

**49 ARLINGTON ROAD
CAMDEN TOWN, NW1**

**HERITAGE STATEMENT
IN SUPPORT OF APPLICATIONS FOR
PLANNING PERMISSION AND
LISTED BUILDING CONSENT**



**Prepared by
Michael Copeman MSc BA IHBC**

MAY 2022

CONTENTS

1	INTRODUCTION	3
1.1	Commission	3
2	HISTORY AND DEVELOPMENT	4
2.1	History: Arlington Road.....	4
2.2	The property	4
3	SIGNIFICANCE.....	9
3.1	Assessment of heritage significance	9
3.2	Summary of heritage significance	9
4	PLANNING POLICY CONTEXT.....	9
	National Policy	9
4.2	Local Policy.....	10
5	PROPOSALS AND HERITAGE IMPACT ASSESSMENT.....	10
5.1	Proposals	10
5.2	Assessment.....	10
6	SUMMARY AND CONCLUSION.....	12
6.1	Summary.....	12
6.2	Conclusion.....	12
	APPENDIX: STATUTORY LIST ENTRY.....	13

FIGURES

Cover: front elevation	
Figure 1: Ordnance Survey map detail 1870	5
Figure 2: Ordnance Survey map detail 1894	6
Figure 3: Drainage plan, 1930.....	6
Figure 4: Plans showing basement ground and first floor alterations, 1965	7
Figure 5: Rear elevation, no. 49 to centre.....	8

1 INTRODUCTION

1.1 Commission

- 1.1.1 This report has been prepared by me, Michael Copeman MSc BA IHBC (Historic Buildings Consultant) in support of applications for planning permission and listed building consent for alterations to 49 Arlington Street, Camden Town, London NW1. I inspected the site on 10 March 2022. I was formally instructed by Jeremy Wiggins of Mutiny Architecture on 11 March 2022.
- 1.1.2 No. 49 Arlington Road is a terraced house built in c. 1840. It is listed grade II and is within LB Camden's Camden Town Conservation Area.
- 1.1.3 The proposed development consists principally of the demolition of the existing rear closet wing and the construction of a new full-width extension basement extension, internal alterations, and the construction of a detached garden room.
- 1.1.4 Research was undertaken at LB Camden Archives, and using on-line and published sources.

2 HISTORY AND DEVELOPMENT

2.1 History: Arlington Road

- 2.1.1 The southern part of Arlington Road was at least projected as an urban development quite early in the 19th century by the Southampton Estate, freeholder of much of the surrounding area. The early history of the street and the exact date at which it was developed are uncertain. Camden Archives holds a deed relating to a house plot on the east side dated 1806, which includes a block plan showing the roadway.¹ It refers to the street 'called or intended to be called' Arlington Street; suggesting that the street was laid out, at least by this date.
- 2.1.2 Mornington Crescent was laid out c1820. It terminated to the north at its junction with what is now Arlington Road, suggesting that Arlington Road was already in existence. The present north-eastward continuation of Mornington Crescent was then called Southampton Street. Development of the area was slow: the first houses in Mornington Crescent were occupied by 1821, but it was not complete until 1832.²
- 2.1.3 Residential development of Arlington Road was even slower. The east side had been developed by the later 1820s, shown on Greenwood's map of 1827³. Rates were being paid on nos. 1-37 (consec.) by c1828 indicating that they were then fully occupied.⁴ The west side was still open, and used as a nursery or market gardens and remained undeveloped partly because of the protracted negotiations associated with the sale of land by Lord Southampton for the London to Birmingham Railway line (built 1833-7) to the west of Camden Town. The west side of the street was developed after railway was built, between 1838-41.
- 2.1.4 The street was first known as Arlington Street, becoming Arlington Road in 1875 when it subsumed Grove Street, which began just to the south of what is now the Delancy Street junction. The whole street was then renumbered. The numbers were originally consecutive from south to north on the east side and north to south on the later west side, meaning that no. 49 would have been 52 Arlington Road.
- 2.1.5 Much of the east side of Arlington Road was badly damaged by bombing during World War Two⁵ and subsequently redeveloped with blocks of flats.

2.2 The property

- 2.2.1 The rate-books for St Pancras indicated that the block of houses that includes the present 49 Arlington Road dates from c1840 and was among the last groups of houses to be built in the original development of the street. Rates were first paid in 1841. No leases or archive material specifically associated with no. 49 have been found.

¹ Camden Archives ref. BRA1638/1

² <https://www.british-history.ac.uk/survey-london/vol24/pt4/pp132-133>

³ <https://curiosity.lib.harvard.edu/scanned-maps/catalog/44-990102029440203941>

⁴ Camden Archives: St Pancras Rate-books 1828

⁵ Ward, L., (2015) *LCC Bomb Damage Maps 1939-1945*, London, Thames and Hudson

- 2.2.2 The house as built had three storeys and a basement on a relatively narrow street frontage of c4.5m, with a shallow depth, of only c7m. The internal plan is the standard London terraced house plan of two principal rooms per floor, with the entrance passage and staircase to the side. Unusually, the chimneystack serving the rear rooms was on the back wall, rather than the party wall.
- 2.2.3 The house, along with its neighbours, also had an unusual form of construction to the rear second floor level, with slate hanging forming a sort of ‘mansard’ roof behind a central valley. Some unaltered examples survive elsewhere in the terrace. This odd arrangement was presumably for economy, since it allowed for a partial timber-frame construction rather than a full-height brick wall.
- 2.2.4 The earliest large scale map to show the house in any detail, is the 1870 Ordnance Survey (Fig. 1). At this date there was an extension projecting from the north side of the rear elevation. Its footprint is consistent with that of a number of other houses in the terrace, suggesting that it was primary. Very few leases or primary records for individual houses in Arlington Street have been found, but an 1841 lease for 46 Arlington Street⁶ (later 61 Arlington Road) includes a block plan showing a similar rear extension, nearly half as wide as the house with an awkward canted inner angle so that the basement window was not blocked.



Figure 1: Ordnance Survey map detail 1870 (© Camden Local Studies and Archives Centre)

- 2.2.5 By 1894 the OS map (Fig. 2) shows that a second, smaller rear extension had been added to the south side of the house. Its footprint does not correspond with the extant rear extension.

⁶ Camden Archives ref. A/01077/1



Figure 2: Ordnance Survey map detail 1894 (© Camden Local Studies and Archives Centre)

2.2.6 An application for 're-drainage' was made to St Pancras Borough Council in 1930; implying that the plumbing was being replaced rather than wholly new sanitary provisions introduced. An attached sketch plan (Fig. 3) corresponds with the footprint of the house on the 1894 map. It identifies the larger extension as a wash-house and the smaller as a WC.

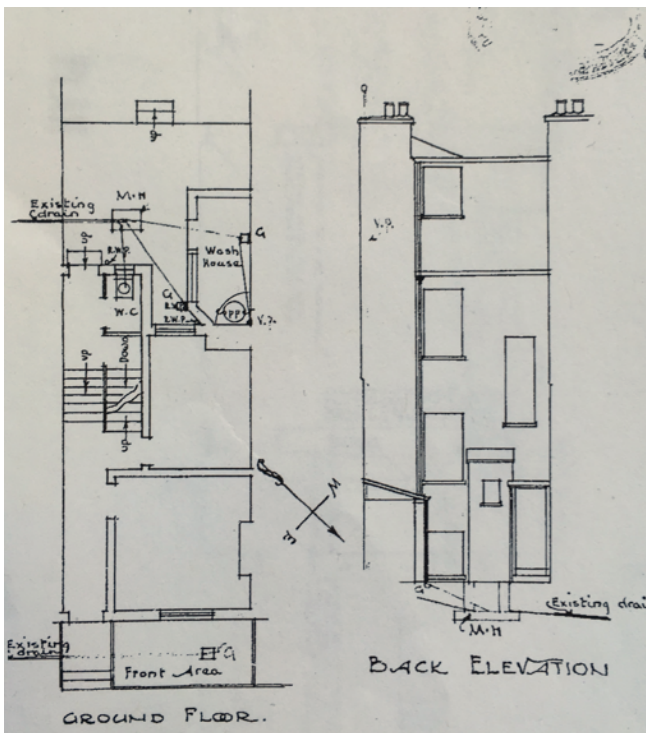


Figure 3: Drainage plan, 1930 (Camden Local Studies and Archives Centre)

⁷ Camden Archives: drainage plans, 49 Arlington Road 1930

- 2.2.7 No. 49 and the adjoining houses suffered bomb damage in World War Two. The extent of damage is unclear, but the rear of no. 51, has concrete lintels, and appears to have required substantial rebuilding. The flat heads to the windows of no. 49 may suggest a similar level of post-war repair.
- 2.2.8 In 1965 drainage plans were submitted to the Borough of Camden⁸ for various internal and external alterations (Fig. 4). There is no corresponding reference to the works in the planning history for the house, so planning permission was presumably not required. The then existing rear extensions were demolished and present WC and lobby built. The plans show, in addition, a full width extension at basement level, with a terrace above it, but there is no evidence that this was carried out. The external shed was added at the same date, to house the heating plant.
- 2.2.9 At the same time, the present arrangement of the ground and first floors was introduced. The partitions between the ground floor front room, entrance hall and rear room were removed and the door was introduced at the foot of the stairs. At first floor, the partition between front and rear rooms was removed and a new wall was set further back into the rear room creating a shallow recess to form a wardrobe. The doorway under the front entrance to the basement area was blocked. It was proposed to enlarge the front basement window and put in French doors with flanking windows, but this does not seem to have been done.

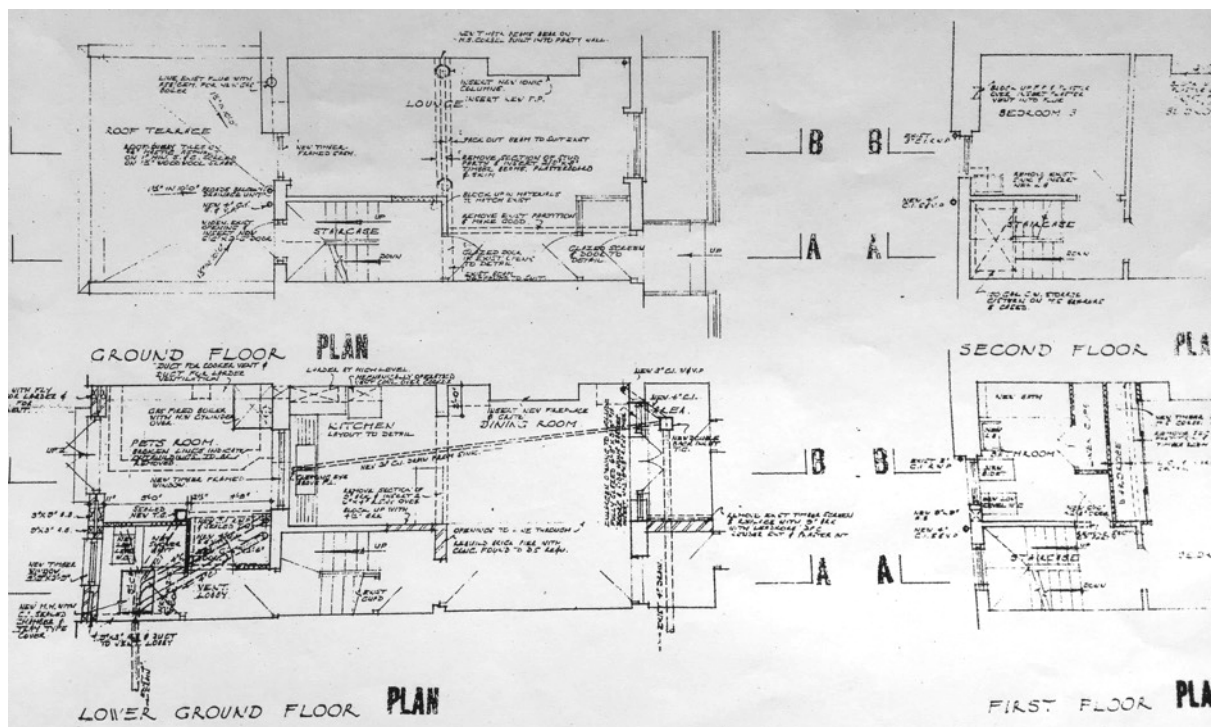


Figure 4: Plans showing alterations, 1965 (Camden Local Studies and Archives Centre)

- 2.2.10 Planning permission was obtained in 1970⁹ for the addition of the attic storey and associated internal works. It is assumed that the party wall chimney stack above second floor level was removed at this date. It has not been possible to obtain

⁸ Camden Archives: drainage plans, 49 Arlington Road 1965

⁹ LB Camden planning ref. [CTP/K11/14/5/10226\(R\)2](https://www.camden.gov.uk/camden-archives/ctp/k11/14/5/10226(R)2)

drawings associated with this alteration, but work was evidently undertaken. A 1975 photograph¹⁰ shows a slate mansard, indicating that the present rear fenestration is a later, but there are no more recent planning records. The house was not listed until 1999, so listed building consent was not required.

2.2.11 In 1973, planning permission was obtained¹¹ for a ‘plant house’ in the form of a conservatory directly above the ‘lobby’ that links the house and WC extension. It is unclear whether this was ever built; if so it has since been removed.

2.2.12 It is not known when the rear elevation was rendered. This would not have required planning permission, or listed building consent before 1999.

2.2.13 The original internal plan remains legible, despite the alterations, but there are relatively few primary details. The plaster cornice mouldings are typical of c1840, but have been reproduced to follow the line of later partitions in several places, at least. It is not certain which sections are primary. Only the ground floor front window is (probably) primary; the others are later reproductions with horns, which would not have been used c1840. The stair balustrade and some doors appear to be original, but most of the other joinery is modern, as are the two chimneypieces.



Figure 5: Rear elevation, no. 49 to centre

¹⁰ Camden Archives ref. Camden Planning photo index A/21/398

¹¹ LB Camden planning ref. [CTP/K11/14/5/15957](#)

3 SIGNIFICANCE

3.1 Assessment of heritage significance

- 3.1.1 49 Arlington Road is listed grade II with group value, as part of the terrace of similar houses, nos. 39-51 (odd), including the cast iron spear-topped railings to the front areas and front balconies. The semi-circular ‘toplight’ over the front door of no. 49 is mentioned specifically in the list entry. The attic extension is noted as ‘not of special interest’. The interior was not inspected as part of the listing survey.
- 3.1.2 The west side of Arlington Street is described in the *Camden Town Conservation Area Appraisal*, which highlights the uniformity of the terraces in Arlington Road and their consistency with those in adjoining streets. It notes the survival of a number of unaltered examples of the unusual roofs, rear second floor construction and rear chimneys that characterise the terrace of which no. 49 is a part.
- 3.1.3 The appraisal also notes that the rear elevations of Arlington Street can be seen from Mornington Street; but in practice, of the houses at the centre of the terrace including no. 49, only the first floor and above are visible. This is not identified as a key view in the appraisal. There are no other views of the rear of the house from the public realm.
- 3.1.4 No. 49 has been significantly altered by the addition of the attic, by the removal and rebuilding of the rear extensions(s) and by the fact that its rear elevation has been rendered, most of its windows are modern reproductions, and the interior has been altered. Therefore, it is not among the best individual examples of the group that makes up the terrace.

3.2 Summary of heritage significance

- 3.2.1 In summary, the heritage significance of the house derives primarily from the contribution of the front elevation to the character and appearance of terrace of which it is a part, and of the terrace as a whole to the surrounding mid-19th century townscape. The interior and the rear elevation are of relatively lower significance than the front, and the attic is somewhat intrusive.

4 PLANNING POLICY CONTEXT

National Policy

- 4.1.1 The *National Planning Policy Framework* (NPPF, rev. 2019) sets out the key national planning policies for the conservation of historic built environment, against which the impact of proposals affecting heritage assets and their settings must be assessed. Its over-arching principle is a presumption in favour of ‘sustainable development’ (para. 11). The key provisions in relation to historic buildings are that the significance of heritage assets (including the contribution made by their setting) should be fully understood (paras. 189-192); that great weight should be given to

the conservation of heritage assets (para. 193); that substantial harm to heritage significance should be justified (paras. 194, 195) and that less than substantial harm should be weighed against the benefits of a development (para. 196), and the settings of heritage assets should be protected.

4.2 Local Policy

- 4.2.1 Local planning policy must be consistent with NPPF. The provisions of NPPF are reinforced but not fundamentally altered by the *London Plan* (2021) Policy HC1. The relevant LB Camden policies are set out in the *Camden Local Plan* (2017), supported by Camden Planning Guidance (CPG), *Altering and Extending your Home* (2019); *Design* (2021); *Energy Efficiency* (2021), *Camden Town Conservation Area Appraisal and Management Plan* (2007) and the council's guidance on heritage statements.

5 PROPOSALS AND HERITAGE IMPACT ASSESSMENT

5.1 Proposals

- 5.1.1 The proposals consist of: reconfiguration of the attic including a new bathroom; subdivision of second floor front room to provide an additional bathroom; alteration to the first floor, reinstating the original proportions of front room, with an additional bathroom and closet space in the rear room; reinstatement of the historic plan to ground floor, converting the existing rear window into a door to the proposed rear terrace; demolition of 20th century rear WC, link and shed; addition of a new full-width extension at basement level, and a new garden room at the far west end of the plot.

5.2 Assessment

- 5.2.1 The works to the third floor affect the attic added in 1970. The existing mansard roof has later 20th century rooflights, rather than dormers, to the front elevation. They will be replaced by traditional lead-cheeked dormers much more in keeping with the age and style of the terrace, matching those of the adjoining property, no 51. The raised section of roof, also added in 1970, is similarly, anachronistic, but it is not easily visible from the street. It will be replaced with double glazed units, along with glazed rear doors, to improve their current poor thermal performance. The other windows will be repaired. The internal reconfiguration is minor: the tank enclosure will be extended to form a small *en-suite* WC. There are no historic features at this level, so the works will have no impact on the heritage significance of the building. The new dormers will enhance the historic character of the front elevation.
- 5.2.2 At second floor level, the front room will be subdivided to form a small bedroom and bathroom, and in order to maximise the space available (and meet the relevant space standards) it is proposed to remove the redundant chimney stack at this level. The front room has lost its historic proportions as a result of the introduction of the attic stair and the original doorway has been moved. The door-frames, architraves and blind over-lights are modern; only the doors themselves are original.

(The old doors will be retained and re-used in the new arrangement.) The modern rear sash window will be replaced with a double glazed window with matching joinery sections. The chimney stack is an historic feature, but since the stack has been removed at attic level, there is no chimney piece here, and the historic proportions of the room do not survive, its removal and the other changes will have a negligible impact on heritage significance, outweighed by their practical benefits.

- 5.2.3 At first floor level, the original cross-wall, removed in 1970, will be rebuilt on its historic line (defined by the down-stand and cornice), and the original proportions of the front room will be reinstated. There are few original details here except the cornice, which will be retained. A new doorway will lead through to a small central dressing room/closet and a new partition slightly to the rear of the present (1970) cross-wall will be inserted to form a bathroom in the rear room. The doorway from the landing will be retained *in situ*, fixed shut, so that the appearance of the landing is unaltered and the change could be easily reversed without harm to original fabric. The cornice in the rear room may be partly original but it has been replicated, for example, around the cupboard and central partition. Therefore, the proposed reconfiguration will not result in the loss of any historic features or detail.
- 5.2.4 On the ground floor, the partition between the hallway and front room that was removed in 1970 will be reinstated, and the enclosure at the bottom of the stairs removed. This will recover the primary form of the front room and hallway, and thereby enhance the historic character of one of the principal parts in the house. The cill of the rear window will be lowered to form a doorway to a new terrace over the basement extension; the window-head and reveals will be retained. The window itself is a modern sash and the architrave will be retained and extended downwards. The new glazed door will be detailed to match the existing joinery.
- 5.2.5 The new door is the most substantial intervention proposed to the primary fabric, but its impact on heritage significance of the house will be minor. Externally, this part of the rear elevation has little historic character as a result of the cement render, modern windows and other alterations. Because the window is at low level and set back from the rear chimney, it makes little contribution to the character and appearance of the terrace as a whole. The appearance of the key historic feature here, the chimney stack, will be unaffected. Therefore, the door will have very little effect on the appearance of the house, the terrace and the conservation area, and its impact on their heritage significance will be negligible.
- 5.2.6 At basement level the existing poor-quality later-20th century rear extension and boiler shed will be removed. They have no heritage significance and are visually intrusive. The rear area will be lowered to the existing basement level and a new full-width flat-roofed extension will be added with access from a wide opening at the rear of the present basement. The extension will be a simple, robust and clearly modern element of the building, constructed of the brown stock brick used in the original construction, in Flemish Bond. The line of the original rear wall of the house will be denoted by nibs to each side of the new opening.

- 5.2.7 As described above, there is little of heritage significance to the rear of the house at basement level. The window that will be removed is a modern sash. The new extension will be significantly lower and thus less visible and intrusive than the existing rear WC and shed. The extension will have very little effect on the appearance of the house, the terrace and the conservation area, and its impact on their heritage significance will be negligible. However, it will make a considerable difference to the spatial quality and sustainability of the existing basement, which is presently an uninspiring and poorly lit part of the house.
- 5.2.8 The small space under the front steps will be slightly extended into the kitchen, to make a WC. This presently has limited headroom, so its enlargement has a clear practical purpose. The basement room has no historic details and this change will not affect the heritage significance of the house.
- 5.2.9 The garden room will be at the far end of the relatively long garden, some 17m. from the house. It will be a simple, modern, timber-clad structure, well screened by trees. It will be seen from the adjoining houses as one of a number of similar garden rooms; set amongst trees against the back-drop of a block of post-war flats in Albert Street, which are not of heritage significance. In this context, the garden room will have no detrimental impact on the setting of the listed building or the terrace of which it is a part, or on the character or appearance of the conservation area.

6 SUMMARY AND CONCLUSION

6.1 Summary

- 6.1.1 The proposals have been designed to ensure that all of the significant historic architectural features and characteristics of the house are conserved. The most important element in the heritage significance of the house, the front elevation, will benefit from the replacement of 1970s rooflights with traditional lead dormers but will otherwise remain unchanged. Elsewhere, the alterations will be to parts of the house that are of lower heritage significance because their original features have already been lost or altered. The rear extension and associated work will have a negligible impact on the appearance of the house in the historic townscape. The proposals represent a much-needed refurbishment that will bring the interior up to modern residential standards and secure the future of the historic building as a sustainable family home. They will remove a number of intrusive modern additions and alterations, and on the ground floor, reinstate the historic plan that was lost in 1965. All work will be carried out to high standards of design and construction, using traditional materials and details where they are appropriate.

6.2 Conclusion

- 6.2.1 In conclusion, for the reasons set out above, the proposed alterations comply with the relevant planning policies and guidance. They will have no detrimental impact on the heritage significance of the house, its setting or on the architectural or historic character or appearance of the conservation area.

APPENDIX: STATUTORY LIST ENTRY

NUMBERS 39-51 AND ATTACHED AREA RAILINGS, 39-51, ARLINGTON ROAD

Grade: II

List Entry Number: 1244687

CAMDEN

TQ2983SW ARLINGTON ROAD 798-1/83/1856 (South West side) Nos.39-51 (Odd) and attached area railings

GV II

Terrace of 7 houses. 1840s. Stock brick with rendered ground floors, basements and parapets, Nos 39 and 41 divided by pilaster strips. Slate roofs with party wall stacks. 2 windows wide with doors to left, 3 storeys and attics. All windows are 12-light glazing bar sashes in moulded architrave surrounds, those to first floor with cast-iron balcony fronts. Panelled doors in moulded doorcases with square toplights, those to Nos 39, 41 and 51 with tracery. Nos. 47 and 49 with semi-circular toplights, that to No. 49 with tracery. Nos. 47, 49 and 51 with raised attic storey of late C20 which is not of special interest. INTERIORS not inspected. SUBSIDIARY FEATURES: railings with spearhead finials to areas.

Listing NGR: TQ2900283482