

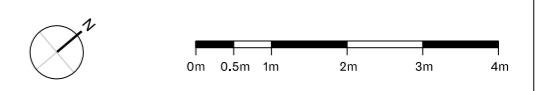
- Legend**
- Ownership boundary line (The Site)
  - ▨ Demolished/ Removed Structure
  - ⊕ Demolished/ Removed Fittings
  - ▨ Demolished/ Removed Structure (in elevation)
  - Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ① Proposed removal of existing steps.
  - ② Proposed demolition of existing timber fence along Narcissus Road.
  - ③ Removal of existing extension.
  - ④ Removal of concrete tiles & enlargement of steps.
  - ⑤ Removal of existing side gate.
  - ⑥ Proposed new side gate (app. 1 m wide).
  - ⑦ Proposed new rear & side extension.
  - ⑧ Proposed new retaining wall, clad in brick to match existing context.

31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Rev 0 (Planning Application)

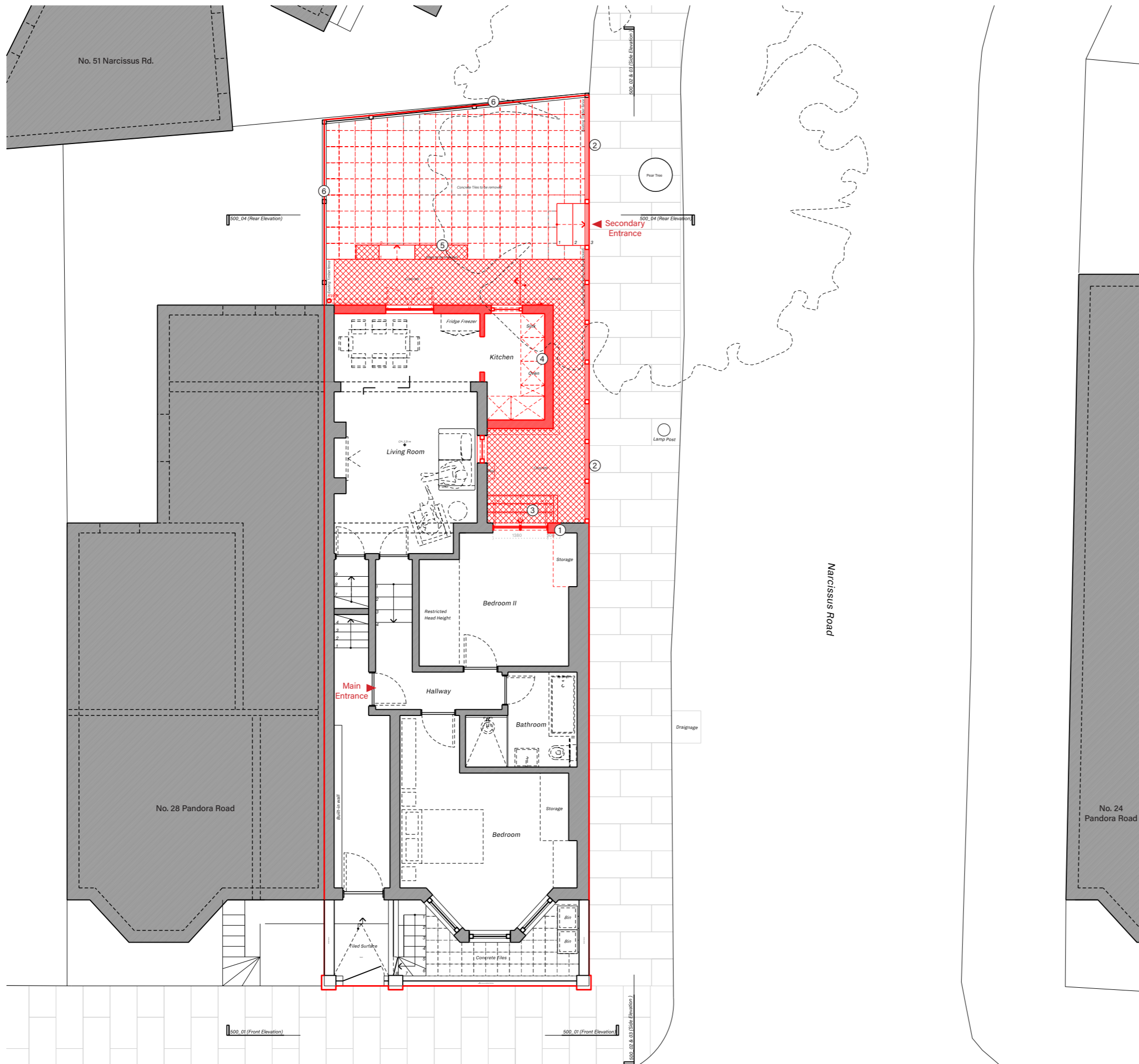
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Block Plan
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	100_01



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**Existing Block Plan**

**Proposed Block Plan**

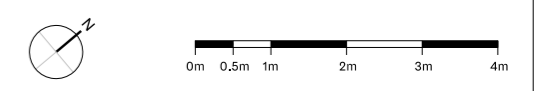



- Legend**
- Ownership boundary line (The Site)
  - Demolished/ Removed Structure
  - Demolished/ Removed Fittings
  - Demolished/ Removed Structure (in elevation)
  - Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ① Proposed small enlargement of the opening.
  - ② Proposed demolition of existing timber fence along Narcissus Road & relocation of gate entrance.
  - ③ Removal of existing stairs & glazed doors.
  - ④ Removal of existing extension.
  - ⑤ Proposed removal of concrete tiles & enlarged steps.
  - ⑥ Proposed retained timber fence (only internal courtyard paint).

31.05.22 - Rev 1 (Flank wall window removed)  
 04.04.22 - Rev 0 (Planning Application)

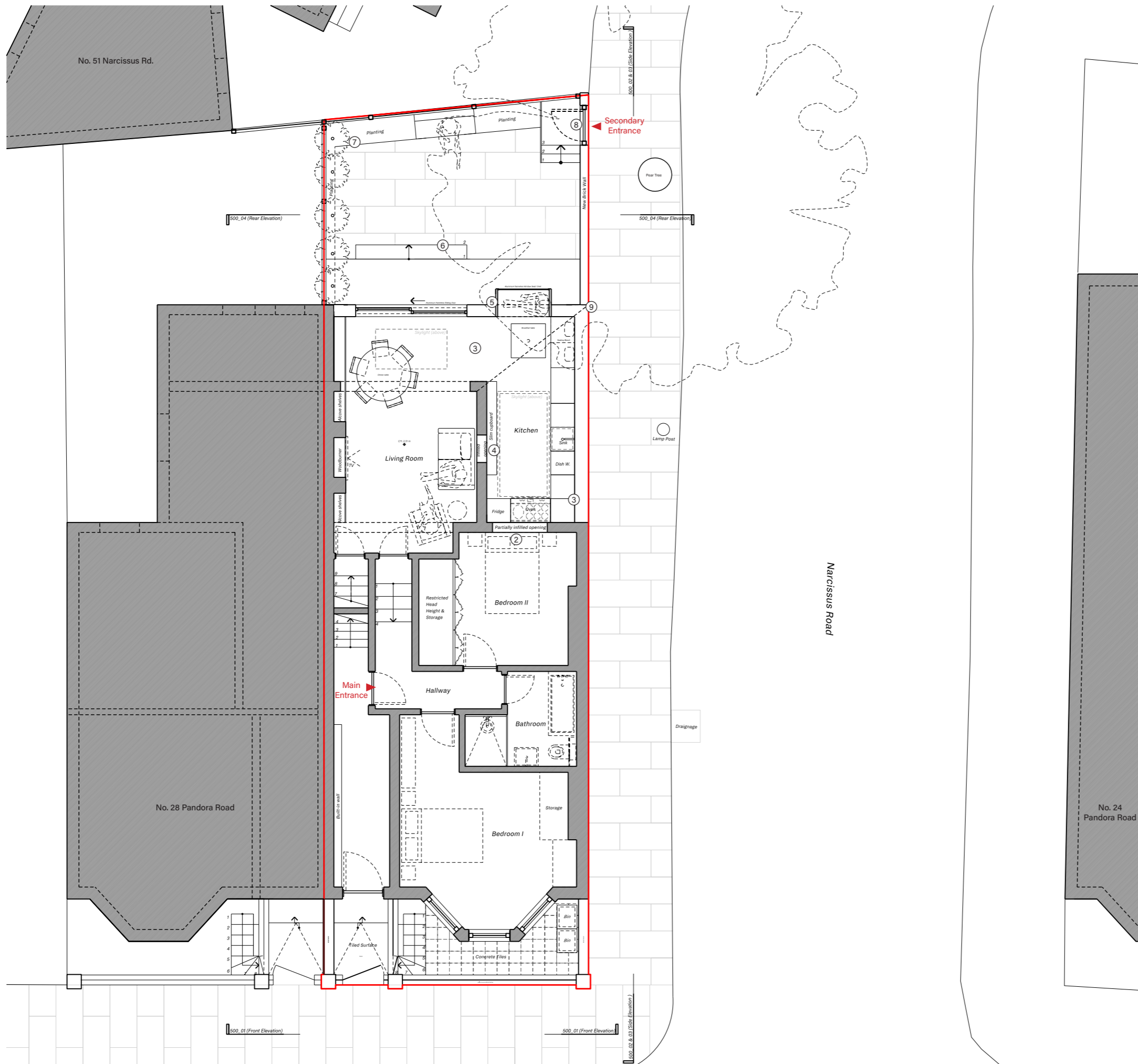
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Demolition/ Existing Ground Floor Plan
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	200_01





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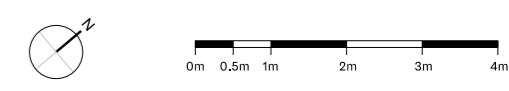


- Legend**
- Ownership boundary line (The Site)
  - Demolished/ Removed Structure
  - Demolished/ Removed Fittings
  - Demolished/ Removed Structure (in elevation)
  - Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ① Proposed new traditional-style window.
  - ② Proposed partial infill with top glazing.
  - ③ Proposed new extension.
  - ④ Proposed infill.
  - ⑤ Proposed window seat (glazed oriel).
  - ⑥ Proposed enlarged steps & new stone pavers.
  - ⑦ Proposed new planting to reduce overlooking.
  - ⑧ Proposed new relocated gate entrance door with new stair.
  - ⑨ Proposed new brick wall (same height as existing timber fence), proposed Red Brick to match existing brick of the flank wall along Narcissus Road.

31.05.22 - Rev 1 (Flank wall window removed)  
 04.04.22 - Rev 0 (Planning Application)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Proposed Ground Floor Plan
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	300_01



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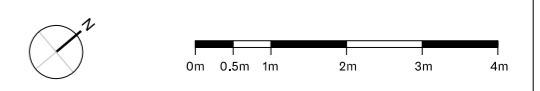


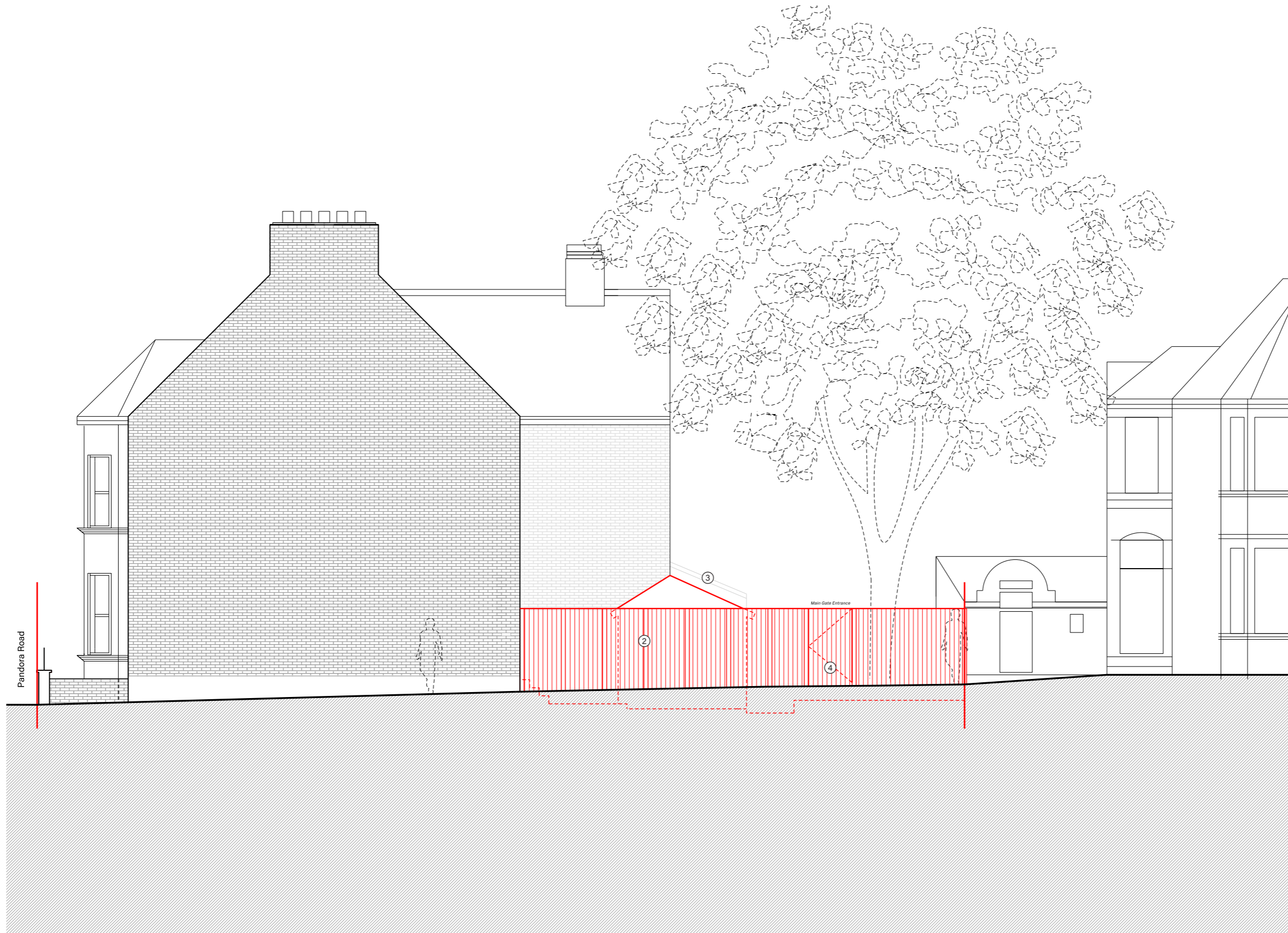
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- Notes**
- ① Proposed new extension with zinc roof & 2 x skylights. (first -1000 x 1800 mm; second - 1300 x 2700 mm)

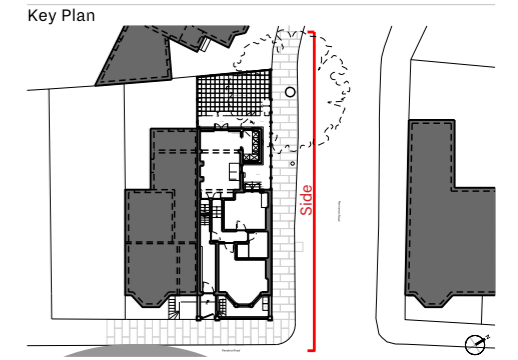
31.05.22 - Rev 1 (Flank wall window removed)  
 04.04.22 - Rev 0 (Planning Application)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Proposed Roof Plan
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	300_03





Existing/ Demolition Side Elevation



- Legend**
- Ownership boundary line (The Site)
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  - ⊕ Demolished/ Removed Fittings
  - Demolished/ Removed Structure (in elevation)
  - ▨ Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ② Proposed demolition of existing timber fence along Narcissus Road.
  - ③ Proposed demolition of existing extension (only roof visible from street level).
  - ④ Proposed removal & relocation of gate (secondary entrance).

31.05.22 - Rev 1 (Flank wall window removed)

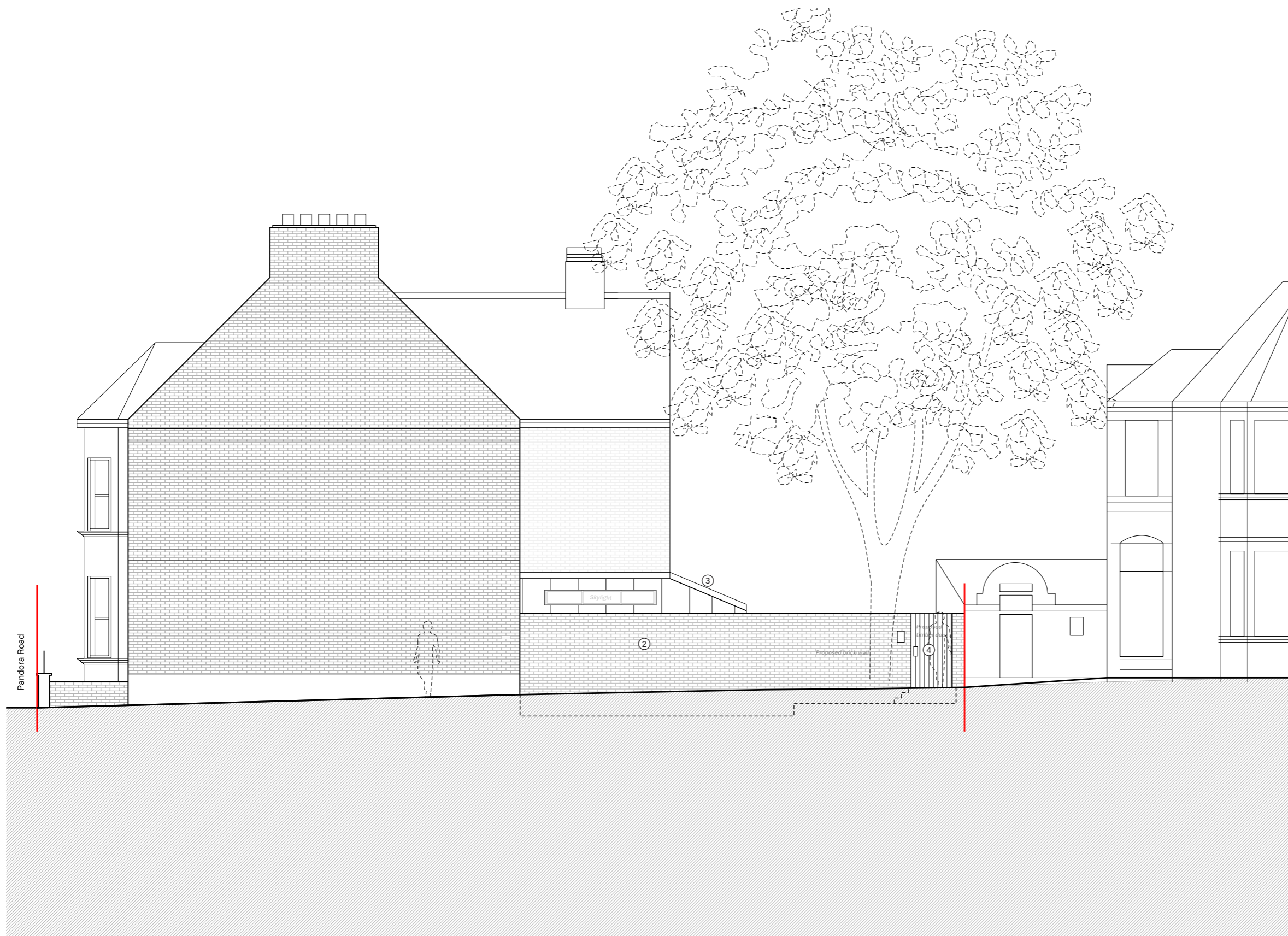
04.04.22 - Rev 0 (Planning Application)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Demolition/ NorthEast (Side) Elevation
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	March 2022
Drawing Number:	500_02

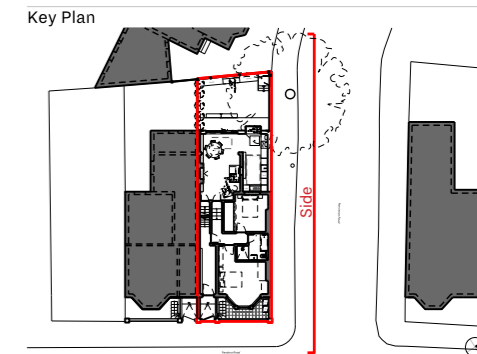


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Proposed Side Elevation



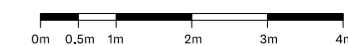
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  - + Demolished/ Removed Fittings
  - Demolished/ Removed Structure (in elevation)
  - Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ② Proposed new brick wall (same height as existing timber fence), proposed Red brick to match existing brick of the flank wall of the property, along Narcissus Road.
  - ③ Proposed new extension (only roof visible from street level).
  - ④ Proposed new dark timber door gate.

31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Rev 0 (Planning Application)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Proposed NorthEast (Side) Elevation
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	March 2022
Drawing Number:	500_03



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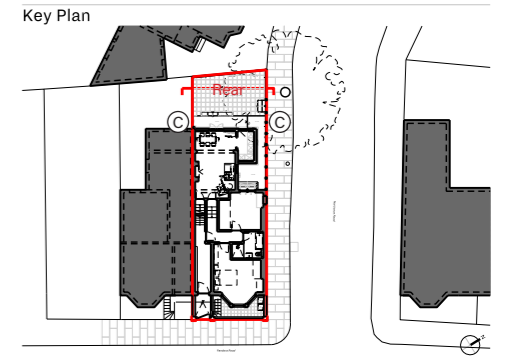




Existing/ Demolition Rear Elevation



Proposed Rear Elevation



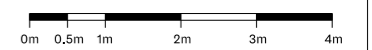
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  - Demolished/ Removed Structure
  - + Demolished/ Removed Fittings
  - Demolished/ Removed Structure (in elevation)
  - Existing Structure (with hatch)
  - Proposed Structure (no hatch)

- Notes**
- ① Proposed demolition of existing extension.
  - ② Proposed demolition of existing timber fence.
  - ③ Removal of existing stairs, side demolition & glazed doors.
  - ④ Proposed retained garden levels, but removal of concrete tiles & enlarged steps.
  - ⑤ Removal of existing stone steps.
  - ⑥ Proposed new extension, clad in charred timber.
  - ⑦ Proposed partial infill with top glazing.
  - ⑧ Proposed new brick wall (same height as existing timber fence), proposed Red Brick to match existing brick of the flank wall along Narcissus Road.
  - ⑨ Proposed window seat (glazed oriel).

31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Rev 0 (Planning Application)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Rear Elevation
Drawing Status:	Planning
Scale:	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	500_04



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