RECEIVED 28.03.2022)

WALDRAMS LTD
2164_05

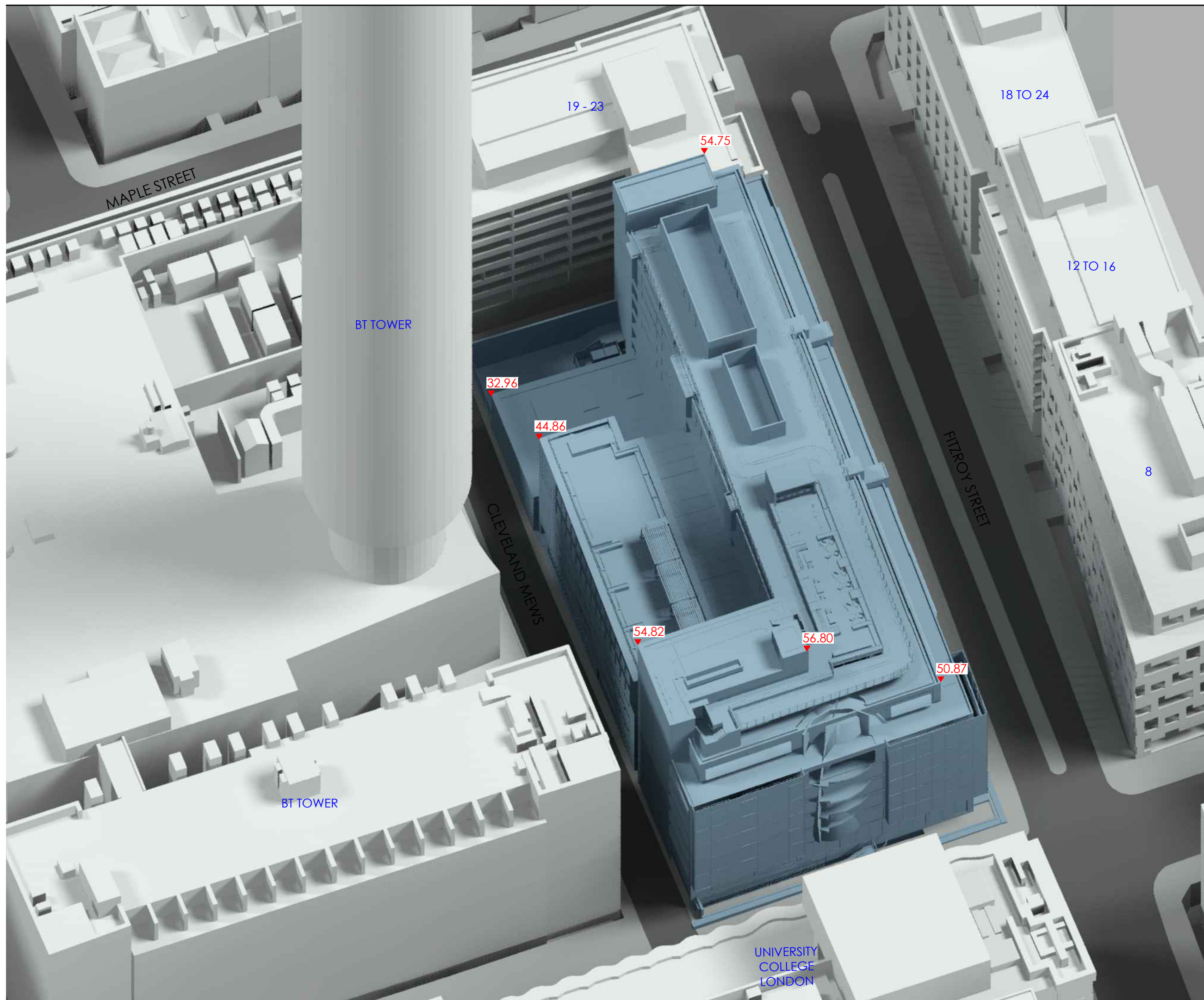
SITE PHOTOGRAPHS

SURROUNDING PROPERTY INFORMATION

NOTES:

PROPOSED BUILDING SHOWN IN BLUE

AOD HEIGHTS SHOWN IN METRES



PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
3D VIEW
PROPOSED SCHEME

SCALE @ A3 **DATE**
NTS 12.04.2022

MODELLED BY **DRAWN BY**
VR VR

PROJECT No. **REL No. - DWG No.**
2164 06-03



APPENDIX 2

Daylight & Sunlight Results

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed	Existing Sunlight	Proposed Sunlight	Ratio Proposed
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
25 HOWLAND STREET																	
Ground	R1	Commercial	Office	W1	0.03	0.03	1.00	110.81	0.09	0.09	1.00	0	0	North	0	0	North
Ground	R1	Commercial	Office	W6	0.04	0.04	1.00	110.81	0.09	0.09	1.00	0	0	North	0	0	North
Ground	R2	Commercial	Office	W2	0.01	0.01	1.00	23.17	0.00	0.00	1.00	0	0	North	0	0	North
Ground	R3	Commercial	Office	W3	0.01	0.01	1.30	71.34	15.12	12.08	0.80	0	0	North	0	0	North
Ground	R3	Commercial	Office	W4	0.30	0.16	0.52	71.34	15.12	12.08	0.80	0	0	North	0	0	North
Ground	R4	Commercial	Office	W5	0.03	0.03	1.00	307.26	31.59	29.04	0.92	0	0	North	0	0	North
First	R1	Commercial	Office	W1	16.12	15.15	0.94	397.47	38.47	36.46	0.95	12	12	North	0	0	North
First	R1	Commercial	Office	W2	15.25	13.87	0.91	397.47	38.47	36.46	0.95	4	4	North	0	0	North
First	R1	Commercial	Office	W3	16.45	14.94	0.91	397.47	38.47	36.46	0.95	2	2	North	0	0	North
First	R1	Commercial	Office	W4	15.27	13.98	0.92	397.47	38.47	36.46	0.95	8	8	North	0	0	North
First	R1	Commercial	Office	W5	16.57	14.99	0.90	397.47	38.47	36.46	0.95	9	9	North	0	0	North
First	R1	Commercial	Office	W6	19.55	17.87	0.91	397.47	38.47	36.46	0.95	3	3	North	0	0	North
First	R1	Commercial	Office	W7	25.26	25.22	1.00	397.47	38.47	36.46	0.95	22	22	North	6	6	North
Second	R1	Commercial	Office	W1	17.85	17.81	1.00	241.01	56.58	56.10	0.99	13	13	North	0	0	North
Second	R1	Commercial	Office	W2	17.12	16.89	0.99	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R1	Commercial	Office	W3	17.17	16.88	0.98	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R1	Commercial	Office	W4	16.89	16.80	0.99	241.01	56.58	56.10	0.99	9	9	North	0	0	North
Second	R1	Commercial	Office	W5	17.35	16.98	0.98	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R1	Commercial	Office	W6	16.90	16.76	0.99	241.01	56.58	56.10	0.99	9	9	North	0	0	North
Second	R1	Commercial	Office	W7	17.79	17.39	0.98	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R1	Commercial	Office	W8	17.33	17.19	0.99	241.01	56.58	56.10	0.99	10	10	North	1	1	North
Second	R1	Commercial	Office	W9	18.86	18.32	0.97	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R1	Commercial	Office	W10	18.23	17.97	0.99	241.01	56.58	56.10	0.99	10	10	North	1	1	North
Second	R1	Commercial	Office	W11	19.21	18.87	0.98	241.01	56.58	56.10	0.99	10	10	North	1	1	North
Second	R1	Commercial	Office	W12	19.43	18.97	0.98	241.01	56.58	56.10	0.99	10	10	North	1	1	North
Second	R1	Commercial	Office	W13	20.48	19.53	0.95	241.01	56.58	56.10	0.99	4	4	North	0	0	North
Second	R2	Commercial	Office	W14	19.44	18.57	0.96	164.36	94.09	93.19	0.99	13	13	North	0	0	North
Second	R2	Commercial	Office	W15	19.87	18.39	0.93	164.36	94.09	93.19	0.99	9	9	North	1	1	North
Second	R2	Commercial	Office	W16	19.06	17.76	0.93	164.36	94.09	93.19	0.99	5	5	North	0	0	North
Second	R2	Commercial	Office	W17	18.26	17.26	0.95	164.36	94.09	93.19	0.99	10	10	North	0	0	North
Second	R2	Commercial	Office	W18	20.37	18.99	0.93	164.36	94.09	93.19	0.99	3	3	North	0	0	North
Second	R2	Commercial	Office	W19	19.06	17.90	0.94	164.36	94.09	93.19	0.99	10	10	North	1	1	North
Second	R2	Commercial	Office	W20	21.47	19.96	0.93	164.36	94.09	93.19	0.99	3	3	North	0	0	North
Second	R2	Commercial	Office	W21	20.60	19.09	0.93	164.36	94.09	93.19	0.99	10	10	North	0	0	North
Second	R2	Commercial	Office	W22	23.66	22.09	0.93	164.36	94.09	93.19	0.99	4	4	North	0	0	North
Second	R2	Commercial	Office	W23	29.24	29.21	1.00	164.36	94.09	93.19	0.99	25	25	North	6	6	North
Third	R1	Commercial	Office	W1	21.79	21.75	1.00	237.83	77.22	75.34	0.98	13	13	North	0	0	North
Third	R1	Commercial	Office	W2	20.88	20.67	0.99	237.83	77.22	75.34	0.98	5	5	North	0	0	North
Third	R1	Commercial	Office	W3	20.89	20.64	0.99	237.83	77.22	75.34	0.98	5	5	North	0	0	North
Third	R1	Commercial	Office	W4	20.68	20.59	1.00	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W5	21.05	20.74	0.99	237.83	77.22	75.34	0.98	5	5	North	0	0	North
Third	R1	Commercial	Office	W6	20.64	20.51	0.99	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W7	21.47	21.12	0.98	237.83	77.22	75.34	0.98	5	5	North	0	0	North

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio	Existing Sunlight	Proposed Sunlight	Ratio
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Third	R1	Commercial	Office	W8	20.99	20.86	0.99	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W9	22.43	21.98	0.98	237.83	77.22	75.34	0.98	4	4	North	0	0	North
Third	R1	Commercial	Office	W10	21.74	21.53	0.99	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W11	23.55	22.99	0.98	237.83	77.22	75.34	0.98	5	5	North	0	0	North
Third	R1	Commercial	Office	W12	22.57	22.27	0.99	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W13	22.79	22.37	0.98	237.83	77.22	75.34	0.98	10	10	North	1	1	North
Third	R1	Commercial	Office	W14	24.04	23.20	0.96	237.83	77.22	75.34	0.98	4	4	North	0	0	North
Third	R2	Commercial	Office	W15	23.20	22.41	0.97	294.73	78.37	73.95	0.94	14	14	North	1	1	North
Third	R2	Commercial	Office	W16	23.44	22.14	0.94	294.73	78.37	73.95	0.94	5	5	North	0	0	North
Third	R2	Commercial	Office	W17	24.80	23.46	0.95	294.73	78.37	73.95	0.94	4	4	North	0	0	North
Third	R2	Commercial	Office	W18	23.43	22.25	0.95	294.73	78.37	73.95	0.94	12	12	North	1	1	North
Third	R2	Commercial	Office	W19	25.15	23.70	0.94	294.73	78.37	73.95	0.94	12	12	North	1	1	North
Third	R2	Commercial	Office	W20	28.06	26.62	0.95	294.73	78.37	73.95	0.94	4	4	North	0	0	North
Third	R2	Commercial	Office	W21	33.12	33.10	1.00	294.73	78.37	73.95	0.94	27	27	North	6	6	North
Fourth	R1	Commercial	Office	W1	26.15	26.11	1.00	196.24	95.29	93.47	0.98	16	16	North	0	0	North
Fourth	R1	Commercial	Office	W2	25.09	24.89	0.99	196.24	95.29	93.47	0.98	8	8	North	0	0	North
Fourth	R1	Commercial	Office	W3	25.11	24.86	0.99	196.24	95.29	93.47	0.98	8	8	North	0	0	North
Fourth	R1	Commercial	Office	W4	24.90	24.81	1.00	196.24	95.29	93.47	0.98	13	13	North	1	1	North
Fourth	R1	Commercial	Office	W5	25.24	24.94	0.99	196.24	95.29	93.47	0.98	7	7	North	0	0	North
Fourth	R1	Commercial	Office	W6	24.81	24.69	1.00	196.24	95.29	93.47	0.98	13	13	North	1	1	North
Fourth	R1	Commercial	Office	W7	25.59	25.25	0.99	196.24	95.29	93.47	0.98	7	7	North	0	0	North
Fourth	R1	Commercial	Office	W8	25.07	24.93	0.99	196.24	95.29	93.47	0.98	13	13	North	1	1	North
Fourth	R1	Commercial	Office	W9	26.38	25.95	0.98	196.24	95.29	93.47	0.98	8	8	North	0	0	North
Fourth	R1	Commercial	Office	W10	25.61	25.40	0.99	196.24	95.29	93.47	0.98	13	13	North	1	1	North
Fourth	R1	Commercial	Office	W11	27.29	26.76	0.98	196.24	95.29	93.47	0.98	7	7	North	0	0	North
Fourth	R1	Commercial	Office	W12	26.19	25.90	0.99	196.24	95.29	93.47	0.98	13	13	North	1	1	North
Fourth	R1	Commercial	Office	W13	26.35	25.96	0.99	196.24	95.29	93.47	0.98	14	14	North	1	1	North
Fourth	R1	Commercial	Office	W14	27.87	27.11	0.97	196.24	95.29	93.47	0.98	7	7	North	0	0	North
Fourth	R2	Commercial	Office	W15	27.26	26.62	0.98	164.36	98.18	98.17	1.00	17	17	North	1	1	North
Fourth	R2	Commercial	Office	W16	27.87	26.90	0.97	164.36	98.18	98.17	1.00	7	7	North	0	0	North
Fourth	R2	Commercial	Office	W17	26.92	26.07	0.97	164.36	98.18	98.17	1.00	16	16	North	1	1	North
Fourth	R2	Commercial	Office	W18	29.33	28.30	0.97	164.36	98.18	98.17	1.00	7	7	North	0	0	North
Fourth	R2	Commercial	Office	W19	27.98	27.02	0.97	164.36	98.18	98.17	1.00	16	16	North	1	1	North
Fourth	R2	Commercial	Office	W20	30.55	29.57	0.97	164.36	98.18	98.17	1.00	7	7	North	0	0	North
Fourth	R2	Commercial	Office	W21	29.61	28.61	0.97	164.36	98.18	98.17	1.00	15	15	North	1	1	North
Fourth	R2	Commercial	Office	W22	32.12	31.18	0.97	164.36	98.18	98.17	1.00	6	6	North	0	0	North
Fourth	R2	Commercial	Office	W23	36.51	36.50	1.00	164.36	98.18	98.17	1.00	31	31	North	6	6	North
Fifth	R1	Commercial	Office	W1	22.00	22.00	1.00	19.71	100.00	100.00	1.00	29	29	1.00	3	3	1.00
Fifth	R1	Commercial	Office	W2	15.64	15.29	0.98	19.71	100.00	100.00	1.00	16	16	North	2	2	North
Fifth	R2	Commercial	Office	W3	14.38	14.04	0.98	20.27	99.91	99.91	1.00	8	8	North	2	2	North
Fifth	R2	Commercial	Office	W4	14.53	14.20	0.98	20.27	99.91	99.91	1.00	7	7	North	2	2	North
Fifth	R3	Commercial	Office	W5	15.51	15.18	0.98	19.70	99.80	99.80	1.00	5	5	North	1	1	North
Fifth	R4	Commercial	Office	W6	22.82	22.59	0.99	140.36	91.27	91.27	1.00	17	17	North	1	1	North
Fifth	R5	Commercial	Office	W7	28.54	28.30	0.99	10.83	99.79	99.79	1.00	15	15	North	1	1	North
Fifth	R6	Commercial	Office	W8	31.96	31.80	0.99	23.80	100.00	100.00	1.00	18	18	North	0	0	North
BT TOWER																	

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Ground	R1	Commercial	Office	W1	4.82	3.66	0.76	15.65	31.31	25.19	0.80	5	5	North	0	0	North
Ground	R2	Commercial	Office	W2	5.23	3.70	0.71	15.65	50.01	31.81	0.64	6	6	North	0	0	North
Ground	R2	Commercial	Office	W3	5.88	3.87	0.66	15.65	50.01	31.81	0.64	6	6	North	0	0	North
Ground	R3	Commercial	Office	W4	6.72	4.13	0.61	16.93	94.82	94.47	1.00	7	6	North	0	0	North
Ground	R3	Commercial	Office	W5	7.67	4.21	0.55	16.93	94.82	94.47	1.00	7	7	North	0	0	North
Ground	R3	Commercial	Office	W6	13.32	10.22	0.77	16.93	94.82	94.47	1.00	1	1	North	0	0	North
Ground	R3	Commercial	Office	W7	12.00	9.60	0.80	16.93	94.82	94.47	1.00	1	1	North	0	0	North
Ground	R4	Commercial	Office	W8	10.22	8.44	0.83	16.88	77.54	77.54	1.00	0	0	North	0	0	North
Ground	R4	Commercial	Office	W9	8.43	7.15	0.85	16.88	77.54	77.54	1.00	0	0	North	0	0	North
First	R1	Commercial	Office	W1	6.60	5.72	0.87	15.65	27.95	18.23	0.65	8	8	North	0	0	North
First	R1	Commercial	Office	W2	6.76	5.79	0.86	15.65	27.95	18.23	0.65	10	9	North	0	0	North
First	R2	Commercial	Office	W3	7.41	6.04	0.82	15.65	33.84	22.51	0.67	9	8	North	0	0	North
First	R2	Commercial	Office	W4	8.57	6.51	0.76	15.65	33.84	22.51	0.67	8	8	North	0	0	North
First	R3	Commercial	Office	W5	10.12	7.19	0.71	16.93	98.83	97.99	0.99	8	8	North	0	0	North
First	R3	Commercial	Office	W6	12.00	7.45	0.62	16.93	98.83	97.99	0.99	8	8	North	0	0	North
First	R3	Commercial	Office	W7	16.36	14.13	0.86	16.93	98.83	97.99	0.99	2	2	North	0	0	North
First	R3	Commercial	Office	W8	14.67	13.29	0.91	16.93	98.83	97.99	0.99	2	2	North	0	0	North
First	R4	Commercial	Office	W9	12.45	11.64	0.94	16.88	76.11	74.68	0.98	2	2	North	0	0	North
First	R4	Commercial	Office	W10	10.45	10.07	0.96	16.88	76.11	74.68	0.98	0	0	North	0	0	North
First	R5	Commercial	Office	W11	9.19	8.56	0.93	35.39	73.97	62.16	0.84	0	0	North	0	0	North
First	R5	Commercial	Office	W12	9.78	8.96	0.92	35.39	73.97	62.16	0.84	0	0	North	0	0	North
First	R6	Commercial	Office	W13	3.25	3.24	1.00	6.00	0.00	0.00	1.00	0	0	1.00	0	0	1.00
First	R7	Commercial	Office	W14	4.10	4.06	0.99	6.00	3.56	3.53	0.99	1	1	1.00	0	0	1.00
First	R8	Commercial	Office	W15	2.84	2.75	0.97	139.94	19.08	17.49	0.92	1	1	1.00	0	0	1.00
First	R8	Commercial	Office	W16	0.46	0.41	0.90	139.94	19.08	17.49	0.92	1	1	1.00	0	0	1.00
First	R8	Commercial	Office	W17	2.20	0.25	0.11	139.94	19.08	17.49	0.92	1	0	North	0	0	North
First	R8	Commercial	Office	W18	2.35	2.35	1.00	139.94	19.08	17.49	0.92	0	0	North	0	0	North
First	R9	Commercial	Office	W19	14.10	13.11	0.93	46.20	99.58	98.01	0.98	29	26	0.90	1	1	1.00
First	R9	Commercial	Office	W20	15.23	14.62	0.96	46.20	99.58	98.01	0.98	31	30	0.97	2	2	1.00
First	R9	Commercial	Office	W21	18.92	18.27	0.97	46.20	99.58	98.01	0.98	20	19	North	3	3	North
First	R9	Commercial	Office	W22	20.79	20.45	0.98	46.20	99.58	98.01	0.98	22	21	North	3	3	North
First	R10	Commercial	Office	W23	17.29	17.15	0.99	44.70	99.91	99.91	1.00	20	19	North	3	3	North
First	R10	Commercial	Office	W24	19.28	19.24	1.00	44.70	99.91	99.91	1.00	20	21	North	3	3	North
First	R11	Commercial	Office	W25	13.10	13.08	1.00	45.00	85.90	84.16	0.98	19	19	North	3	3	North
First	R11	Commercial	Office	W26	15.18	15.19	1.00	45.00	85.90	84.16	0.98	19	21	North	3	3	North
Second	R1	Commercial	Office	W1	8.50	7.91	0.93	15.65	21.30	17.17	0.81	10	10	North	0	0	North
Second	R1	Commercial	Office	W2	8.46	8.07	0.95	15.65	21.30	17.17	0.81	11	9	North	0	0	North
Second	R2	Commercial	Office	W3	9.02	8.60	0.95	15.65	27.75	22.29	0.80	10	9	North	0	0	North
Second	R2	Commercial	Office	W4	10.25	9.55	0.93	15.65	27.75	22.29	0.80	10	10	North	1	1	North
Second	R3	Commercial	Office	W5	11.98	10.91	0.91	16.93	96.41	96.16	1.00	10	10	North	1	1	North
Second	R3	Commercial	Office	W6	14.20	11.55	0.81	16.93	96.41	96.16	1.00	10	9	North	1	1	North
Second	R3	Commercial	Office	W7	18.21	17.34	0.95	16.93	96.41	96.16	1.00	4	4	North	0	0	North
Second	R3	Commercial	Office	W8	16.43	16.17	0.98	16.93	96.41	96.16	1.00	3	3	North	0	0	North
Second	R4	Commercial	Office	W9	14.18	14.11	1.00	16.88	70.75	70.55	1.00	2	2	North	0	0	North
Second	R4	Commercial	Office	W10	12.11	12.09	1.00	16.88	70.75	70.55	1.00	0	0	North	0	0	North
Second	R5	Commercial	Office	W11	10.51	10.54	1.00	35.39	87.18	83.57	0.96	0	0	North	0	0	North

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Second	R5	Commercial	Office	W12	11.30	11.28	1.00	35.39	87.18	83.57	0.96	0	0	North	0	0	North
Second	R6	Commercial	Office	W13	16.89	16.75	0.99	46.20	100.00	100.00	1.00	34	34	1.00	2	2	1.00
Second	R6	Commercial	Office	W14	18.12	18.03	0.99	46.20	100.00	100.00	1.00	38	38	1.00	4	4	1.00
Second	R6	Commercial	Office	W15	23.71	23.58	0.99	46.20	100.00	100.00	1.00	23	22	North	4	3	North
Second	R6	Commercial	Office	W16	25.83	25.83	1.00	46.20	100.00	100.00	1.00	24	25	North	4	4	North
Second	R7	Commercial	Office	W17	22.88	22.91	1.00	44.70	99.92	99.92	1.00	22	22	North	3	3	North
Second	R7	Commercial	Office	W18	25.47	25.54	1.00	44.70	99.92	99.92	1.00	25	24	North	4	4	North
Second	R8	Commercial	Office	W19	19.14	19.17	1.00	45.00	99.01	98.95	1.00	21	22	North	3	3	North
Second	R8	Commercial	Office	W20	22.76	22.81	1.00	45.00	99.01	98.95	1.00	23	23	North	4	4	North
Third	R1	Commercial	Office	W1	11.59	11.12	0.96	15.65	43.58	45.54	1.05	14	14	North	1	1	North
Third	R1	Commercial	Office	W2	11.12	11.18	1.01	15.65	43.58	45.54	1.05	14	14	North	1	1	North
Third	R2	Commercial	Office	W3	11.35	11.86	1.05	15.65	57.20	57.99	1.01	15	14	North	1	1	North
Third	R2	Commercial	Office	W4	12.48	13.33	1.07	15.65	57.20	57.99	1.01	14	14	North	1	1	North
Third	R3	Commercial	Office	W5	14.29	15.63	1.09	16.93	99.03	98.88	1.00	16	15	North	2	2	North
Third	R3	Commercial	Office	W6	16.80	17.28	1.03	16.93	99.03	98.88	1.00	14	12	North	2	2	North
Third	R3	Commercial	Office	W7	20.28	20.26	1.00	16.93	99.03	98.88	1.00	6	6	North	0	0	North
Third	R3	Commercial	Office	W8	18.51	18.49	1.00	16.93	99.03	98.88	1.00	6	6	North	0	0	North
Third	R4	Commercial	Office	W9	16.36	16.34	1.00	16.88	81.27	81.27	1.00	5	5	North	0	0	North
Third	R4	Commercial	Office	W10	14.32	14.32	1.00	16.88	81.27	81.27	1.00	3	3	North	0	0	North
Fourth	R1	Commercial	Office	W1	16.60	15.42	0.93	15.65	55.32	51.99	0.94	21	21	North	2	2	North
Fourth	R1	Commercial	Office	W2	15.09	14.66	0.97	15.65	55.32	51.99	0.94	21	21	North	2	2	North
Fourth	R2	Commercial	Office	W3	14.60	14.89	1.02	15.65	55.93	54.50	0.97	22	20	North	2	2	North
Fourth	R2	Commercial	Office	W4	15.40	16.26	1.06	15.65	55.93	54.50	0.97	18	17	North	3	3	North
Fourth	R3	Commercial	Office	W5	17.27	18.82	1.09	16.93	97.13	96.97	1.00	17	16	North	3	3	North
Fourth	R3	Commercial	Office	W6	20.04	20.79	1.04	16.93	97.13	96.97	1.00	15	14	North	3	3	North
Fourth	R3	Commercial	Office	W7	22.58	22.58	1.00	16.93	97.13	96.97	1.00	9	9	North	0	0	North
Fourth	R3	Commercial	Office	W8	20.99	20.99	1.00	16.93	97.13	96.97	1.00	8	8	North	0	0	North
Fourth	R4	Commercial	Office	W9	19.10	19.10	1.00	16.88	80.30	80.30	1.00	6	6	North	0	0	North
Fourth	R4	Commercial	Office	W10	17.21	17.22	1.00	16.88	80.30	80.30	1.00	4	4	North	0	0	North
Fifth	R1	Commercial	Office	W1	22.90	21.05	0.92	15.65	89.45	81.96	0.92	27	25	North	3	3	North
Fifth	R1	Commercial	Office	W2	20.63	19.70	0.96	15.65	89.45	81.96	0.92	25	23	North	3	3	North
Fifth	R2	Commercial	Office	W3	19.66	19.65	1.00	15.65	82.75	86.12	1.04	23	22	North	3	3	North
Fifth	R2	Commercial	Office	W4	20.21	20.82	1.03	15.65	82.75	86.12	1.04	19	17	North	3	3	North
Fifth	R3	Commercial	Office	W5	21.87	23.36	1.07	16.93	99.58	99.58	1.00	17	17	North	3	3	North
Fifth	R3	Commercial	Office	W6	24.61	25.47	1.04	16.93	99.58	99.58	1.00	17	17	North	3	3	North
Fifth	R3	Commercial	Office	W7	24.87	24.89	1.00	16.93	99.58	99.58	1.00	14	14	North	1	1	North
Fifth	R3	Commercial	Office	W8	23.63	23.66	1.00	16.93	99.58	99.58	1.00	14	14	North	1	1	North
Fifth	R4	Commercial	Office	W9	22.17	22.20	1.00	16.88	99.20	99.20	1.00	10	10	North	0	0	North
Fifth	R4	Commercial	Office	W10	20.57	20.60	1.00	16.88	99.20	99.20	1.00	7	7	North	0	0	North
Sixth	R1	Commercial	Office	W1	32.79	31.46	0.96	15.65	98.03	98.03	1.00	28	28	North	3	3	North
Sixth	R1	Commercial	Office	W2	31.48	30.60	0.97	15.65	98.03	98.03	1.00	28	25	North	4	4	North
Sixth	R2	Commercial	Office	W3	30.92	30.41	0.98	15.65	98.03	98.03	1.00	26	25	North	4	4	North
Sixth	R2	Commercial	Office	W4	31.13	31.03	1.00	15.65	98.03	98.03	1.00	26	25	North	4	4	North
Sixth	R3	Commercial	Office	W5	31.92	32.49	1.02	16.93	99.78	99.78	1.00	26	25	North	4	4	North
Sixth	R3	Commercial	Office	W6	33.27	33.75	1.01	16.93	99.78	99.78	1.00	26	25	North	4	4	North
Sixth	R3	Commercial	Office	W7	27.01	27.09	1.00	16.93	99.78	99.78	1.00	16	16	North	2	2	North

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio	Existing Sunlight	Proposed Sunlight	Ratio
												Annual%	Annual%	Proposed /Existing Annual	Winter%	Winter%	Proposed /Existing Winter
Sixth	R3	Commercial	Office	W8	26.17	26.25	1.00	16.93	99.78	99.78	1.00	17	17	North	2	2	North
Sixth	R4	Commercial	Office	W9	25.28	25.34	1.00	16.88	98.12	98.12	1.00	15	15	North	0	0	North
Sixth	R4	Commercial	Office	W10	24.19	24.25	1.00	16.88	98.12	98.12	1.00	14	14	North	0	0	North
19-23 FITZROY STREET																	
Ground	R1	Commercial	Unknown	W1	0.00	0.00	1.00	25.59	0.00	0.00	1.00	0	0	1.00	0	0	1.00
Ground	R2	Commercial	Unknown	W2	0.89	0.30	0.34	13.67	33.54	26.61	0.79	1	1	1.00	1	1	1.00
Ground	R3	Commercial	Unknown	W3	0.51	0.06	0.11	10.23	28.53	17.85	0.63	0	0	1.00	0	0	1.00
Ground	R4	Commercial	Unknown	W4	6.80	6.79	1.00	27.15	40.22	40.24	1.00	13	13	1.00	2	2	1.00
First	R1	Commercial	Unknown	W1	14.10	13.19	0.94	109.94	64.70	60.15	0.93	23	24	1.04	3	3	1.00
First	R1	Commercial	Unknown	W2	12.65	11.83	0.94	109.94	64.70	60.15	0.93	29	29	1.00	5	5	1.00
First	R1	Commercial	Unknown	W3	9.28	8.30	0.89	109.94	64.70	60.15	0.93	25	23	0.92	7	6	0.86
First	R2	Commercial	Unknown	W4	7.23	7.06	0.98	35.92	45.94	45.47	0.99	15	13	0.87	2	2	1.00
First	R2	Commercial	Unknown	W5	8.39	8.37	1.00	35.92	45.94	45.47	0.99	15	15	1.00	2	2	1.00
Second	R1	Residential	Living Room	W1	16.04	15.48	0.97	11.37	99.96	99.95	1.00	29	27	0.93	4	3	0.75
Second	R2	Residential	Bedroom	W2	15.92	15.22	0.96	7.78	99.39	99.38	1.00	33	30	0.91	7	5	0.71
Second	R3	Residential	Living Room	W3	15.02	14.33	0.95	11.59	100.00	100.00	1.00	35	34	0.97	8	7	0.88
Second	R4	Residential	Bedroom	W4	13.45	12.91	0.96	7.78	98.94	98.94	1.00	33	33	1.00	7	7	1.00
Second	R5	Residential	Living Room	W5	11.31	10.77	0.95	11.59	99.88	99.61	1.00	28	28	1.00	7	7	1.00
Second	R6	Residential	Bedroom	W6	6.77	5.98	0.88	7.78	93.37	91.35	0.98	21	20	0.95	7	7	1.00
Second	R7	Residential	Bedroom	W7	8.17	7.96	0.98	7.78	83.65	82.10	0.98	16	14	0.88	3	3	1.00
Second	R8	Residential	Living Room	W8	9.69	9.67	1.00	12.70	91.76	91.78	1.00	16	16	1.00	3	3	1.00
Third	R1	Residential	Unknown-Resi	W1	18.54	18.20	0.98	25.60	100.00	100.00	1.00	39	39	1.00	8	8	1.00
Third	R2	Residential	Unknown-Resi	W2	16.32	15.82	0.97	25.60	100.00	100.00	1.00	38	38	1.00	9	9	1.00
Third	R3	Residential	Unknown-Resi	W3	11.06	10.46	0.95	25.60	100.00	100.00	1.00	29	28	0.97	10	9	0.90
Third	R4	Residential	Unknown-Resi	W4	9.15	8.96	0.98	11.31	91.73	91.06	0.99	17	15	0.88	4	4	1.00
Third	R5	Residential	Unknown-Resi	W5	11.24	11.22	1.00	14.21	96.92	96.92	1.00	17	17	1.00	4	4	1.00
Fourth	R1	Residential	Unknown-Resi	W1	20.81	20.64	0.99	25.60	100.00	100.00	1.00	45	45	1.00	11	11	1.00
Fourth	R2	Residential	Unknown-Resi	W2	18.39	17.90	0.97	25.60	100.00	100.00	1.00	47	46	0.98	17	16	0.94
Fourth	R3	Residential	Unknown-Resi	W3	12.02	11.44	0.95	25.60	100.00	100.00	1.00	34	34	1.00	15	15	1.00
Fourth	R4	Residential	Unknown-Resi	W4	10.27	10.07	0.98	11.31	91.90	91.55	1.00	21	19	0.90	7	7	1.00
Fourth	R5	Residential	Unknown-Resi	W5	13.26	13.25	1.00	14.21	98.70	98.70	1.00	19	19	1.00	5	5	1.00
Fifth	R1	Residential	Unknown-Resi	W1	23.17	23.10	1.00	25.60	100.00	100.00	1.00	50	50	1.00	15	15	1.00
Fifth	R2	Residential	Unknown-Resi	W2	20.65	20.21	0.98	25.60	100.00	100.00	1.00	50	50	1.00	19	19	1.00
Fifth	R3	Residential	Unknown-Resi	W3	13.18	12.56	0.95	25.60	100.00	100.00	1.00	35	33	0.94	15	15	1.00
Fifth	R4	Residential	Unknown-Resi	W4	11.77	11.56	0.98	11.31	92.29	91.97	1.00	22	20	0.91	8	8	1.00
Fifth	R5	Residential	Unknown-Resi	W5	16.39	16.38	1.00	14.21	99.35	99.35	1.00	22	22	1.00	6	6	1.00
Sixth	R1	Residential	Unknown-Resi	W1	25.47	25.47	1.00	25.60	100.00	100.00	1.00	53	54	1.02	16	16	1.00
Sixth	R2	Residential	Unknown-Resi	W2	23.03	22.74	0.99	25.60	100.00	100.00	1.00	50	52	1.04	18	18	1.00
Sixth	R3	Residential	Unknown-Resi	W3	14.92	14.19	0.95	25.60	100.00	100.00	1.00	36	34	0.94	16	16	1.00
Sixth	R4	Residential	Unknown-Resi	W4	15.37	15.17	0.99	11.31	92.75	92.33	1.00	24	22	0.92	8	8	1.00
Sixth	R5	Residential	Unknown-Resi	W5	20.62	20.60	1.00	14.21	99.57	99.57	1.00	27	27	1.00	7	7	1.00
8 - 13 FITZROY STREET																	
Ground	R1	NonResidential	Unknown	W1	12.89	12.88	1.00	363.35	79.31	79.15	1.00	28	28	1.00	4	4	1.00
Ground	R1	NonResidential	Unknown	W2	13.67	13.66	1.00	363.35	79.31	79.15	1.00	27	27	1.00	4	4	1.00
Ground	R1	NonResidential	Unknown	W3	13.86	13.85	1.00	363.35	79.31	79.15	1.00	29	29	1.00	5	5	1.00
Ground	R1	NonResidential	Unknown	W4	15.06	15.04	1.00	363.35	79.31	79.15	1.00	31	31	1.00	6	6	1.00

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Ground	R1	NonResidential	Unknown	W5	16.21	16.19	1.00	363.35	79.31	79.15	1.00	36	36	1.00	8	8	1.00
Ground	R1	NonResidential	Unknown	W6	16.60	16.58	1.00	363.35	79.31	79.15	1.00	35	35	1.00	8	8	1.00
Ground	R1	NonResidential	Unknown	W7	18.20	18.19	1.00	363.35	79.31	79.15	1.00	37	37	1.00	9	9	1.00
Ground	R1	NonResidential	Unknown	W8	18.81	18.79	1.00	363.35	79.31	79.15	1.00	39	39	1.00	11	11	1.00
Ground	R1	NonResidential	Unknown	W9	20.10	20.08	1.00	363.35	79.31	79.15	1.00	39	39	1.00	10	10	1.00
Ground	R1	NonResidential	Unknown	W10	16.59	15.48	0.93	363.35	79.31	79.15	1.00	30	28	0.93	8	8	1.00
Ground	R1	NonResidential	Unknown	W11	16.22	15.04	0.93	363.35	79.31	79.15	1.00	29	26	0.90	7	6	0.86
Ground	R1	NonResidential	Unknown	W12	15.31	14.29	0.93	363.35	79.31	79.15	1.00	28	26	0.93	7	7	1.00
Ground	R1	NonResidential	Unknown	W13	14.64	13.64	0.93	363.35	79.31	79.15	1.00	27	26	0.96	7	7	1.00
Ground	R1	NonResidential	Unknown	W14	14.03	13.13	0.94	363.35	79.31	79.15	1.00	26	22	0.85	6	4	0.67
Ground	R1	NonResidential	Unknown	W15	14.40	13.56	0.94	363.35	79.31	79.15	1.00	25	23	0.92	6	5	0.83
Ground	R1	NonResidential	Unknown	W16	14.21	13.51	0.95	363.35	79.31	79.15	1.00	25	23	0.92	5	5	1.00
Ground	R1	NonResidential	Unknown	W17	13.68	13.05	0.95	363.35	79.31	79.15	1.00	24	23	0.96	5	5	1.00
Ground	R1	NonResidential	Unknown	W18	13.90	13.33	0.96	363.35	79.31	79.15	1.00	24	23	0.96	5	5	1.00
Ground	R1	NonResidential	Unknown	W19	13.89	13.41	0.97	363.35	79.31	79.15	1.00	25	24	0.96	6	6	1.00
Ground	R1	NonResidential	Unknown	W20	13.93	13.52	0.97	363.35	79.31	79.15	1.00	26	24	0.92	6	5	0.83
Ground	R1	NonResidential	Unknown	W21	14.22	13.85	0.97	363.35	79.31	79.15	1.00	26	25	0.96	6	5	0.83
Ground	R1	NonResidential	Unknown	W22	14.29	13.96	0.98	363.35	79.31	79.15	1.00	26	24	0.92	6	5	0.83
Ground	R1	NonResidential	Unknown	W23	14.38	14.11	0.98	363.35	79.31	79.15	1.00	27	25	0.93	7	6	0.86
Ground	R1	NonResidential	Unknown	W24	14.49	14.27	0.99	363.35	79.31	79.15	1.00	27	26	0.96	7	6	0.86
Ground	R1	NonResidential	Unknown	W25	14.55	14.39	0.99	363.35	79.31	79.15	1.00	27	26	0.96	7	6	0.86
Ground	R2	NonResidential	Unknown	W26	14.56	14.49	0.99	8.32	37.71	37.64	1.00	26	23	0.88	6	5	0.83
Ground	R3	NonResidential	Stairwell	W27	14.56	14.50	1.00	24.85	32.97	32.40	0.98	25	23	0.92	6	5	0.83
Ground	R3	NonResidential	Stairwell	W28	14.29	14.24	1.00	24.85	32.97	32.40	0.98	25	24	0.96	6	5	0.83
Ground	R3	NonResidential	Stairwell	W29	14.54	14.51	1.00	24.85	32.97	32.40	0.98	27	25	0.93	7	6	0.86
First	R1	NonResidential	Unknown	W1	18.30	18.29	1.00	353.36	89.32	89.25	1.00	39	39	1.00	7	7	1.00
First	R1	NonResidential	Unknown	W2	19.22	19.20	1.00	353.36	89.32	89.25	1.00	42	42	1.00	8	8	1.00
First	R1	NonResidential	Unknown	W3	19.27	19.26	1.00	353.36	89.32	89.25	1.00	41	41	1.00	6	6	1.00
First	R1	NonResidential	Unknown	W4	20.20	20.18	1.00	353.36	89.32	89.25	1.00	42	42	1.00	8	8	1.00
First	R1	NonResidential	Unknown	W5	20.41	20.39	1.00	353.36	89.32	89.25	1.00	44	44	1.00	9	9	1.00
First	R1	NonResidential	Unknown	W6	21.30	21.28	1.00	353.36	89.32	89.25	1.00	45	45	1.00	9	9	1.00
First	R1	NonResidential	Unknown	W7	21.67	21.65	1.00	353.36	89.32	89.25	1.00	44	44	1.00	9	9	1.00
First	R1	NonResidential	Unknown	W8	23.04	23.02	1.00	353.36	89.32	89.25	1.00	48	48	1.00	10	10	1.00
First	R1	NonResidential	Unknown	W9	19.00	17.84	0.94	353.36	89.32	89.25	1.00	35	31	0.89	9	8	0.89
First	R1	NonResidential	Unknown	W10	18.41	17.31	0.94	353.36	89.32	89.25	1.00	34	31	0.91	8	8	1.00
First	R1	NonResidential	Unknown	W11	17.57	16.60	0.94	353.36	89.32	89.25	1.00	32	30	0.94	8	8	1.00
First	R1	NonResidential	Unknown	W12	17.36	16.45	0.95	353.36	89.32	89.25	1.00	32	30	0.94	8	8	1.00
First	R1	NonResidential	Unknown	W13	16.83	15.99	0.95	353.36	89.32	89.25	1.00	29	25	0.86	5	5	1.00
First	R1	NonResidential	Unknown	W14	16.97	16.34	0.96	353.36	89.32	89.25	1.00	30	28	0.93	6	6	1.00
First	R1	NonResidential	Unknown	W15	16.63	16.14	0.97	353.36	89.32	89.25	1.00	30	28	0.93	6	6	1.00
First	R1	NonResidential	Unknown	W16	16.93	16.51	0.98	353.36	89.32	89.25	1.00	30	31	1.03	7	7	1.00
First	R1	NonResidential	Unknown	W17	16.65	16.30	0.98	353.36	89.32	89.25	1.00	31	31	1.00	8	7	0.88
First	R1	NonResidential	Unknown	W18	16.98	16.69	0.98	353.36	89.32	89.25	1.00	31	30	0.97	8	7	0.88
First	R1	NonResidential	Unknown	W19	16.72	16.50	0.99	353.36	89.32	89.25	1.00	30	30	1.00	8	7	0.88
First	R2	NonResidential	Office	W20	17.11	16.98	0.99	22.48	74.06	74.31	1.00	32	31	0.97	9	8	0.89
First	R2	NonResidential	Office	W21	16.88	16.82	1.00	22.48	74.06	74.31	1.00	32	31	0.97	8	7	0.88

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
First	R2	NonResidential	Office	W22	17.19	17.21	1.00	22.48	74.06	74.31	1.00	33	33	1.00	9	9	1.00
First	R3	NonResidential	Office	W23	16.95	16.99	1.00	14.05	55.13	56.28	1.02	33	32	0.97	9	8	0.89
First	R3	NonResidential	Office	W24	17.24	17.35	1.01	14.05	55.13	56.28	1.02	31	31	1.00	8	8	1.00
First	R3	NonResidential	Office	W25	17.18	17.27	1.01	14.05	55.13	56.28	1.02	30	30	1.00	8	8	1.00
First	R4	NonResidential	Unknown	W26	17.17	17.30	1.01	8.32	49.50	50.99	1.03	30	29	0.97	8	7	0.88
First	R5	NonResidential	Stairwell	W27	17.13	17.28	1.01	24.85	39.43	39.20	0.99	30	30	1.00	8	8	1.00
First	R5	NonResidential	Stairwell	W28	16.84	17.00	1.01	24.85	39.43	39.20	0.99	30	30	1.00	8	8	1.00
Second	R1	NonResidential	Office	W1	24.95	24.94	1.00	353.36	88.25	88.25	1.00	58	58	1.00	10	10	1.00
Second	R1	NonResidential	Office	W2	25.35	25.34	1.00	353.36	88.25	88.25	1.00	61	61	1.00	12	12	1.00
Second	R1	NonResidential	Office	W3	24.79	24.78	1.00	353.36	88.25	88.25	1.00	58	58	1.00	10	10	1.00
Second	R1	NonResidential	Office	W4	25.48	25.46	1.00	353.36	88.25	88.25	1.00	62	62	1.00	13	13	1.00
Second	R1	NonResidential	Office	W5	25.60	25.58	1.00	353.36	88.25	88.25	1.00	60	60	1.00	12	12	1.00
Second	R1	NonResidential	Office	W6	26.44	26.42	1.00	353.36	88.25	88.25	1.00	62	62	1.00	14	14	1.00
Second	R1	NonResidential	Office	W7	26.54	26.51	1.00	353.36	88.25	88.25	1.00	58	58	1.00	13	13	1.00
Second	R1	NonResidential	Office	W8	22.25	21.39	0.96	353.36	88.25	88.25	1.00	45	43	0.96	14	13	0.93
Second	R1	NonResidential	Office	W9	21.73	20.77	0.96	353.36	88.25	88.25	1.00	42	41	0.98	12	11	0.92
Second	R1	NonResidential	Office	W10	20.84	20.00	0.96	353.36	88.25	88.25	1.00	40	37	0.93	11	10	0.91
Second	R1	NonResidential	Office	W11	20.80	19.99	0.96	353.36	88.25	88.25	1.00	40	40	1.00	10	10	1.00
Second	R1	NonResidential	Office	W12	20.54	19.79	0.96	353.36	88.25	88.25	1.00	39	38	0.97	11	10	0.91
Second	R1	NonResidential	Office	W13	20.04	19.38	0.97	353.36	88.25	88.25	1.00	39	36	0.92	11	9	0.82
Second	R1	NonResidential	Office	W14	20.28	19.80	0.98	353.36	88.25	88.25	1.00	39	37	0.95	11	10	0.91
Second	R1	NonResidential	Office	W15	19.92	19.53	0.98	353.36	88.25	88.25	1.00	39	38	0.97	11	10	0.91
Second	R1	NonResidential	Office	W16	20.23	19.97	0.99	353.36	88.25	88.25	1.00	39	38	0.97	11	10	0.91
Second	R1	NonResidential	Office	W17	19.93	19.81	0.99	353.36	88.25	88.25	1.00	37	37	1.00	11	10	0.91
Second	R2	NonResidential	Office	W18	20.26	20.24	1.00	22.48	94.35	92.79	0.98	38	37	0.97	10	10	1.00
Second	R2	NonResidential	Office	W19	19.92	19.98	1.00	22.48	94.35	92.79	0.98	35	36	1.03	10	10	1.00
Second	R2	NonResidential	Office	W20	20.22	20.33	1.01	22.48	94.35	92.79	0.98	36	36	1.00	10	10	1.00
Second	R2	NonResidential	Office	W21	20.20	20.39	1.01	22.48	94.35	92.79	0.98	37	38	1.03	10	10	1.00
Second	R3	NonResidential	Office	W22	19.90	20.15	1.01	14.05	63.17	65.16	1.03	34	37	1.09	9	9	1.00
Second	R3	NonResidential	Office	W23	20.16	20.48	1.02	14.05	63.17	65.16	1.03	36	35	0.97	10	9	0.90
Second	R3	NonResidential	Office	W24	20.14	20.44	1.02	14.05	63.17	65.16	1.03	36	35	0.97	10	9	0.90
Second	R4	NonResidential	Unknown	W25	20.14	20.46	1.02	8.32	54.98	58.49	1.06	36	35	0.97	10	9	0.90
Second	R4	NonResidential	Unknown	W26	19.81	20.15	1.02	8.32	54.98	58.49	1.06	33	35	1.06	9	9	1.00
Second	R5	NonResidential	Stairwell	W27	20.09	20.44	1.02	24.85	50.95	51.00	1.00	35	35	1.00	9	9	1.00
Second	R5	NonResidential	Stairwell	W28	19.78	20.12	1.02	24.85	50.95	51.00	1.00	33	35	1.06	9	10	1.11
Second	R5	NonResidential	Stairwell	W29	20.10	20.43	1.02	24.85	50.95	51.00	1.00	37	37	1.00	11	11	1.00
Third	R1	NonResidential	Office	W1	30.58	30.57	1.00	353.36	87.77	87.74	1.00	69	69	1.00	18	18	1.00
Third	R1	NonResidential	Office	W2	30.56	30.55	1.00	353.36	87.77	87.74	1.00	67	67	1.00	16	16	1.00
Third	R1	NonResidential	Office	W3	30.03	30.02	1.00	353.36	87.77	87.74	1.00	66	66	1.00	15	15	1.00
Third	R1	NonResidential	Office	W4	30.37	30.36	1.00	353.36	87.77	87.74	1.00	66	66	1.00	15	15	1.00
Third	R1	NonResidential	Office	W5	30.00	29.99	1.00	353.36	87.77	87.74	1.00	66	66	1.00	16	16	1.00
Third	R1	NonResidential	Office	W6	30.43	30.42	1.00	353.36	87.77	87.74	1.00	66	66	1.00	16	16	1.00
Third	R1	NonResidential	Office	W7	30.22	30.20	1.00	353.36	87.77	87.74	1.00	67	67	1.00	17	17	1.00
Third	R1	NonResidential	Office	W8	30.63	30.61	1.00	353.36	87.77	87.74	1.00	68	68	1.00	17	17	1.00
Third	R1	NonResidential	Office	W9	24.70	23.88	0.97	353.36	87.77	87.74	1.00	48	45	0.94	15	13	0.87
Third	R1	NonResidential	Office	W10	25.52	24.81	0.97	353.36	87.77	87.74	1.00	49	48	0.98	16	15	0.94

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Third	R1	NonResidential	Office	W11	24.70	23.97	0.97	353.36	87.77	87.74	1.00	47	45	0.96	13	12	0.92
Third	R1	NonResidential	Office	W12	24.18	23.43	0.97	353.36	87.77	87.74	1.00	45	44	0.98	11	11	1.00
Third	R1	NonResidential	Office	W13	24.30	23.55	0.97	353.36	87.77	87.74	1.00	45	43	0.96	13	12	0.92
Third	R1	NonResidential	Office	W14	23.81	23.17	0.97	353.36	87.77	87.74	1.00	44	43	0.98	13	12	0.92
Third	R1	NonResidential	Office	W15	24.11	23.57	0.98	353.36	87.77	87.74	1.00	46	44	0.96	15	13	0.87
Third	R1	NonResidential	Office	W16	23.61	23.26	0.98	353.36	87.77	87.74	1.00	46	45	0.98	15	13	0.87
Third	R1	NonResidential	Office	W17	23.98	23.69	0.99	353.36	87.77	87.74	1.00	45	45	1.00	14	13	0.93
Third	R1	NonResidential	Office	W18	23.52	23.35	0.99	353.36	87.77	87.74	1.00	44	43	0.98	14	13	0.93
Third	R1	NonResidential	Office	W19	23.88	23.74	0.99	353.36	87.77	87.74	1.00	44	45	1.02	14	13	0.93
Third	R2	NonResidential	Office	W20	23.44	23.41	1.00	22.48	100.00	100.00	1.00	43	45	1.05	13	13	1.00
Third	R2	NonResidential	Office	W21	23.67	23.78	1.00	22.48	100.00	100.00	1.00	42	44	1.05	13	13	1.00
Third	R2	NonResidential	Office	W22	23.25	23.47	1.01	22.48	100.00	100.00	1.00	44	46	1.05	13	13	1.00
Third	R3	NonResidential	Office	W23	23.53	23.84	1.01	14.05	83.31	90.05	1.08	44	47	1.07	13	14	1.08
Third	R3	NonResidential	Office	W24	23.16	23.50	1.01	14.05	83.31	90.05	1.08	43	45	1.05	13	13	1.00
Third	R3	NonResidential	Office	W25	23.09	23.44	1.02	14.05	83.31	90.05	1.08	42	43	1.02	13	13	1.00
Third	R4	NonResidential	Unknown	W26	23.10	23.47	1.02	8.32	78.07	84.41	1.08	42	43	1.02	13	13	1.00
Third	R4	NonResidential	Unknown	W27	23.41	23.80	1.02	8.32	78.07	84.41	1.08	43	44	1.02	14	14	1.00
Third	R5	NonResidential	Stairwell	W28	23.38	23.78	1.02	24.85	71.55	71.15	0.99	44	44	1.00	14	14	1.00
Third	R5	NonResidential	Stairwell	W29	23.40	23.78	1.02	24.85	71.55	71.15	0.99	46	46	1.00	16	15	0.94
Fourth	R1	NonResidential	Office	W1	34.27	34.26	1.00	353.36	90.96	90.94	1.00	75	75	1.00	24	24	1.00
Fourth	R1	NonResidential	Office	W2	34.86	34.85	1.00	353.36	90.96	90.94	1.00	75	75	1.00	24	24	1.00
Fourth	R1	NonResidential	Office	W3	34.37	34.36	1.00	353.36	90.96	90.94	1.00	74	74	1.00	23	23	1.00
Fourth	R1	NonResidential	Office	W4	33.93	33.92	1.00	353.36	90.96	90.94	1.00	74	74	1.00	23	23	1.00
Fourth	R1	NonResidential	Office	W5	34.14	34.13	1.00	353.36	90.96	90.94	1.00	74	74	1.00	23	23	1.00
Fourth	R1	NonResidential	Office	W6	33.69	33.68	1.00	353.36	90.96	90.94	1.00	74	74	1.00	23	23	1.00
Fourth	R1	NonResidential	Office	W7	33.94	33.93	1.00	353.36	90.96	90.94	1.00	73	73	1.00	22	22	1.00
Fourth	R1	NonResidential	Office	W8	28.42	27.88	0.98	353.36	90.96	90.94	1.00	54	53	0.98	18	17	0.94
Fourth	R1	NonResidential	Office	W9	28.56	27.97	0.98	353.36	90.96	90.94	1.00	54	53	0.98	17	17	1.00
Fourth	R1	NonResidential	Office	W10	28.39	27.82	0.98	353.36	90.96	90.94	1.00	54	54	1.00	17	17	1.00
Fourth	R1	NonResidential	Office	W11	27.91	27.33	0.98	353.36	90.96	90.94	1.00	54	54	1.00	17	17	1.00
Fourth	R1	NonResidential	Office	W12	28.22	27.66	0.98	353.36	90.96	90.94	1.00	54	55	1.02	17	17	1.00
Fourth	R1	NonResidential	Office	W13	27.79	27.17	0.98	353.36	90.96	90.94	1.00	54	51	0.94	18	17	0.94
Fourth	R1	NonResidential	Office	W14	28.06	27.49	0.98	353.36	90.96	90.94	1.00	52	50	0.96	18	16	0.89
Fourth	R1	NonResidential	Office	W15	27.65	27.07	0.98	353.36	90.96	90.94	1.00	51	50	0.98	18	17	0.94
Fourth	R1	NonResidential	Office	W16	27.83	27.38	0.98	353.36	90.96	90.94	1.00	51	51	1.00	18	17	0.94
Fourth	R1	NonResidential	Office	W17	27.42	27.05	0.99	353.36	90.96	90.94	1.00	51	50	0.98	18	16	0.89
Fourth	R1	NonResidential	Office	W18	27.64	27.43	0.99	353.36	90.96	90.94	1.00	52	52	1.00	18	17	0.94
Fourth	R1	NonResidential	Office	W30	27.20	27.05	0.99	353.36	90.96	90.94	1.00	52	53	1.02	19	18	0.95
Fourth	R2	NonResidential	Office	W19	27.10	27.02	1.00	22.48	100.00	100.00	1.00	53	54	1.02	20	19	0.95
Fourth	R2	NonResidential	Office	W20	27.39	27.37	1.00	22.48	100.00	100.00	1.00	52	54	1.04	19	19	1.00
Fourth	R2	NonResidential	Office	W21	26.88	26.99	1.00	22.48	100.00	100.00	1.00	51	53	1.04	18	18	1.00
Fourth	R2	NonResidential	Office	W22	27.14	27.28	1.01	22.48	100.00	100.00	1.00	53	54	1.02	18	18	1.00
Fourth	R3	NonResidential	Office	W23	27.06	27.29	1.01	14.05	98.40	98.48	1.00	54	55	1.02	18	19	1.06
Fourth	R3	NonResidential	Office	W24	26.57	26.89	1.01	14.05	98.40	98.48	1.00	50	52	1.04	18	19	1.06
Fourth	R3	NonResidential	Office	W25	26.54	26.85	1.01	14.05	98.40	98.48	1.00	49	51	1.04	18	19	1.06
Fourth	R4	NonResidential	Unknown	W26	26.55	26.90	1.01	8.32	80.73	86.17	1.07	49	51	1.04	18	19	1.06

Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
Fourth	R4	NonResidential	Unknown	W27	26.84	27.23	1.01	8.32	80.73	86.17	1.07	52	53	1.02	18	18	1.00
Fourth	R5	NonResidential	Stairwell	W28	26.86	27.22	1.01	24.85	97.97	98.50	1.01	53	54	1.02	18	18	1.00
Fourth	R5	NonResidential	Stairwell	W29	26.90	27.22	1.01	24.85	97.97	98.50	1.01	54	55	1.02	19	19	1.00
Fifth	R1	NonResidential	Office	W1	37.08	37.08	1.00	195.16	99.97	99.97	1.00	80	80	1.00	27	27	1.00
Fifth	R1	NonResidential	Office	W2	37.21	37.21	1.00	195.16	99.97	99.97	1.00	80	80	1.00	27	27	1.00
Fifth	R1	NonResidential	Office	W3	36.85	36.84	1.00	195.16	99.97	99.97	1.00	79	79	1.00	26	26	1.00
Fifth	R1	NonResidential	Office	W4	36.97	36.97	1.00	195.16	99.97	99.97	1.00	78	78	1.00	25	25	1.00
Fifth	R1	NonResidential	Office	W5	31.20	30.98	0.99	195.16	99.97	99.97	1.00	62	61	0.98	22	21	0.95
Fifth	R1	NonResidential	Office	W6	31.61	31.39	0.99	195.16	99.97	99.97	1.00	61	61	1.00	21	21	1.00
Fifth	R1	NonResidential	Office	W7	31.28	30.97	0.99	195.16	99.97	99.97	1.00	60	59	0.98	21	21	1.00
Fifth	R1	NonResidential	Office	W8	31.48	31.17	0.99	195.16	99.97	99.97	1.00	59	58	0.98	21	21	1.00
Fifth	R1	NonResidential	Office	W9	31.13	30.80	0.99	195.16	99.97	99.97	1.00	58	57	0.98	20	20	1.00
Fifth	R1	NonResidential	Office	W10	30.98	30.75	0.99	195.16	99.97	99.97	1.00	58	58	1.00	21	21	1.00
Fifth	R1	NonResidential	Office	W11	31.19	31.03	0.99	195.16	99.97	99.97	1.00	58	58	1.00	21	21	1.00
Fifth	R1	NonResidential	Office	W12	30.83	30.73	1.00	195.16	99.97	99.97	1.00	59	58	0.98	21	20	0.95
Fifth	R1	NonResidential	Office	W13	31.02	31.01	1.00	195.16	99.97	99.97	1.00	58	58	1.00	21	21	1.00
Fifth	R1	NonResidential	Office	W14	30.69	30.68	1.00	195.16	99.97	99.97	1.00	58	57	0.98	21	20	0.95
Fifth	R1	NonResidential	Office	W15	30.79	30.89	1.00	195.16	99.97	99.97	1.00	58	57	0.98	21	20	0.95
Fifth	R1	NonResidential	Office	W16	30.32	30.45	1.00	195.16	99.97	99.97	1.00	60	58	0.97	22	20	0.91
Fifth	R1	NonResidential	Office	W17	30.42	30.67	1.01	195.16	99.97	99.97	1.00	59	59	1.00	20	20	1.00
Fifth	R1	NonResidential	Office	W18	30.31	30.68	1.01	195.16	99.97	99.97	1.00	57	58	1.02	21	22	1.05
Fifth	R1	NonResidential	Office	W19	30.30	30.66	1.01	195.16	99.97	99.97	1.00	58	59	1.02	21	22	1.05
12 - 16 FITZROY STREET																	
Ground	R1	Residential	Commercial	W1	14.48	14.57	1.01	339.50	8.42	8.41	1.00	26	25	0.96	7	6	0.86
Ground	R1	Residential	Commercial	W2	14.36	14.49	1.01	339.50	8.42	8.41	1.00	25	25	1.00	6	6	1.00
Ground	R1	Residential	Commercial	W3	14.74	14.86	1.01	339.50	8.42	8.41	1.00	24	24	1.00	6	6	1.00
Ground	R2	Residential	Circulation	W4	0.20	0.31	1.55	11.92	1.50	1.78	1.19	0	0	1.00	0	0	1.00
First	R1	Residential	Unknown	W1	11.06	11.27	1.02	13.60	26.68	26.02	0.98	18	18	1.00	2	2	1.00
First	R2	Residential	Unknown	W2	9.86	9.79	0.99	35.70	30.48	30.09	0.99	26	26	1.00	6	6	1.00
First	R2	Residential	Unknown	W3	16.87	17.09	1.01	35.70	30.48	30.09	0.99	31	31	1.00	8	8	1.00
First	R3	Residential	Unknown	W4	16.98	17.29	1.02	35.11	26.82	26.58	0.99	29	31	1.07	8	8	1.00
First	R4	Residential	Unknown	W5	17.26	17.50	1.01	34.51	49.85	49.84	1.00	27	29	1.07	7	7	1.00
First	R4	Residential	Unknown	W6	8.05	8.06	1.00	34.51	49.85	49.84	1.00	2	2	North	0	0	North
First	R5	Residential	Circulation	W7	7.44	7.64	1.03	11.92	27.31	27.38	1.00	7	7	1.00	0	0	1.00
Second	R1	Residential	Unknown	W1	12.67	12.96	1.02	13.60	31.58	30.60	0.97	19	20	1.05	2	2	1.00
Second	R2	Residential	Unknown	W2	10.67	10.65	1.00	35.70	33.27	32.97	0.99	28	28	1.00	7	7	1.00
Second	R2	Residential	Unknown	W3	18.87	19.18	1.02	35.70	33.27	32.97	0.99	35	36	1.03	9	9	1.00
Second	R3	Residential	Unknown	W4	18.95	19.35	1.02	35.11	29.95	29.66	0.99	33	35	1.06	10	10	1.00
Second	R4	Residential	Unknown	W5	19.27	19.59	1.02	34.51	53.73	53.70	1.00	34	35	1.03	10	11	1.10
Second	R4	Residential	Unknown	W6	8.84	8.85	1.00	34.51	53.73	53.70	1.00	4	5	North	0	0	North
Second	R5	Residential	Circulation	W7	8.61	8.84	1.03	11.92	32.05	32.17	1.00	10	11	1.10	1	1	1.00
Third	R1	Residential	Unknown	W1	14.43	14.75	1.02	13.60	38.74	36.43	0.94	23	25	1.09	4	4	1.00
Third	R2	Residential	Unknown	W2	11.55	11.54	1.00	35.70	39.27	37.77	0.96	31	32	1.03	10	11	1.10
Third	R2	Residential	Unknown	W3	21.05	21.36	1.01	35.70	39.27	37.77	0.96	39	39	1.00	11	11	1.00
Third	R3	Residential	Unknown	W4	21.10	21.52	1.02	35.11	35.75	34.95	0.98	39	40	1.03	12	12	1.00
Third	R4	Residential	Unknown	W5	21.44	21.79	1.02	34.51	57.08	57.02	1.00	39	40	1.03	11	12	1.09

Daylight_Sunlight Analysis Table
 Surroundings



					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio	Existing Sunlight	Proposed Sunlight	Ratio
												Annual%	Annual%	Proposed /Existing Annual	Winter%	Winter%	Proposed /Existing Winter
Third	R4	Residential	Unknown	W6	9.72	9.73	1.00	34.51	57.08	57.02	1.00	10	10	North	0	0	North
Third	R5	Residential	Circulation	W7	9.92	10.17	1.02	11.92	38.45	38.47	1.00	15	15	1.00	2	2	1.00
Fourth	R1	Residential	Unknown	W1	15.72	16.05	1.02	13.60	49.01	44.59	0.91	29	29	1.00	7	6	0.86
Fourth	R2	Residential	Unknown	W2	12.60	12.59	1.00	35.70	47.62	44.87	0.94	34	33	0.97	13	12	0.92
Fourth	R2	Residential	Unknown	W3	23.38	23.67	1.01	35.70	47.62	44.87	0.94	44	44	1.00	14	13	0.93
Fourth	R3	Residential	Unknown	W4	23.38	23.82	1.02	35.11	44.88	42.67	0.95	44	45	1.02	15	14	0.93
Fourth	R4	Residential	Unknown	W5	23.75	24.12	1.02	34.51	62.05	61.76	1.00	45	46	1.02	14	14	1.00
Fourth	R4	Residential	Unknown	W6	10.82	10.83	1.00	34.51	62.05	61.76	1.00	13	12	North	0	0	North
Fourth	R5	Residential	Circulation	W7	11.41	11.66	1.02	11.92	47.70	48.82	1.02	15	16	1.07	2	2	1.00
Fifth	R1	Residential	Unknown	W1	18.51	18.79	1.02	13.60	68.23	57.08	0.84	32	31	0.97	8	7	0.88
Fifth	R2	Residential	Unknown	W2	14.29	14.26	1.00	35.70	64.47	55.94	0.87	37	36	0.97	15	14	0.93
Fifth	R2	Residential	Unknown	W3	25.81	26.04	1.01	35.70	64.47	55.94	0.87	48	50	1.04	15	15	1.00
Fifth	R3	Residential	Unknown	W4	25.77	26.18	1.02	35.11	60.92	55.34	0.91	50	50	1.00	15	15	1.00
Fifth	R4	Residential	Unknown	W5	26.17	26.53	1.01	34.51	71.48	70.52	0.99	49	50	1.02	14	15	1.07
Fifth	R4	Residential	Unknown	W6	12.98	12.99	1.00	34.51	71.48	70.52	0.99	13	13	North	0	0	North
Fifth	R5	Residential	Circulation	W7	13.26	13.50	1.02	11.92	58.93	62.97	1.07	17	18	1.06	2	3	1.50
Sixth	R1	Residential	Unknown	W1	22.80	22.99	1.01	13.60	97.69	77.18	0.79	48	49	1.02	14	15	1.07
Sixth	R2	Residential	Unknown	W2	18.96	18.90	1.00	35.70	96.99	76.80	0.79	44	44	1.00	19	19	1.00
Sixth	R2	Residential	Unknown	W3	28.25	28.38	1.00	35.70	96.99	76.80	0.79	53	53	1.00	18	17	0.94
Sixth	R3	Residential	Unknown	W4	28.16	28.52	1.01	35.11	89.70	74.36	0.83	52	54	1.04	16	17	1.06
Sixth	R4	Residential	Unknown	W5	28.58	28.91	1.01	34.51	92.73	88.55	0.96	53	54	1.02	16	17	1.06
Sixth	R4	Residential	Unknown	W6	21.15	21.15	1.00	34.51	92.73	88.55	0.96	15	15	North	0	0	North
Sixth	R5	Residential	Circulation	W7	18.64	18.87	1.01	11.92	72.79	81.08	1.11	21	21	1.00	4	4	1.00
Seventh	R1	Residential	Unknown	W1	27.28	27.55	1.01	35.12	100.00	100.00	1.00	41	41	1.00	8	8	1.00
Seventh	R1	Residential	Unknown	W2	30.42	30.60	1.01	35.12	100.00	100.00	1.00	51	52	1.02	14	15	1.07
Seventh	R2	Residential	Unknown	W3	31.17	31.46	1.01	18.64	99.89	100.00	1.00	56	56	1.00	19	19	1.00
Seventh	R3	Residential	Unknown	W4	31.29	31.59	1.01	18.76	97.28	100.00	1.03	55	56	1.02	17	18	1.06
Seventh	R4	Residential	Unknown	W5	31.49	31.73	1.01	35.11	99.67	99.70	1.00	58	57	0.98	20	19	0.95
Seventh	R4	Residential	Unknown	W6	31.87	32.09	1.01	35.11	99.67	99.70	1.00	57	57	1.00	19	19	1.00
18 - 24 FITZROY STREET																	
Ground	R1	Residential	Commercial	W1	15.08	15.18	1.01	143.06	94.48	94.48	1.00	25	25	1.00	7	6	0.86
Ground	R1	Residential	Commercial	W2	15.30	15.39	1.01	143.06	94.48	94.48	1.00	25	26	1.04	7	7	1.00
Ground	R1	Residential	Commercial	W3	15.61	15.69	1.00	143.06	94.48	94.48	1.00	26	26	1.00	6	6	1.00
Ground	R1	Residential	Commercial	W4	16.01	16.10	1.01	143.06	94.48	94.48	1.00	29	28	0.97	7	6	0.86
Ground	R1	Residential	Commercial	W5	16.31	16.41	1.01	143.06	94.48	94.48	1.00	29	29	1.00	7	7	1.00
Ground	R1	Residential	Commercial	W6	13.67	13.78	1.01	143.06	94.48	94.48	1.00	27	28	1.04	6	7	1.17
Ground	R1	Residential	Commercial	W7	2.26	2.25	1.00	143.06	94.48	94.48	1.00	4	4	1.00	0	0	1.00
Ground	R1	Residential	Commercial	W8	16.25	16.34	1.01	143.06	94.48	94.48	1.00	12	13	1.08	2	3	1.50
First	R1	Residential	Unknown	W1	17.74	17.92	1.01	11.80	41.42	41.60	1.00	30	32	1.07	8	8	1.00
First	R2	Residential	Unknown	W2	17.99	18.15	1.01	11.55	42.03	42.00	1.00	32	33	1.03	9	9	1.00
First	R3	Residential	Unknown	W3	18.36	18.48	1.01	11.55	42.57	42.48	1.00	33	33	1.00	9	9	1.00
First	R4	Residential	Unknown	W4	18.81	18.94	1.01	11.55	43.52	43.71	1.00	35	35	1.00	8	8	1.00
First	R5	Residential	Unknown	W5	19.33	19.47	1.01	11.55	46.23	46.63	1.01	36	36	1.00	9	9	1.00
First	R6	Residential	Unknown	W6	20.07	20.21	1.01	11.55	52.29	52.66	1.01	33	34	1.03	8	9	1.13
First	R7	Residential	Unknown	W7	21.04	21.18	1.01	11.55	62.42	62.60	1.00	35	36	1.03	8	9	1.13
First	R8	Residential	Unknown	W8	22.24	22.37	1.01	11.55	71.61	71.68	1.00	37	38	1.03	9	10	1.11

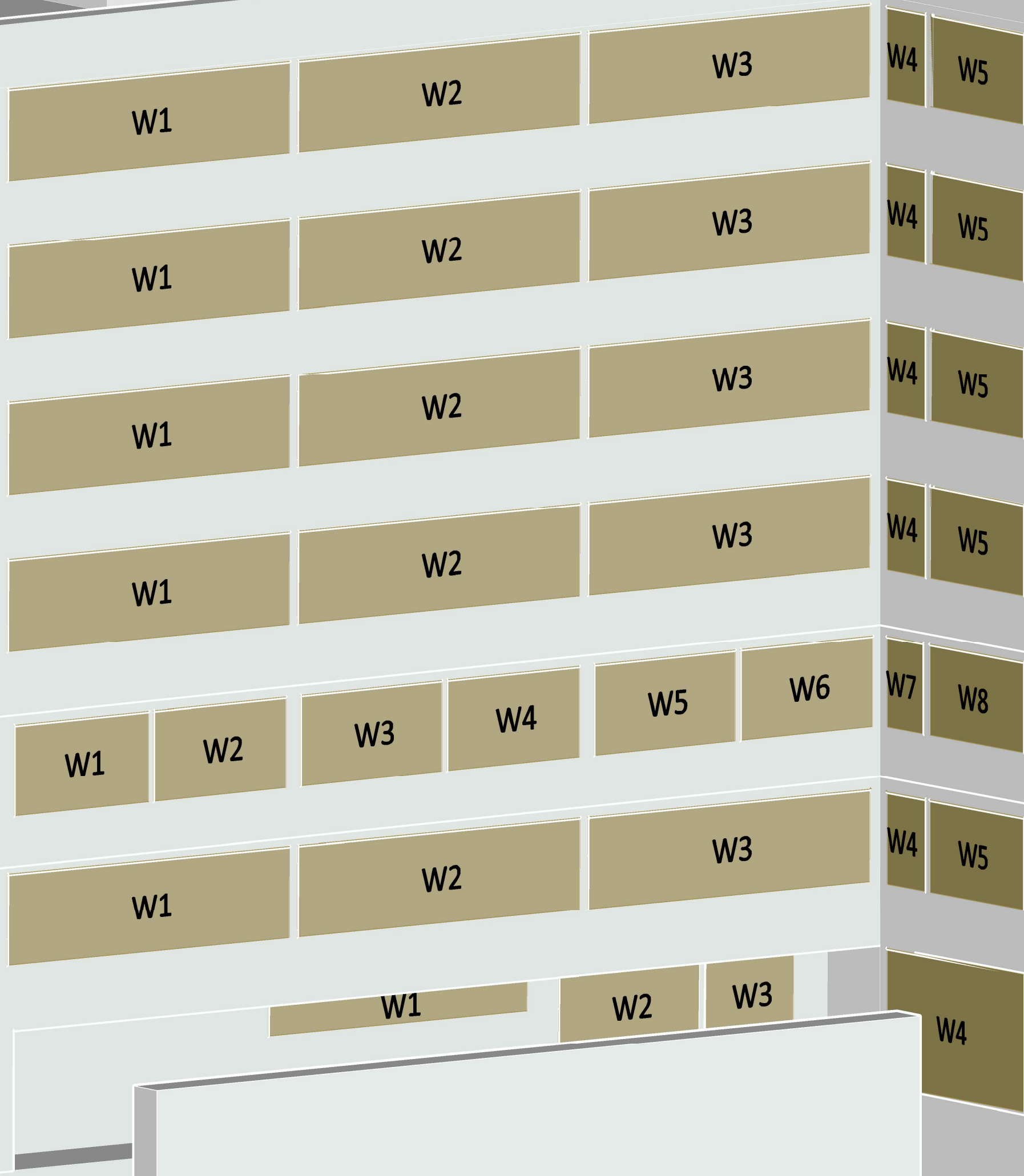
Daylight_Sunlight Analysis Table
 Surroundings

					Vertical Sky Component			No Skyline				Annual Probable Sunlight Hours					
Address/Floor	Room Ref	Property Type	Room Usage	Window Ref	Existing VSC %	Proposed VSC %	Ratio Proposed /Existing VSC	Room Area m ²	Existing NSC %	Proposed NSC %	Ratio Proposed /Existing NSC	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing	Existing Sunlight	Proposed Sunlight	Ratio Proposed /Existing
												Annual%	Annual%	Annual	Winter%	Winter%	Winter
First	R9	Residential	Unknown	W9	23.74	23.85	1.00	12.01	79.38	79.46	1.00	40	41	1.03	9	10	1.11
Second	R1	Residential	Unknown	W1	19.97	20.20	1.01	11.80	50.80	51.11	1.01	37	36	0.97	10	10	1.00
Second	R2	Residential	Unknown	W2	20.26	20.45	1.01	11.55	51.37	51.60	1.00	37	38	1.03	9	9	1.00
Second	R3	Residential	Unknown	W3	20.65	20.81	1.01	11.55	51.72	52.02	1.01	38	38	1.00	9	9	1.00
Second	R4	Residential	Unknown	W4	21.12	21.27	1.01	11.55	52.19	52.80	1.01	42	43	1.02	9	10	1.11
Second	R5	Residential	Unknown	W5	21.66	21.81	1.01	11.55	54.06	54.53	1.01	42	43	1.02	9	10	1.11
Second	R6	Residential	Unknown	W6	22.39	22.54	1.01	11.55	59.47	59.74	1.00	41	41	1.00	10	10	1.00
Second	R7	Residential	Unknown	W7	23.35	23.49	1.01	11.55	68.49	68.49	1.00	42	42	1.00	10	10	1.00
Second	R8	Residential	Unknown	W8	24.49	24.62	1.01	11.55	76.32	76.33	1.00	45	45	1.00	12	12	1.00
Second	R9	Residential	Unknown	W9	25.88	26.01	1.00	12.01	83.00	83.00	1.00	48	48	1.00	12	12	1.00
Third	R1	Residential	Unknown	W1	22.39	22.64	1.01	11.80	64.48	64.75	1.00	45	45	1.00	12	12	1.00
Third	R2	Residential	Unknown	W2	22.71	22.92	1.01	11.55	65.34	65.48	1.00	45	45	1.00	12	12	1.00
Third	R3	Residential	Unknown	W3	23.12	23.29	1.01	11.55	65.49	66.39	1.01	45	44	0.98	12	11	0.92
Third	R4	Residential	Unknown	W4	23.60	23.77	1.01	11.55	66.36	67.51	1.02	49	49	1.00	11	11	1.00
Third	R5	Residential	Unknown	W5	24.14	24.30	1.01	11.55	68.93	69.11	1.00	48	48	1.00	11	11	1.00
Third	R6	Residential	Unknown	W6	24.86	25.02	1.01	11.55	72.70	72.70	1.00	46	46	1.00	11	11	1.00
Third	R7	Residential	Unknown	W7	25.78	25.93	1.01	11.55	78.61	78.61	1.00	45	45	1.00	11	11	1.00
Third	R8	Residential	Unknown	W8	26.83	26.97	1.01	11.55	84.37	84.37	1.00	50	50	1.00	13	13	1.00
Third	R9	Residential	Unknown	W9	28.09	28.22	1.00	12.01	88.67	88.67	1.00	53	53	1.00	14	14	1.00
Fourth	R1	Residential	Unknown	W1	24.97	25.22	1.01	11.80	84.79	86.29	1.02	50	50	1.00	14	14	1.00
Fourth	R2	Residential	Unknown	W2	25.31	25.53	1.01	11.55	86.80	88.79	1.02	51	51	1.00	14	14	1.00
Fourth	R3	Residential	Unknown	W3	25.74	25.93	1.01	11.55	89.11	90.09	1.01	49	49	1.00	12	12	1.00
Fourth	R4	Residential	Unknown	W4	26.23	26.40	1.01	11.55	90.05	90.58	1.01	51	52	1.02	12	13	1.08
Fourth	R5	Residential	Unknown	W5	26.77	26.94	1.01	11.55	92.57	92.60	1.00	52	52	1.00	13	13	1.00
Fourth	R6	Residential	Unknown	W6	27.46	27.62	1.01	11.55	94.33	94.35	1.00	51	51	1.00	13	13	1.00
Fourth	R7	Residential	Unknown	W7	28.31	28.47	1.01	11.55	95.16	95.17	1.00	51	51	1.00	13	13	1.00
Fourth	R8	Residential	Unknown	W8	29.25	29.39	1.00	11.55	95.94	95.94	1.00	53	53	1.00	15	15	1.00
Fourth	R9	Residential	Unknown	W9	30.33	30.45	1.00	12.01	96.09	96.09	1.00	56	56	1.00	16	16	1.00
Fifth	R1	Residential	Unknown	W1	27.61	27.85	1.01	11.80	93.53	96.49	1.03	55	55	1.00	16	16	1.00
Fifth	R2	Residential	Unknown	W2	27.99	28.19	1.01	11.55	96.34	97.87	1.02	55	55	1.00	16	16	1.00
Fifth	R3	Residential	Unknown	W3	28.44	28.62	1.01	11.55	98.80	98.83	1.00	54	54	1.00	14	14	1.00
Fifth	R4	Residential	Unknown	W4	28.91	29.08	1.01	11.55	98.48	98.66	1.00	55	55	1.00	14	14	1.00
Fifth	R5	Residential	Unknown	W5	29.44	29.60	1.01	11.55	98.74	98.74	1.00	55	55	1.00	15	15	1.00
Fifth	R6	Residential	Unknown	W6	30.07	30.22	1.01	11.55	98.74	98.74	1.00	55	55	1.00	16	16	1.00
Fifth	R7	Residential	Unknown	W7	30.80	30.95	1.00	11.55	98.74	98.74	1.00	53	54	1.02	15	16	1.07
Fifth	R8	Residential	Unknown	W8	31.59	31.73	1.00	11.55	98.83	98.83	1.00	54	55	1.02	16	17	1.06
Fifth	R9	Residential	Unknown	W9	32.45	32.56	1.00	12.01	98.67	98.67	1.00	57	58	1.02	17	18	1.06
Sixth	R1	Residential	Unknown	W1	31.86	32.03	1.01	12.42	100.00	100.00	1.00	61	61	1.00	21	21	1.00
Sixth	R2	Residential	Unknown	W2	32.20	32.34	1.00	12.42	100.00	100.00	1.00	62	61	0.98	21	20	0.95
Sixth	R3	Residential	Unknown	W3	32.58	32.71	1.00	12.42	100.00	100.00	1.00	60	60	1.00	20	20	1.00
Sixth	R4	Residential	Unknown	W4	32.92	33.01	1.00	12.42	100.00	100.00	1.00	61	61	1.00	20	20	1.00
Sixth	R5	Residential	Unknown	W5	33.26	33.36	1.00	12.42	100.00	100.00	1.00	61	61	1.00	21	21	1.00
Sixth	R6	Residential	Unknown	W6	33.69	33.79	1.00	12.42	100.00	100.00	1.00	58	58	1.00	19	19	1.00
Sixth	R7	Residential	Unknown	W7	34.11	34.21	1.00	12.42	100.00	100.00	1.00	58	58	1.00	20	20	1.00
Sixth	R8	Residential	Unknown	W8	34.48	34.58	1.00	17.99	99.49	99.49	1.00	58	58	1.00	20	20	1.00



APPENDIX 3

Window Maps

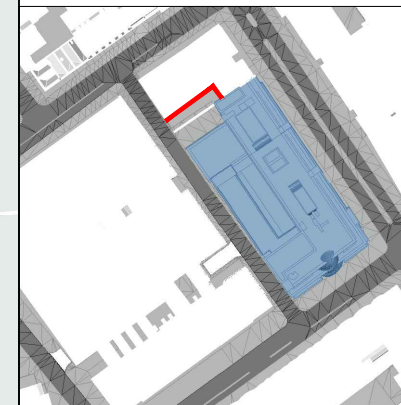


SOURCES OF INFORMATION:

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SURROUNDING PROPERTY
INFORMATION




waldrams
Email: contact@waldrams.com
Tel: 020 7183 9109
www.waldrams.com

PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
WINDOW MAP

DATE 12.03.19	SCALE @ A3 NTS
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MODELED BY MZ	DRAWN BY MZ
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PROJECT No. 2164	REL No.- DRAWING No. 01-04
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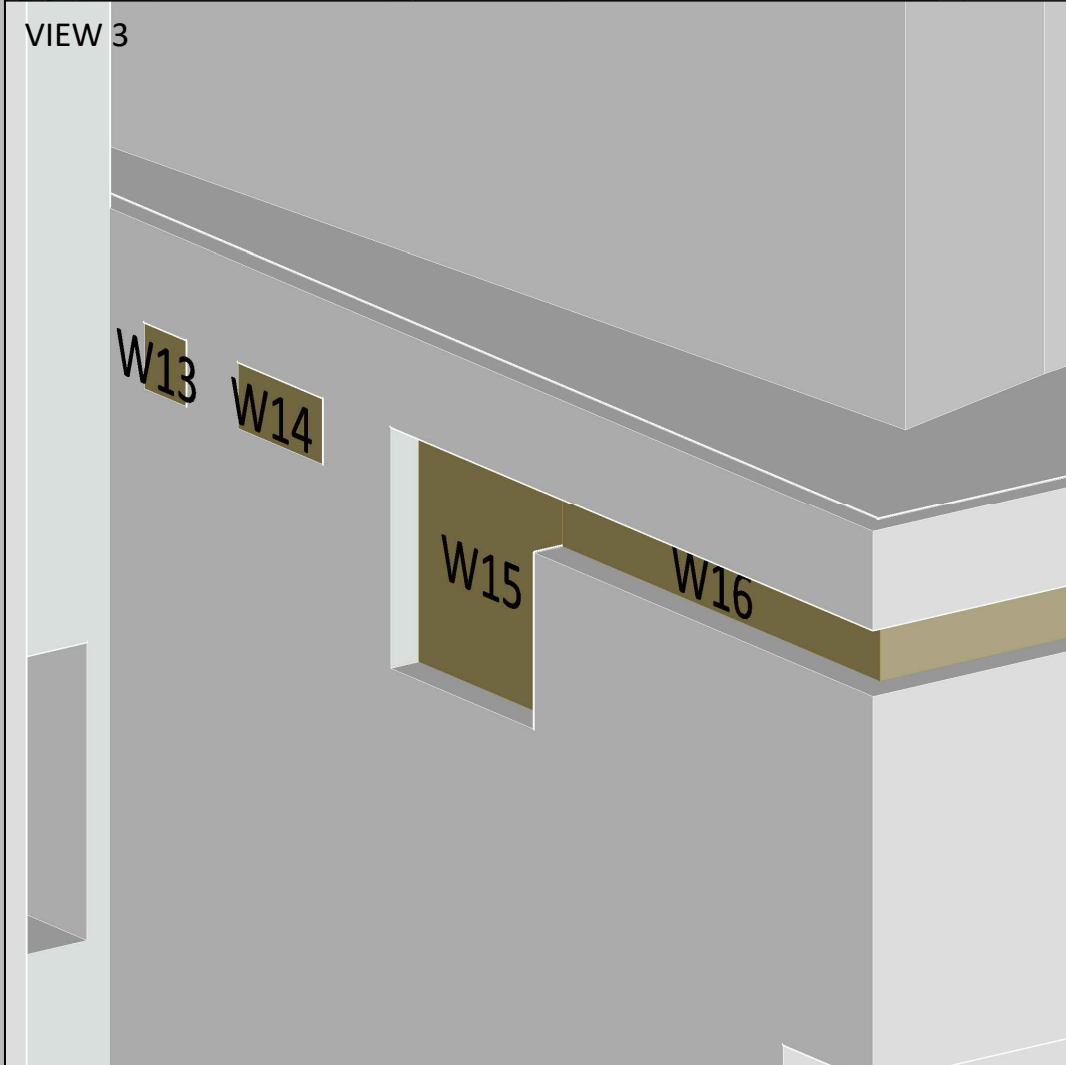
VIEW 1



VIEW 2



VIEW 3

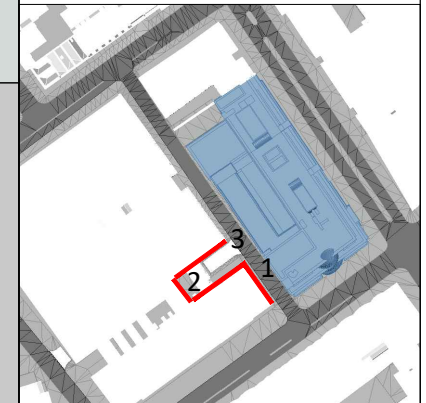


SOURCES OF INFORMATION:

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PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
WINDOW MAP
BT TOWER

DATE
12.03.19

SCALE @ A3
NTS

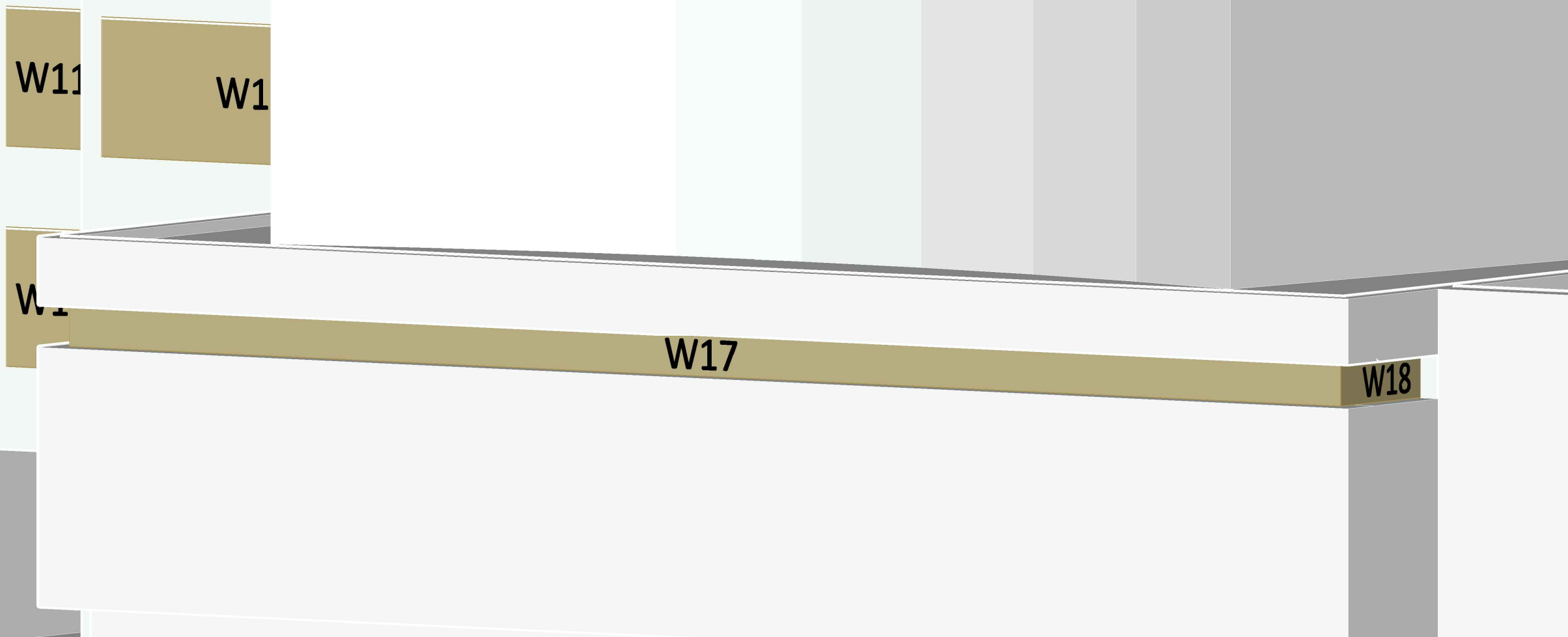
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MZ

DRAWN BY
MZ

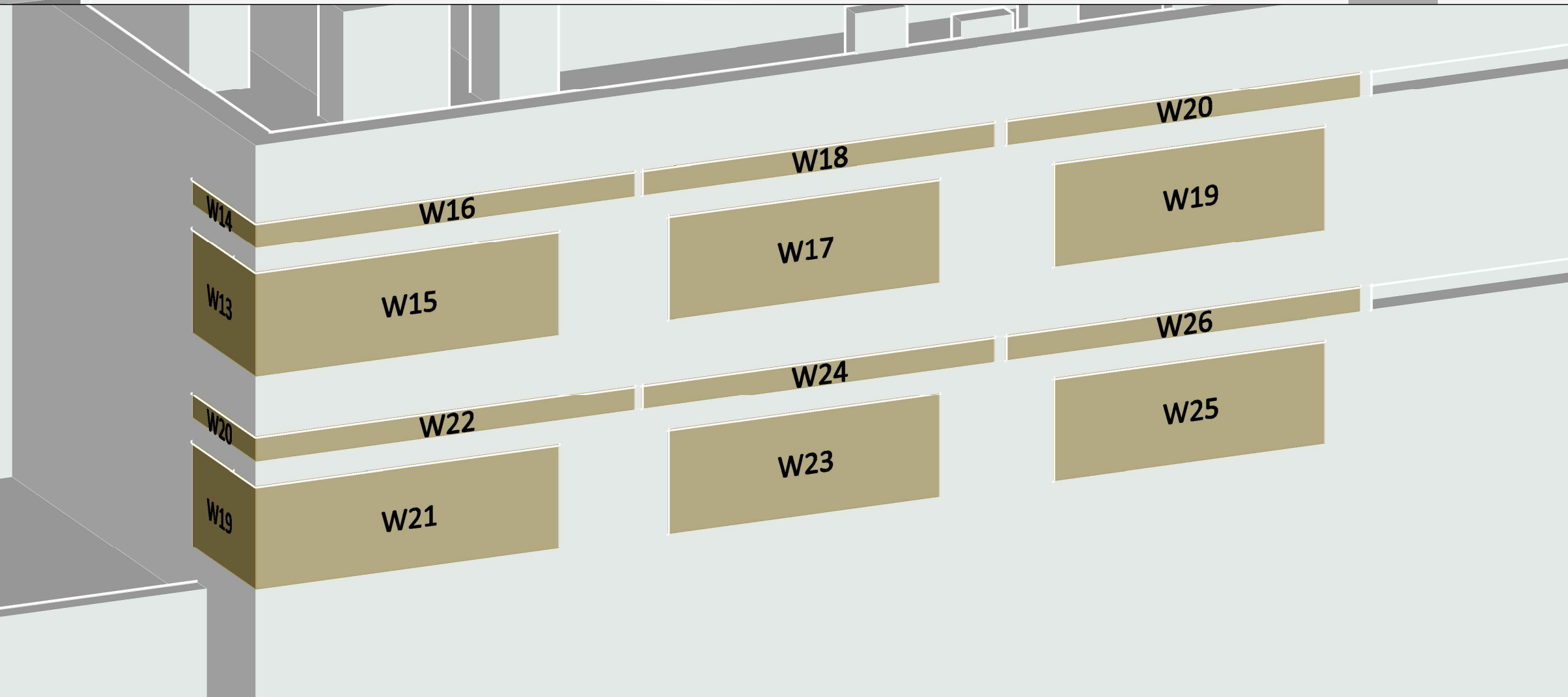
PROJECT No. REL No.- DRAWING No.

2164 01-05

VIEW 1



VIEW 2

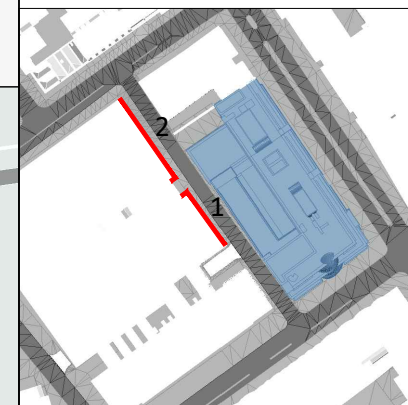


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PROJECT
 13 FITZROY STREET
 LONDON, W1T

DRAWING
 WINDOW MAP
 BT TOWER

DATE 12.03.19	SCALE @ A3 NTS
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MODELED BY MZ	DRAWN BY MZ
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PROJECT No. 2164	REL No.- DRAWING No. 01-06
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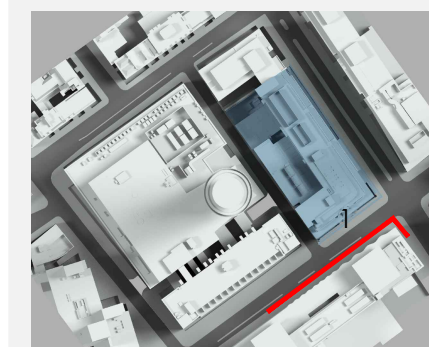
SOURCES OF INFORMATION:

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SITE PHOTOGRAPHS

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PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
WINDOW MAPS

SCALE @ A3 **DATE**
NTS 12.04.2022

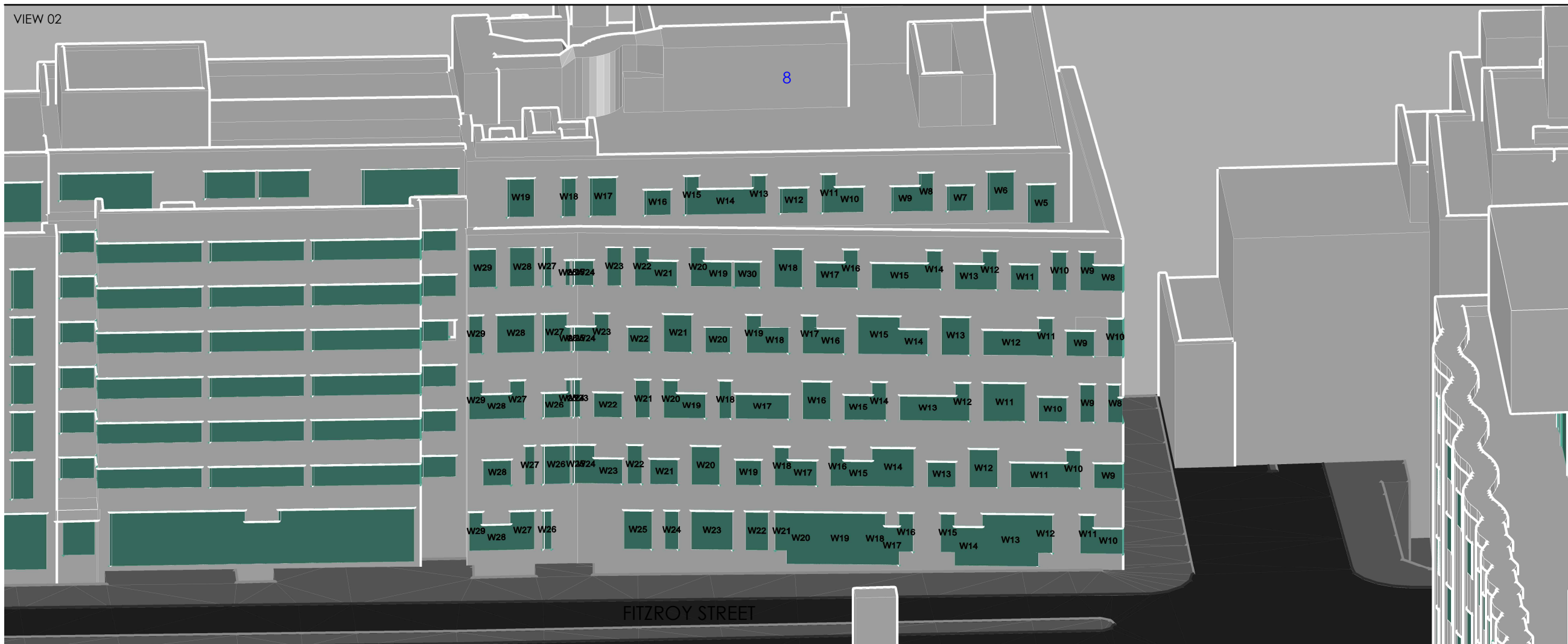
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VR VR

PROJECT No. **REL No. - DWG No.**
2164 06-04

VIEW 01



VIEW 02



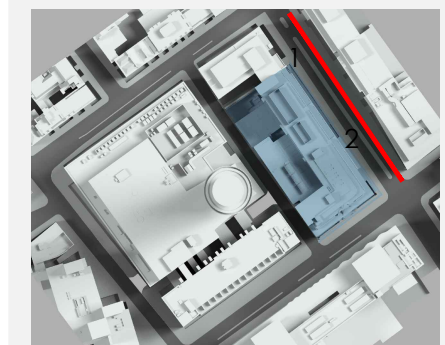
SOURCES OF INFORMATION:

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SITE PHOTOGRAPHS

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PROJECT
13 FITZROY STREET
LONDON, W1T

DRAWING
WINDOW MAPS

SCALE @ A3
NTS

DATE
12.04.2022

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PROJECT No.
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REL No.- DWG No.
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Waldrams Ltd.

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