

Legend

—	Ownership boundary line (The Site)
	Demolished/ Removed Structure
	Demolished/ Removed Fittings
	Demolished/ Removed Structure (in elevation)
	Existing Structure (with hatch)
	Proposed Structure (no hatch)

Notes

Pear

0

Nai

rcissus

Road

(1)	Proposed removal of existing steps.
2	Proposed demolition of existing timber fence along Narcissuss Road.
3	Removal of existing extension.
4	Removal of concrete tiles & enlargement of steps.
5	Removal of existing side gate.
6	Proposed new side gate (app. 1 m wide).

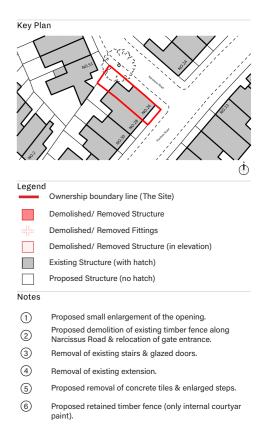
7 Proposed new rear & side extension.

Proposed new retaining wall, clad in brick to match existing context. 8

31.05.22 - Rev 1 (Flank wall window removed)

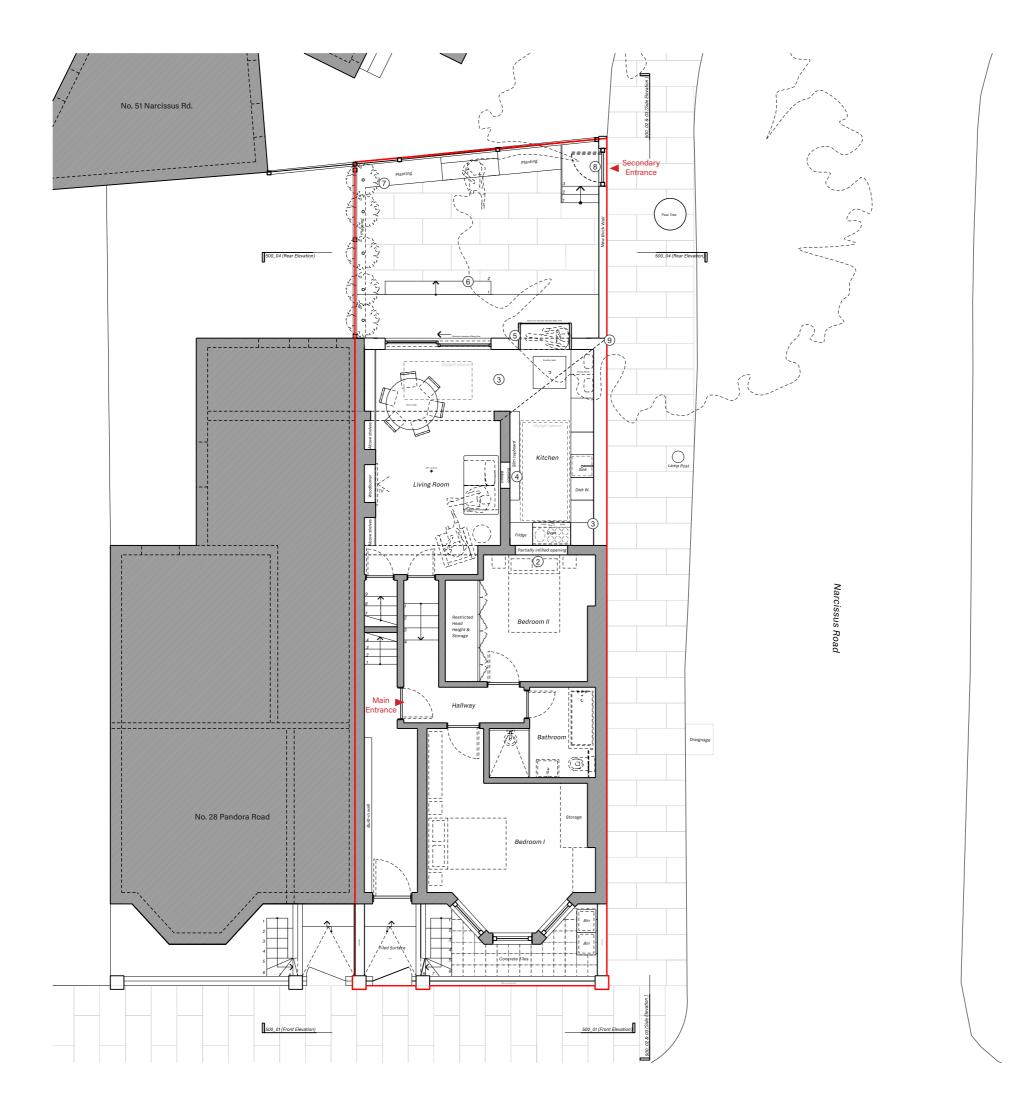
	3 ++
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Block Plan
Drawing Status:	Planning
Scale	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	100_01
Om Om	0.5m 1m 2m 3m 4m
	\sim
93 Elm Park Gardens, SW10 9QW, London	T.: +44 7413176181 E.: a.laura.nica@gmail.com
Laura Nica Studio	
No implied license exists. All dimensions should dimensions to be checked on site by the contra drawings. All work must comply with relevant t errors and omIssions to be reported to the arch	d not be used to calculate areas for the purposes of valuation. All cctor and such dimensions to be their responsability. Do not scale shish Standards and Building Regulations requirements. Drawings Itect.





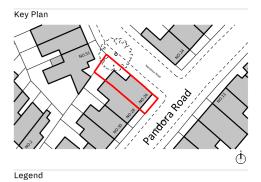
31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Nev 0 (Flam	
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Demolition/ Existing Ground Floor Plan
Drawing Status:	Planning
Scale	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	200_01
	n 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
L	
93 Elm Park Gardens, SW10 9QW, Londo	n T.: +44 7413176181 E.: a.laura.nlca@gmall.com
Laura Nica Studio	
No Implied license exists. All dimensions sho dimensions to be checked on site by the cor drawings. All work must comply with relevan errors and omissions to be reported to the a	ould not be used to calculate areas for the purposes of valuation. All ntractor and such dimensions to be their responsability. Do not scale nt British Standards and Building Regulations requirements. Drawings rchitect.



No. 24 Pandora Road

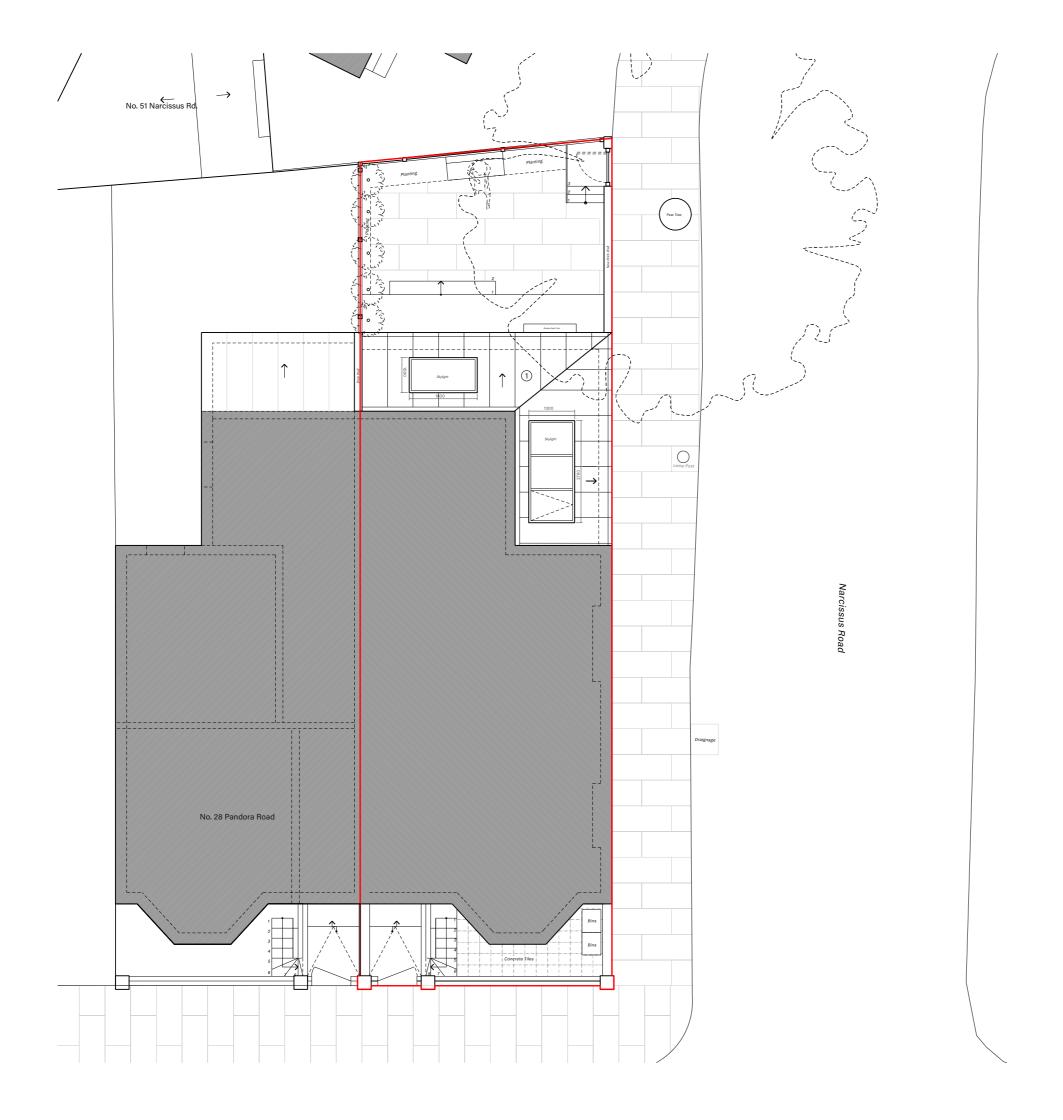
r-----



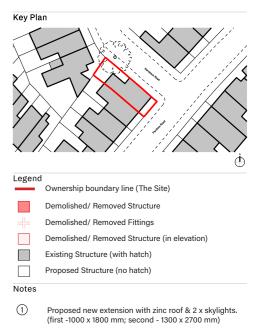
	Ownership boundary line (The Site)
	Demolished/ Removed Structure
	Demolished/ Removed Fittings
	Demolished/ Removed Structure (in elevation)
	Existing Structure (with hatch)
	Proposed Structure (no hatch)
Notes	
1	Proposed new traditional-style window.
2	Proposed partial infill with top glazing.
3	Proposed new extension.
4	Proposed infill.
5	Proposed window seat (glazed oriel).
6	Proposed enlarged steps & new stone pavers.
7	Proposed new planting to reduce overlooking.
8	Proposed new relocated gate entrance door with new stair.
9	Proposed new brick wall (same height as existing timber fence), proposed Red Brick to match existing brick of the flank wall along Narcissus Road.

31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Rev 0 (Plannin		
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT	
Client:	Mrs & Mr Harvey	
Drawing Title:	Proposed Ground Floor Plan	
Drawing Status:	Planning	
Scale	1:100 @A3 / 1:50 @A1	
Date:	April 2022	
Drawing Number:	300_01	
om of	1 1 1 1 0.5m 1m 2m 3m 4	m
93 Elm Park Gardens, SW10 9QW, London	T.: +44 7413176181 E.: a.laura.nica@gmail.com	
Laura Nica Studio		
No Implied license exists. All dimensions shou dimensions to be checked on site by the contr drawings. All work must comply with relevant errors and omissions to be reported to the arc	Id not be used to calculate areas for the purposes of valuation. All actor and such dimensions to be their responsability. Do not scale British Standards and Building Regulations requirements. Drawing hitect.	s

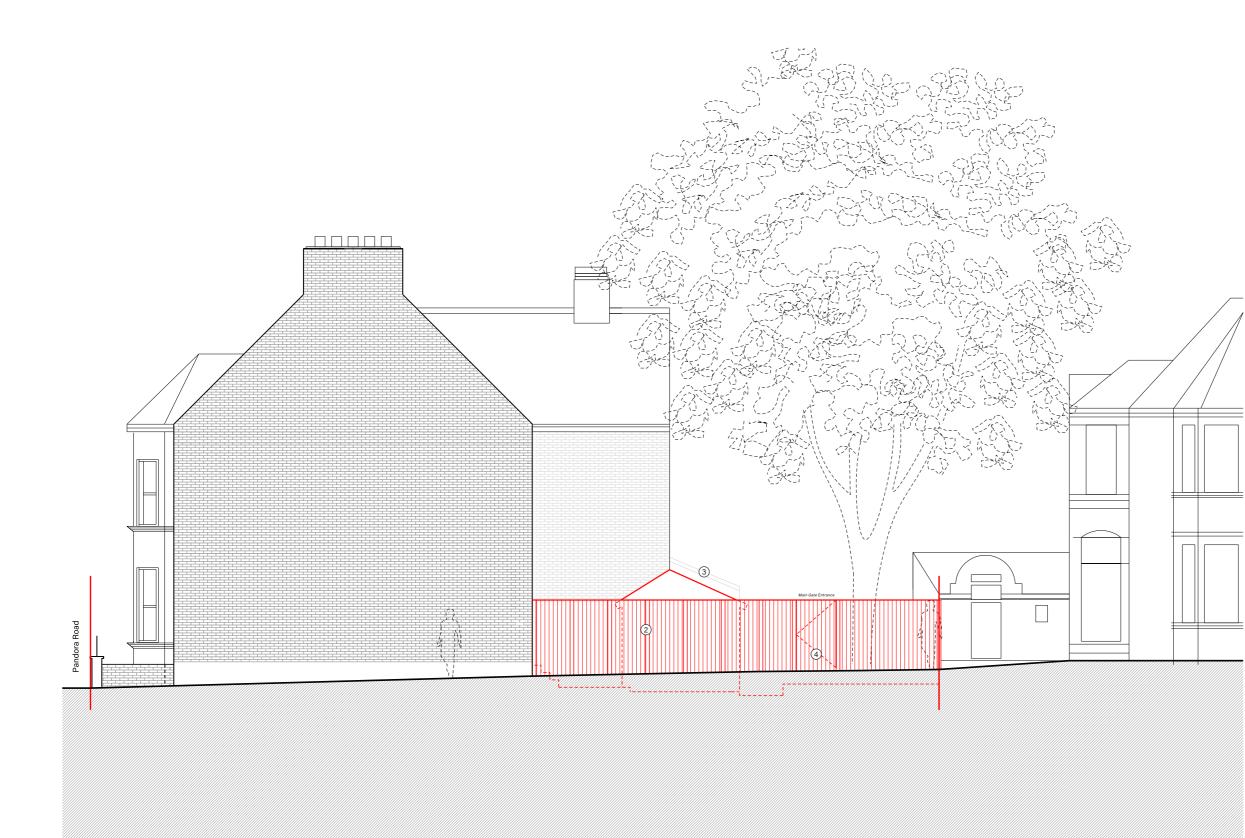


No. 24 Pandora Road

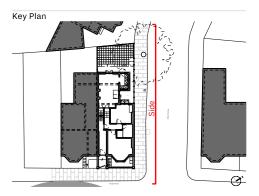


31.05.22 - Rev 1 (Flank wall window removed)

04.04.22 - Nev 0 (Fiannin	, a station of the st
Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Proposed Roof Plan
Drawing Status	Planning
Scale	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	300_03
C I Om	0.5m 1m 2m 3m 4m
L	
93 Elm Park Gardens, SW10 9QW, London	T.: +44 7413176181 E.: a.laura.nlca@gmall.com
Laura Nica Studio	
No implied license exists. All dimensions shou dimensions to be checked on site by the contr drawings. All work must comply with relevant errors and omissions to be reported to the arc	ild not be used to calculate areas for the purposes of valuation. All ractor and such dimensions to be their responsability. Do not scale British Standards and Building Regulations requirements. Drawings hiltect.



Existing/ Demolition Side Elevation



Legend

_	Ownership boundary line (The Site)
	Demolished/ Removed Structure
	Demolished/ Removed Fittings
	Demolished/ Removed Structure (in elevation)
	Existing Structure (with hatch)
	Proposed Structure (no hatch)

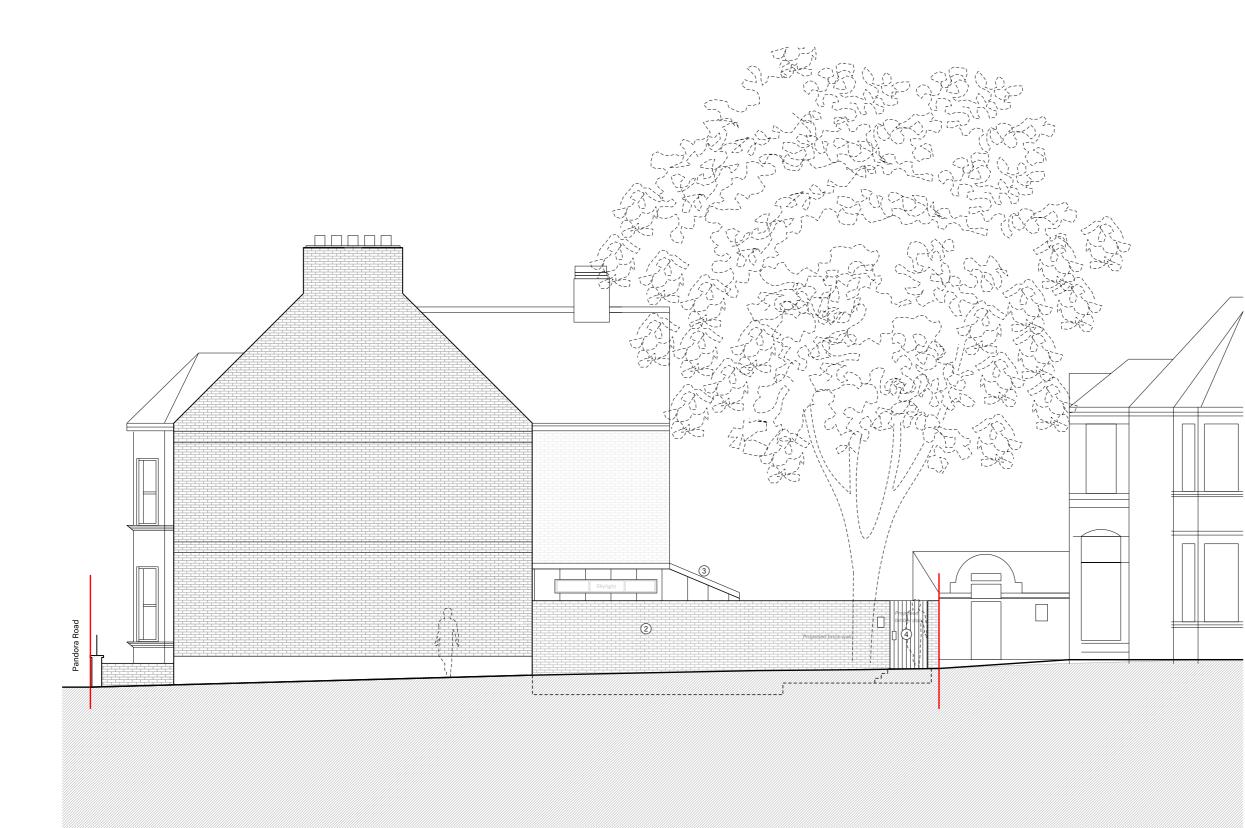
Notes

2	Proposed demolition of existing timber fence along Narcissus Road.
3	Proposed demolition of existing extension (only roof visible from street level).
~	Description of a second and the second

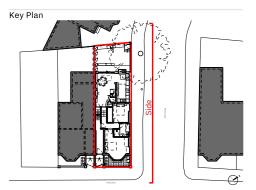
Proposed removal & relocation of gate (secondary entrance).

31.05.22 - Rev 1 (Flank wall window removed)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Demolition/ NorthEast (Side) Elevation
Drawing Status	Planning
Scale	1:100 @A3 / 1:50 @A1
Date:	March 2022
Drawing Number:	500_02
c	Dm 0.5m 1m 2m 3m 4m
L	
93 Elm Park Gardens, SW10 9QW, Lond	Ion T.: +44 7413176181 E.: a.laura.nica@gmail.com
Laura Nica Studio	
No Implied license exists. All dimensions si dimensions to be checked on site by the co drawings. All work must comply with releva errors and omissions to be reported to the	hould not be used to calculate areas for the purposes of valuation. All ontractor and such dimensions to be their responsability. Do not scale ant British Standards and Bullding Regulations requirements. Drawings architect.



Proposed Side Elevation



Legend

ine (The Site)
d Structure
d Fittings
d Structure (in elevation)
h hatch)
o hatch)

Notes

- Proposed new brick wall (same height as existing timber fence), proposed Red brick to match existing brick of the flank wall of the property, along Narcissus Road.
- ③ Proposed new extension (only roof visible from street level).
- (4) Proposed new dark timber door gate.

31.05.22 - Rev 1 (Flank wall window removed) 04.04.22 - Rev 0 (Planning Application) Flat 1 - No. 26 Pandora Rd, London, NW6 1TT Project Address Client: Mrs & Mr Harvey Proposed NorthEast (Side) Elevation Drawing Title: Planning Drawing Status: 1:100 @A3 / 1:50 @A1 Scale March 2022 Date: 500_03 Drawing Number: 0m 0.5m 1m 3m 4m

93 Elm Park Gardens, SW10 9QW, London T.: +44 7413176181 E: a.laura.nica@gmal Laura Nica Studio

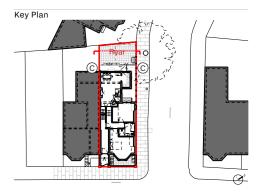
No implied licence exists, all dimensions about not be used to calculate zeros for the purposes of valuation Al monoports be a context of the exist of the context or and such dimensions to be their context of the drawings, All work must comply with relevant British Standards and Bullding Regulations requirements. Drawings errors and omissions to be reported to the excitence.







Proposed Rear Elevation



Legend

_	Ownership boundary line (The Site)
	Demolished/ Removed Structure
4	Demolished/ Removed Fittings
	Demolished/ Removed Structure (in elevation)
	Existing Structure (with hatch)
	Proposed Structure (no hatch)
Notes	
1	Proposed demolition of existing extension.
2	Proposed demolition of existing timber fence.
3	Removal of existing stairs, side demolition & glazed doors.
4	Proposed retained garden levels, but removal of concrete tiles & enlarged steps.
5	Removal of existing stone steps.
6	Proposed new extension, clad in charred timber.
7	Proposed partial infill with top glazing.
8	Proposed new brick wall (same height as existing timber fence), proposed Red Brick to match existing brick of the flank wall along Narcissus Road.

Proposed window seat (glazed oriel).

31.05.22 - Rev 1 (Flank wall window removed)

Project Address:	Flat 1 - No. 26 Pandora Rd, London, NW6 1TT
Client:	Mrs & Mr Harvey
Drawing Title:	Rear Elevation
Drawing Status:	Planning
Scale	1:100 @A3 / 1:50 @A1
Date:	April 2022
Drawing Number:	500_04
Om	0.5m 1m 2m 3m 4m
L	
93 Elm Park Gardens, SW10 9QW, London	T.: +44 7413176181 E.: a.laura.nlca@gmall.com
Laura Nica Studio	
No Implied Tense exists. All dimensions should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contracted and such dimensions to be their responsibility. Do not scale drawlings. All work must comply with relevant British Standards and Building Regulations requirements. Drawlings errors and contaisons to be reported to the architect.	