

Evidence and additional information to discharge conditions in relation to application
ref: 2020 / 4838/P

Attn: London Borough of Camden
Project: Garden pavilion to the rear garden of existing property with a
indoor recreational climbing wall with glass enclosure
Site Address: **7 Rosecroft Avenue London NW3 7QA**
Applicant: Ariel Klein
Agent: William Tozer Associates

Condition 6:

“The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.”

Structural Engineer Paul Cullen BA, BAI (Hons), CEng MIEI is appointed on the project and has produced the structural designs for the proposals (approved by Camden), and is appointed to review progress on site as required to ensure compliance with the designs and construction. The Basement Impact Assessment, approved by Camden Council and Campbell Reith, includes Hydrogeological Impact Assessments by Christos Botsialas (CEng, MIMMM, CGeol, FGS, RoGEP Specialist) on behalf of TRC and Chelmer Global. San Salahudeen (BSc (Hons) Building Control) of The Building Inspectors Ltd. (Approved Inspectors) to be appointed to oversee building regulations compliance as required.

Condition 9:

“Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
i. a detailed scheme of maintenance
ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
iii. full details of planting species and density”

See Appendix 01 for full technical and maintenance details for the green roof system.

Condition 10:

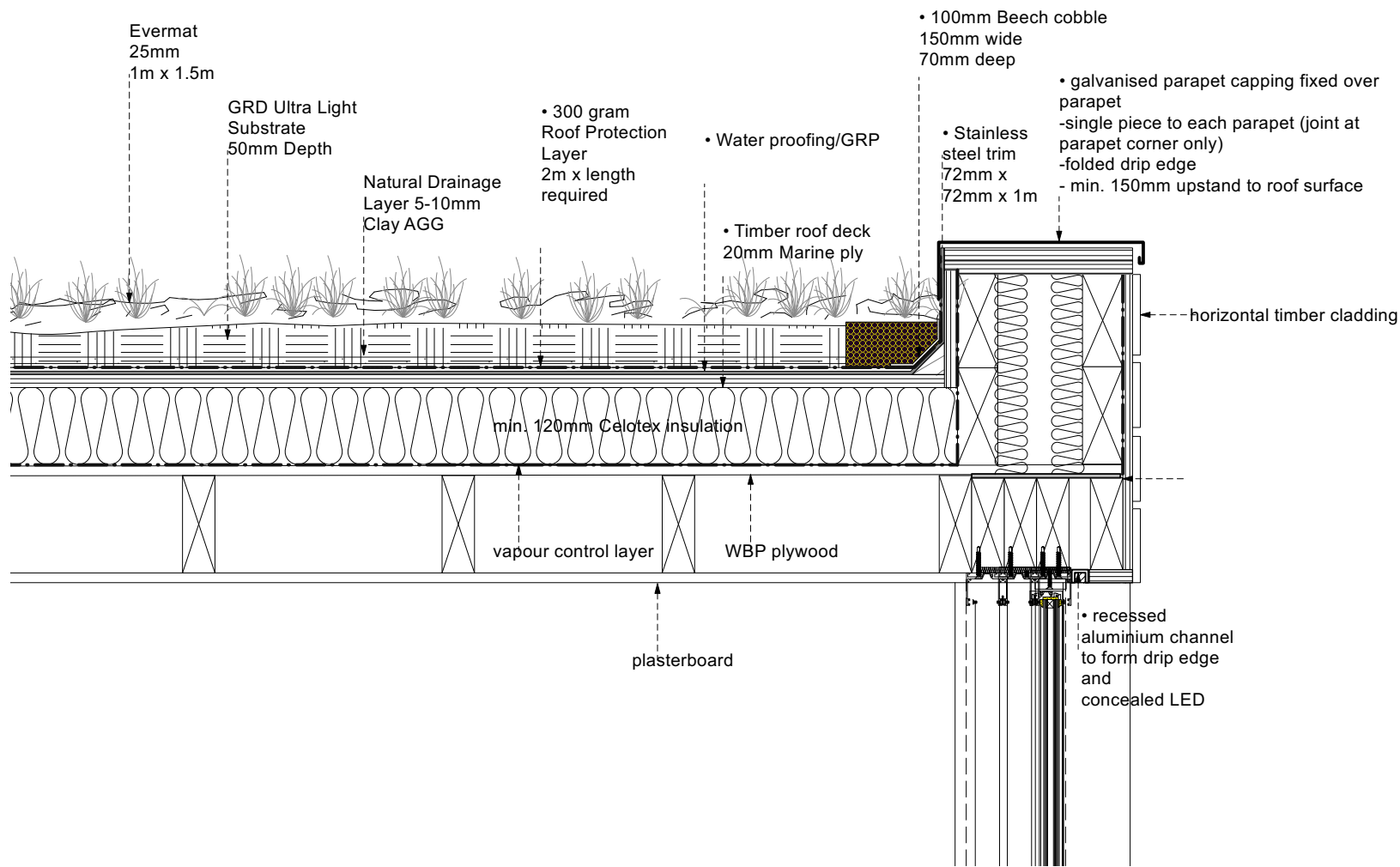
“No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.”

Refer to Appendix 02 for details on the permeable hard landscaping (patio tiling) as detailed on the approved plans. No further soft or hard landscaping or means of enclosure are part of the approved scope of works.

W I L L I A M T O Z E R
a s s o c i a t e s

RIBA chartered practice NZIA practice
UK | EU AU | NZ USA
42-44 New House 67-68 Hatton Garden London EC1N 8JY
+44 (0)20 7404 0675
enquiries@williamtozerassociates.com
williamtozerassociates.com

APPENDIX 01 – GREEN ROOF DETAILS



SECTION THROUGH GREEN ROOF AND ROOF PARAPET

WILLIAM TOZER

associates

RIBA chartered practice

NZIA practice

UK | EU | AU | NZ | USA

42-44 New House 67-68 Hatton Garden London EC1N 8JY

t +44 (0)20 7404 0675

enquiries@williamtozerassociates.com

www.williamtozerassociates.com

Rev

Date

stage 4: technical design

issued for information

-client

-council

19.05.22

DRAWING STATUS

For Information

Issued only for purpose indicated

This drawing to be read in conjunction with all consultants information.

All dimensions to be checked on site.

Do not scale, except for planning purposes.

This drawing is protected by copyright.

JOB NUMBER

212

JOB TITLE

Klein 2

7 Rosecroft Avenue, NW3 7QA

DRAWING TITLE

Details

proposed

SCALE:

1:10@A3

DATE:

May 2022

DRAWING NO.

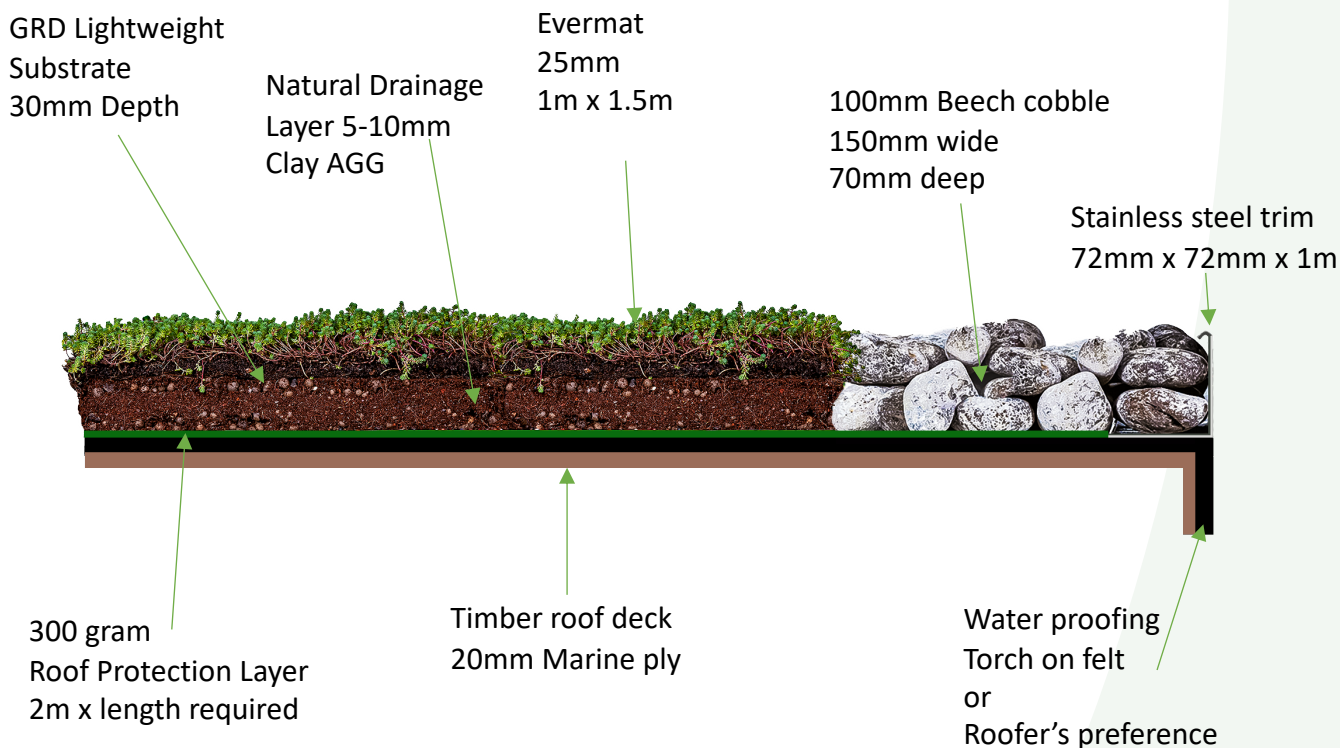
A/02/901

REV

-

Green Roofs Direct

Lightweight System Specification



Growing Medium:

Lightweight substrate

Product		BKAQ50 (90/10)
pH (1:5)		5.5-6.5
Mesh	Mm	NA
Sand	%	<2
Moisture	%	<20
Mix	Coco Pith	75%
	Horticultural Grit	5%
	Short Fibre 5-30mm	10%
Fertilizer	3-4 month slow release granule	50g/m3
	12-14 month slow release granule	50g/m3

Mix Coir, horticultural grit, sand, slow release fertilizer, zero organic content, zero peat

Total pore volume > 30-40 Vol %

Max water capacity ≥ 75% Vol

Key data

Dry weight approx. ≤ 0.019 g/cm³

Water saturated ≤ 0.04 g/cm³

Organic content ≥0 g/L

pH value 5.5

Compression factor 1,2

Drainage 5-10mm lightweight expanded clay aggregate

Vegetation Layer:

Please see datasheet for information

Ecology, Health and Safety information

The product does not fall within the EC-regulation of hazardous goods. As a result, a material safety data sheet following EC-Guideline 91/155 EWG is not needed to bring the product to the market, transport or use it. The product does not damage the environment when used as specified.

Fire Certification

Broof T4: UK BS 476:Part 3:2004.

The evermat core system as described in and under the conditions of the test is classified in class EXT F.AA according to the British Standard BS476 Part 3.

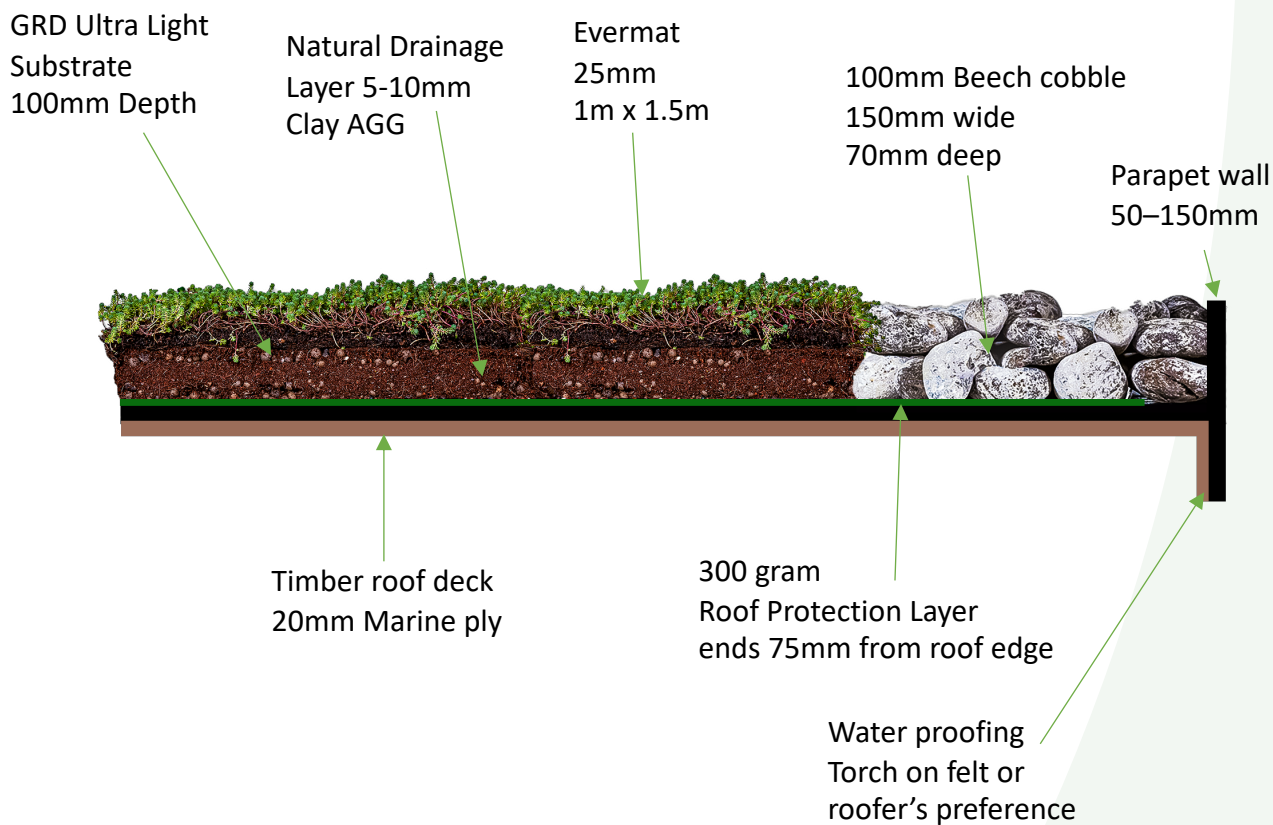
We achieved a AA rating for surface spread of fire.

Sedum Blanket Datasheet

Carrier	Predominately rotttable Cocomat with geo textile weave
Substrate	GRD Extensive field mix 75% Coir
Vegetation Composition	Sedum Acre Aureum, Sedum Album Coral Carpet, Sedum Album mini, Sedum Album Athoum, Sedum Hispanicum, Sedum Summer Glory, Sedum Reflexum, Sedum Weihenstephaner Gold, Sedum Voodoo
Vegetation Coverage	Vegetation coverage
Thickness	2.5cm -4.5cm
Water saturation weight	18-22kg/m2
Standard size	1m x 1.5m

Green Roofs Direct

Parapet Detail





0800 774 7650
info@greenroofsdirect.com

146 Shore Road , Magheramorne
Larne, Co. Antrim BT40 3HY

GREEN ROOFS DIRECT

Extensive Sedum Green Roof Maintenance Schedule

A Green Roof management plan must be specifically tailored as every roof will face different conditions.

THE BASICS

- Liquid seaweed fertilizer
- Apply 10ml per 5 litres. A handheld sprayer is ideal for this and can be purchased in any hardware or DIY store. Spray as a fine mist until it drips off the plants' surfaces.
- Cut the flowers off and remove them in August.
- Program should commence once The Green Roof is installed.

Week 1

Watering in the first week is crucially important. If the Blanket is rolled out in very dry conditions it must be watered every other day during this first week. A quick establishment is very important for the plants to cope with the harsh conditions on a roof.

Week 3

By this stage the Sedum should be showing new signs of growth with mostly bright green, new foliage this will be in contrast to the darker shades of the more hardened foliage. This will indicate the Sedum has travelled well and is beginning to establish. From this point Green Roofs Ireland Sedum Blankets are low in maintenance. Mainly because of the beginning of the growing season, weeds will instantly start to move into any areas of bare substrate and a spot weed will be required. Due to our coverage of Sedum and intense weeding program during propagation weeds find it very difficult to establish themselves in the blankets.

Week 6

At this stage a walk of each roof is required to check for any weeds. Pulling weeds, whilst they are very small will cause less damage to the Sedum and also before they are allowed to seed. This is paramount as a simple grass weed will turn into a small lawn if a roof is not properly cared for during the first year. A thorough inspection and spot weed at this stage could save weeks of labour in weeding or replacing sections of Blanket.

Week 12

The roof will be well established and by this time a simple check on each roof is all that is required. The comprehensive care plan during the Spring months will mean weeds will not be seeding and spreading. The Roof will also be flowering soon so it is important that foot traffic is kept to a minimum.

Week 24

As the growing season will soon be ending a simple inspection and spot weed is required. At this time fertiliser is used to brighten up the foliage before the winter.

Week 36-48

This will be a winter inspection to check on the health of the Sedum. As our winters are changing we are experiencing more and more extreme weather conditions. The most Northerly Location in the United Kingdom is going to face the worst of this therefore, a winter visit is vital to monitor its performance.

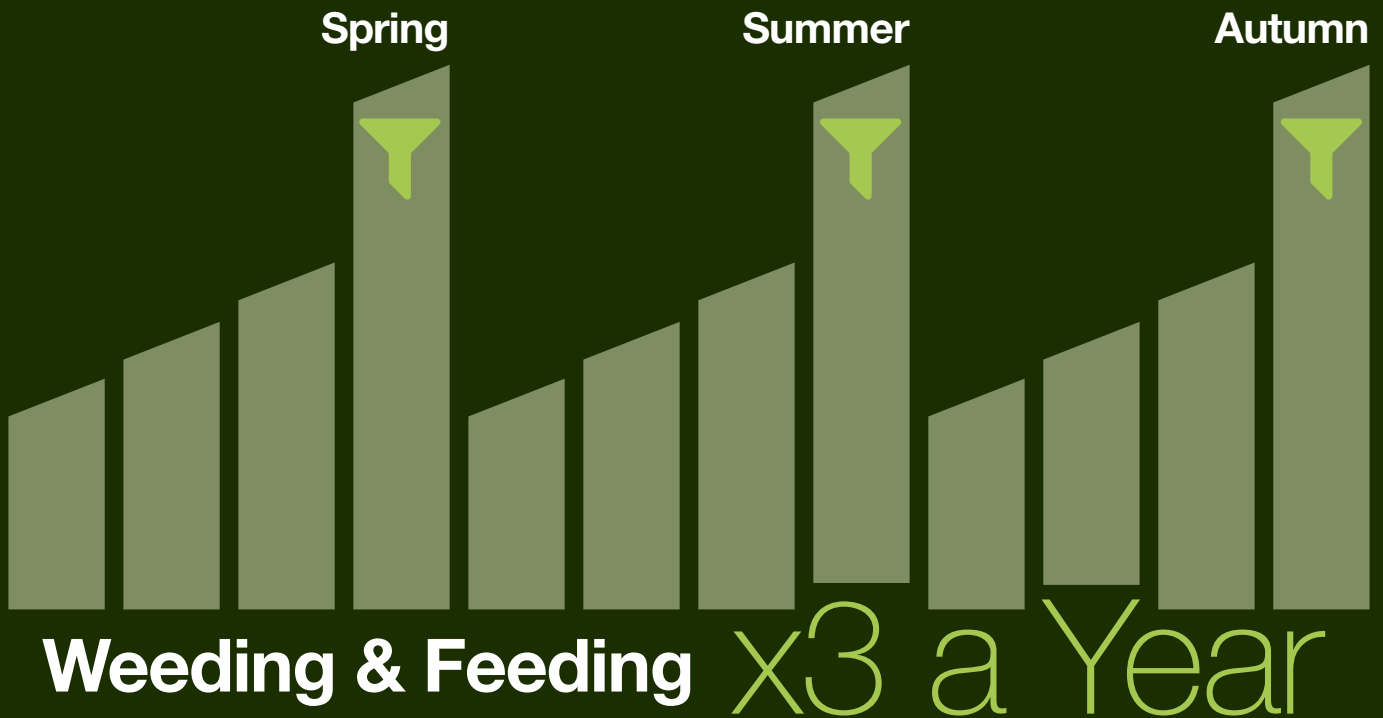
Year 2

Four scheduled visits to align with the growing season and throughout with one visit in the winter.

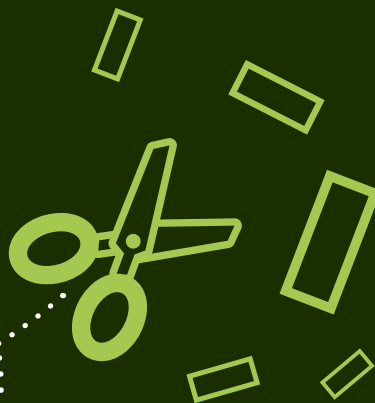
A Green Roof is a living organism it is changing on a daily basis and is highly dependent on the weather. Therefore it is difficult to quantify exact amount of water or labour required. A good relationship with excellent communication between the client and the grower is required and combined with a maintenance schedule tailored for the application this will create a healthy and low maintenance Green Roof.

GREEN ROOFS DIRECT

Extensive Sedum Green Roof Maintenance Schedule



then flower
removal late
summer
once a year



For further technical support
or maintenance advice contact

0800 774 7650

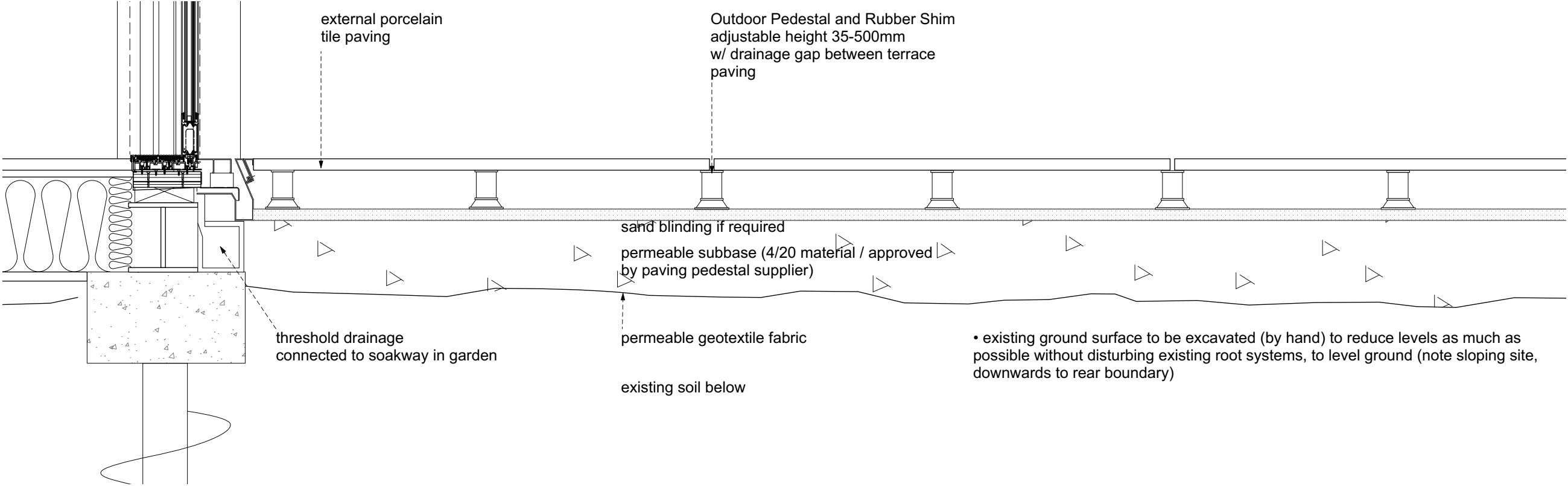
info@greenroofsdirect.com

www.greenroofsdirect.com

W I L L I A M T O Z E R
a s s o c i a t e s

RIBA chartered practice NZIA practice
UK | EU AU | NZ USA
42-44 New House 67-68 Hatton Garden London EC1N 8JY
+44 (0)20 7404 0675
enquiries@williamtozerassociates.com
williamtozerassociates.com

APPENDIX 02 – LANDSCAPING (permeable paving) DETAILS



SECTION THROUGH FRONT TERRACE and GLAZED DOOR THRESHOLD

WILLIAM TOZER

associates

RIBA chartered practice

UK | EU | AU | NZ | USA

42-44 New House 67-68 Hatton Garden London EC1N 8JY

enquiries@williamtozerassociates.com

NZIA practice

t +44 (0)20 7404 0675

www.williamtozerassociates.com

Rev

Date

DRAWING STATUS

For Information

Issued only for purpose indicated

This drawing to be read in conjunction with all consultants information.

All dimensions to be checked on site.

Do not scale, except for planning purposes.

This drawing is protected by copyright.

JOB NUMBER

212

JOB TITLE

Klein 2

7 Rosecroft Avenue, NW3 7QA

DRAWING TITLE

Details

proposed

SCALE:

1:10@A3

DATE:

May 2022

DRAWING NO.

A/02/902

REV

-