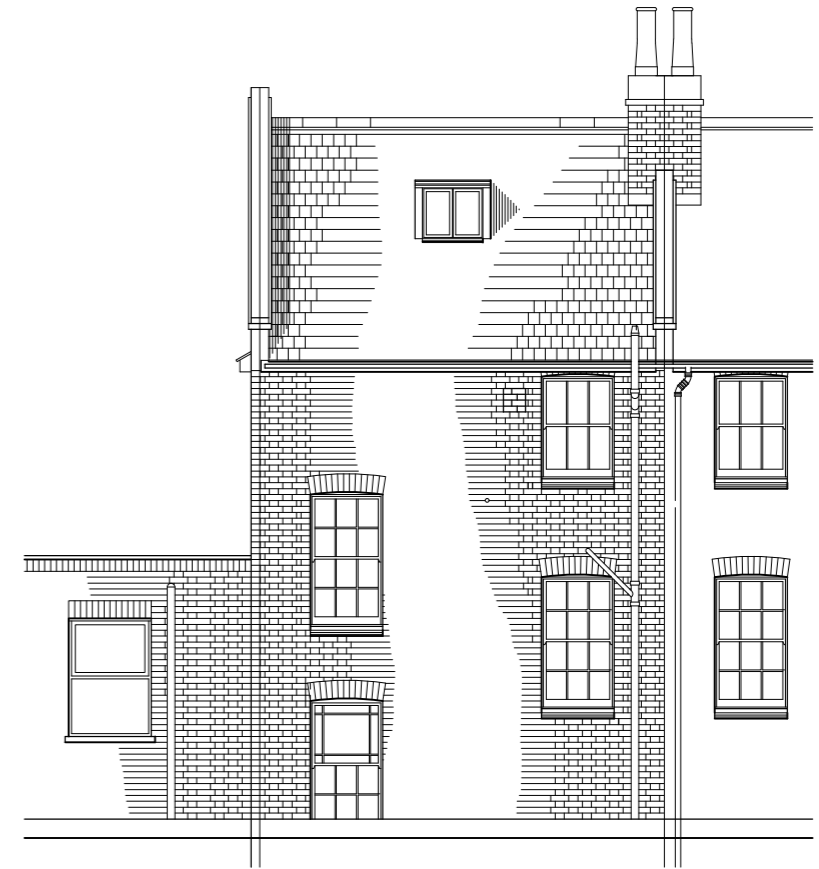


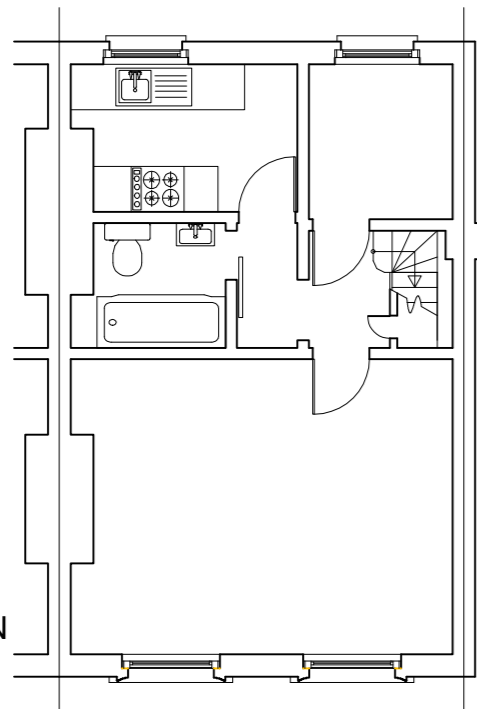


FRONT ELEVATION scale 1:100

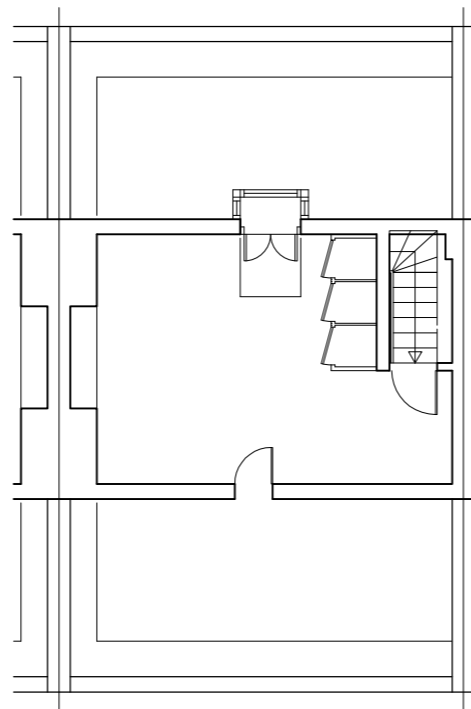
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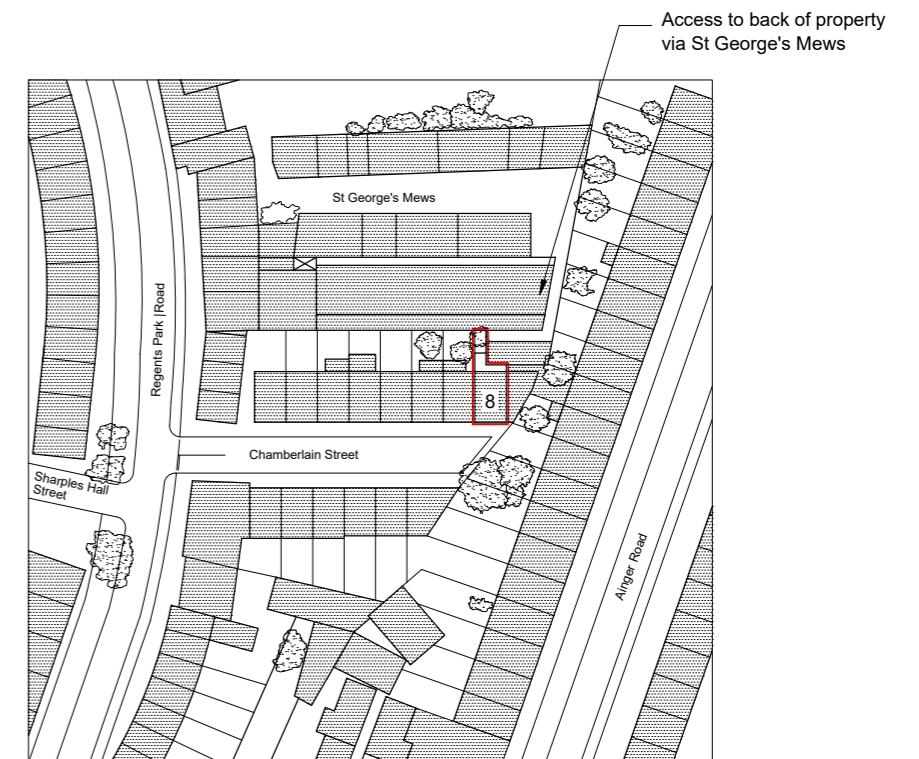
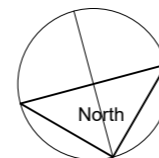
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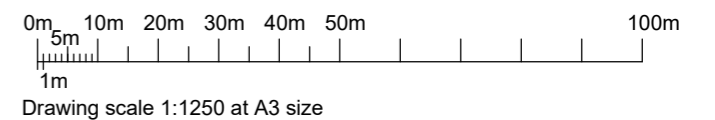
2nd FLOOR PLAN scale 1:100



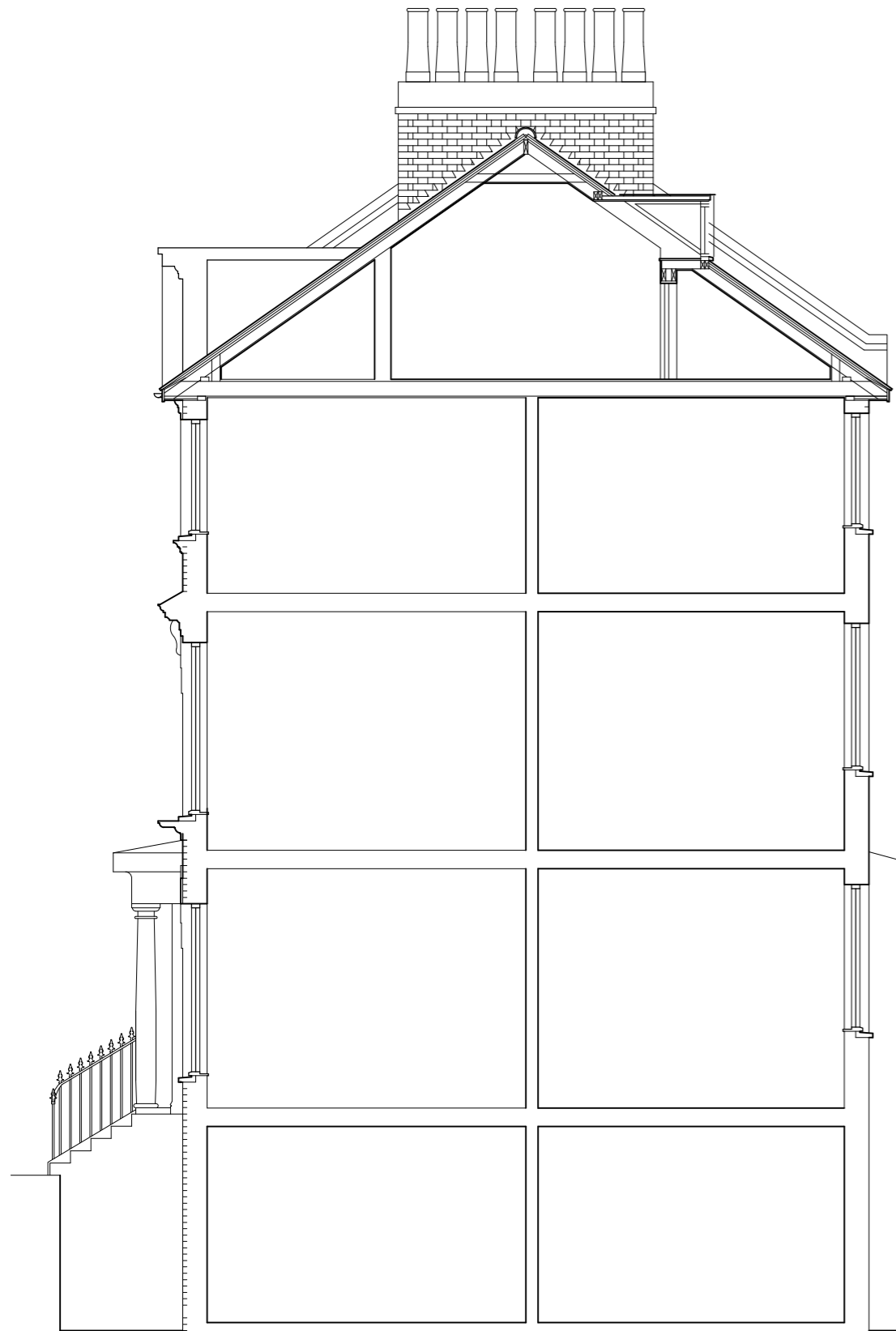
ATTIC PLAN scale 1:100



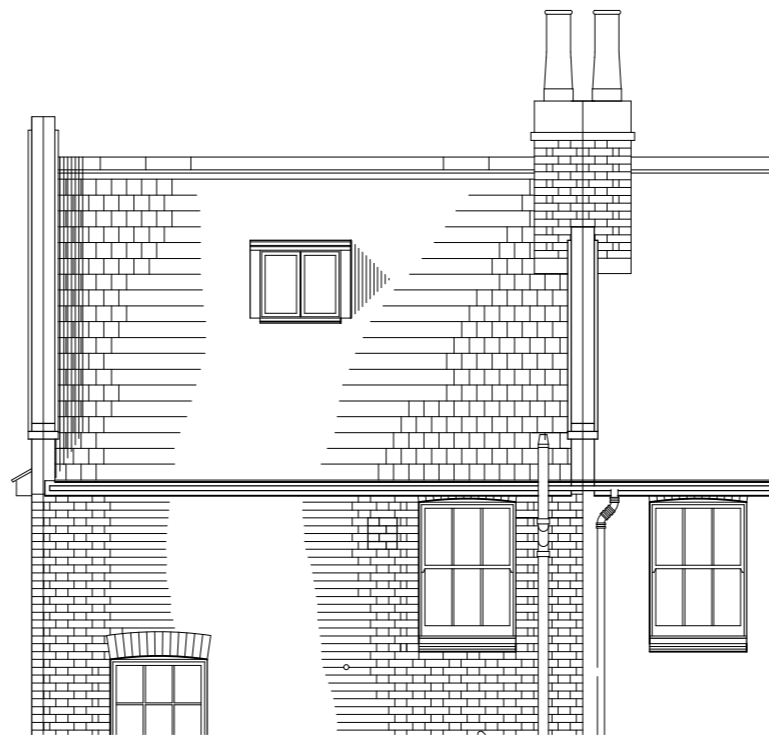
LOCATION PLAN scale 1:1250



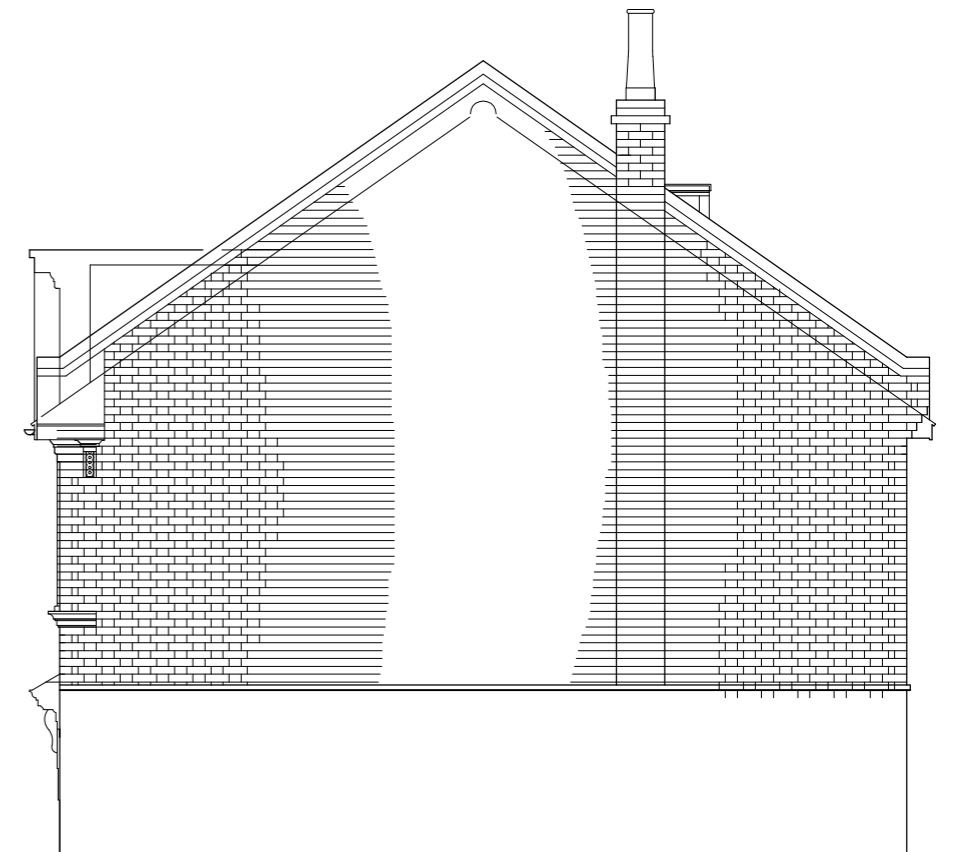
Drawing scale 1:1250 at A3 size



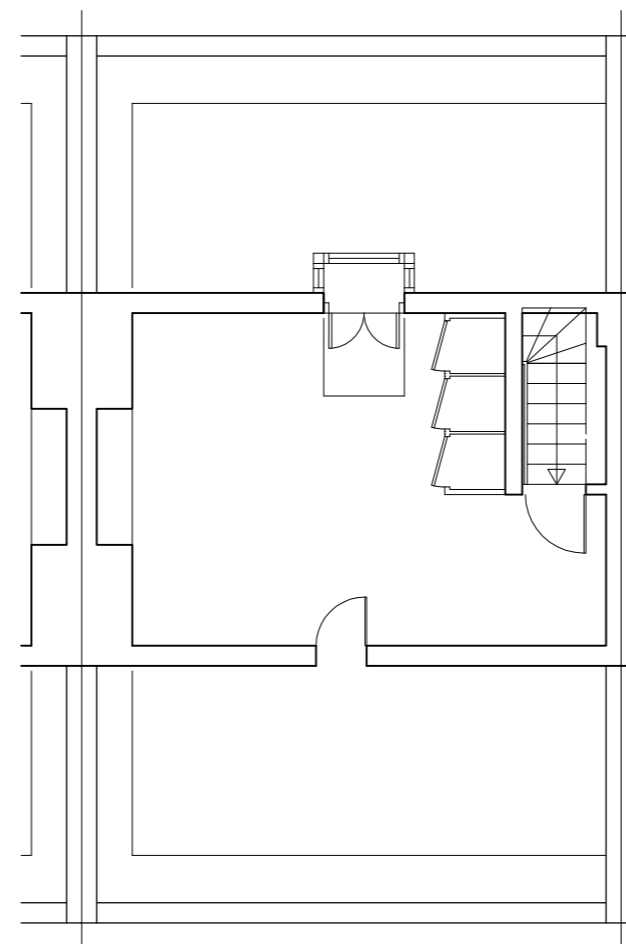
SECTION scale 1:75



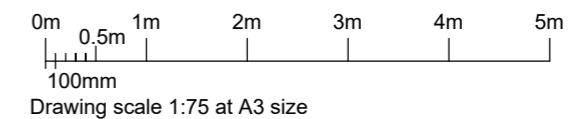
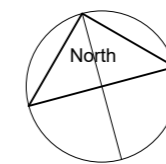
BACK ELEVATION scale 1:75



END ELEVATION scale 1:75



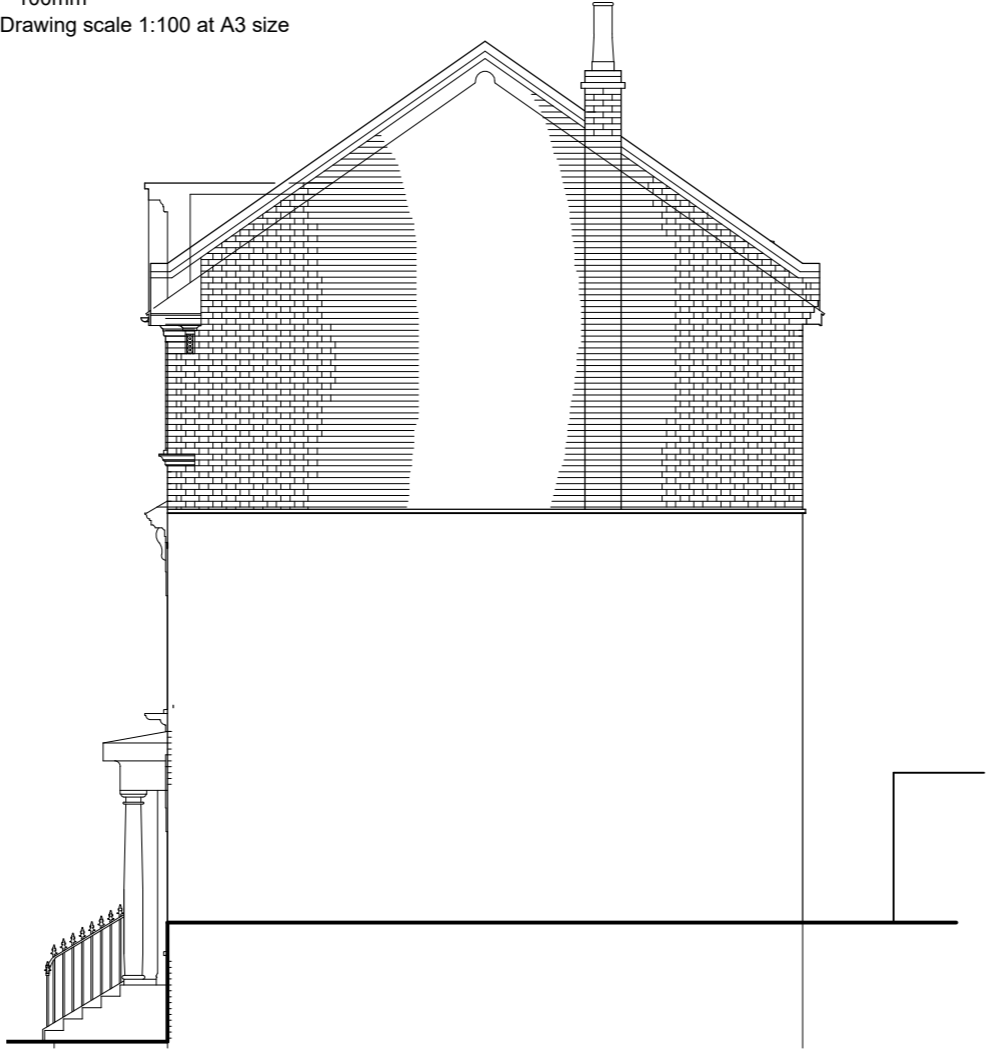
PLAN scale 1:75



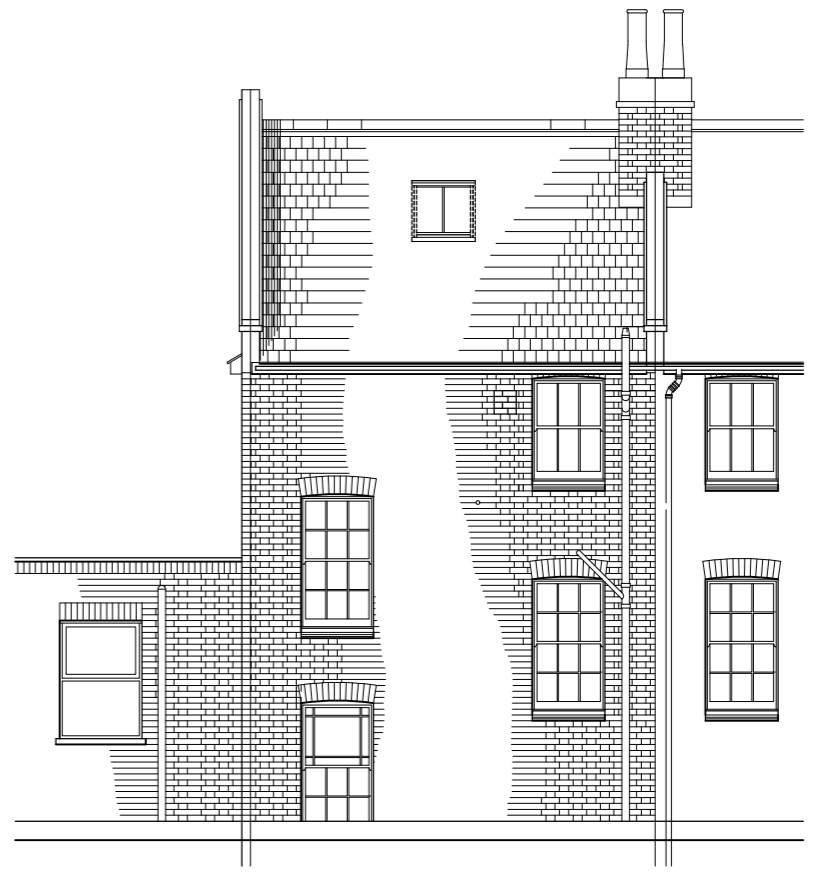
0m 0.5m 1m 2m 3m 4m 5m 10m  
 100mm  
 Drawing scale 1:100 at A3 size



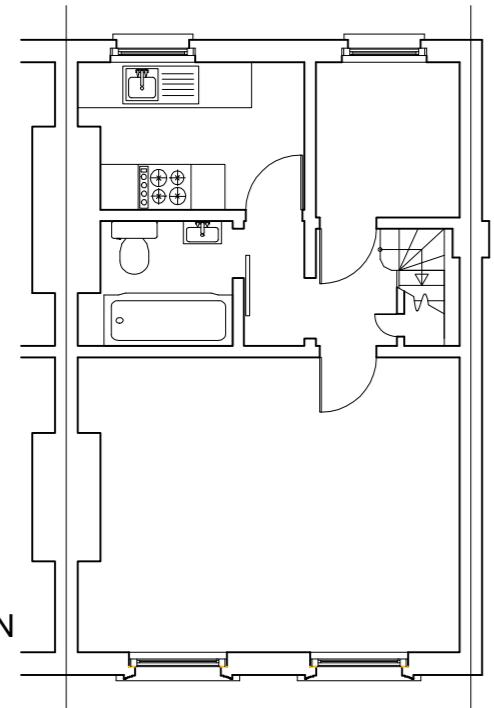
FRONT ELEVATION scale 1:100



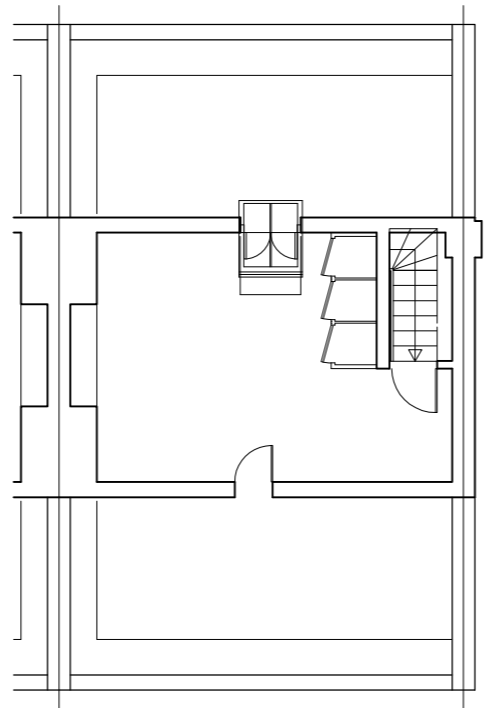
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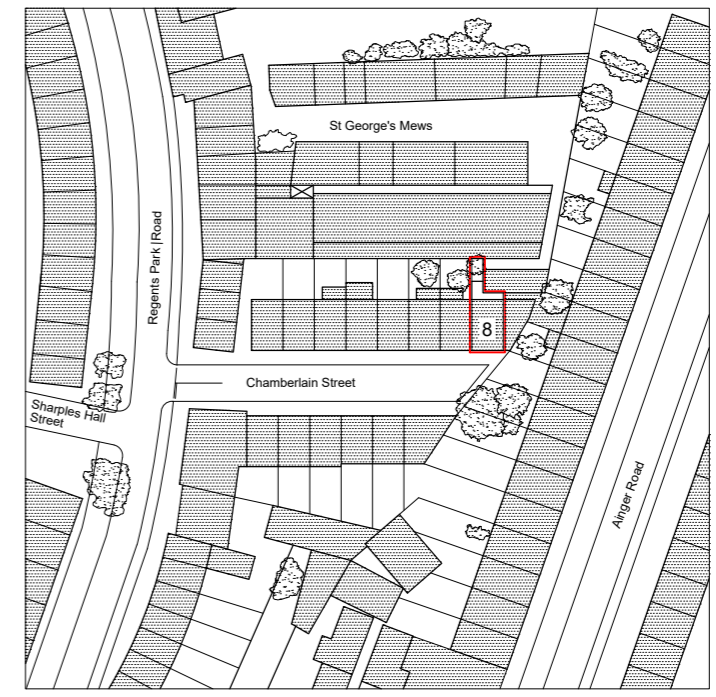
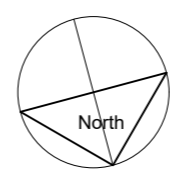
BACK ELEVATION scale 1:100



2nd FLOOR PLAN scale 1:100



ATTIC PLAN scale 1:100



LOCATION PLAN scale 1:1250

0m 5m 10m 20m 30m 40m 50m 100m  
 1m  
 Drawing scale 1:1250 at A3 size



T: +44 (0) 200 888 0875  
 M: +44 (0) 7740 825200  
 F: +44 (0) 870 429 2012  
 E: info@atecglobal.com  
 59 Woodlands Road  
 Isleworth, Middx TW7 6JT  
 Paul Walker RIBA, Chartered Architect & Designer

Architecture  
 Interior Design  
 Product Design  
 Graphic Design

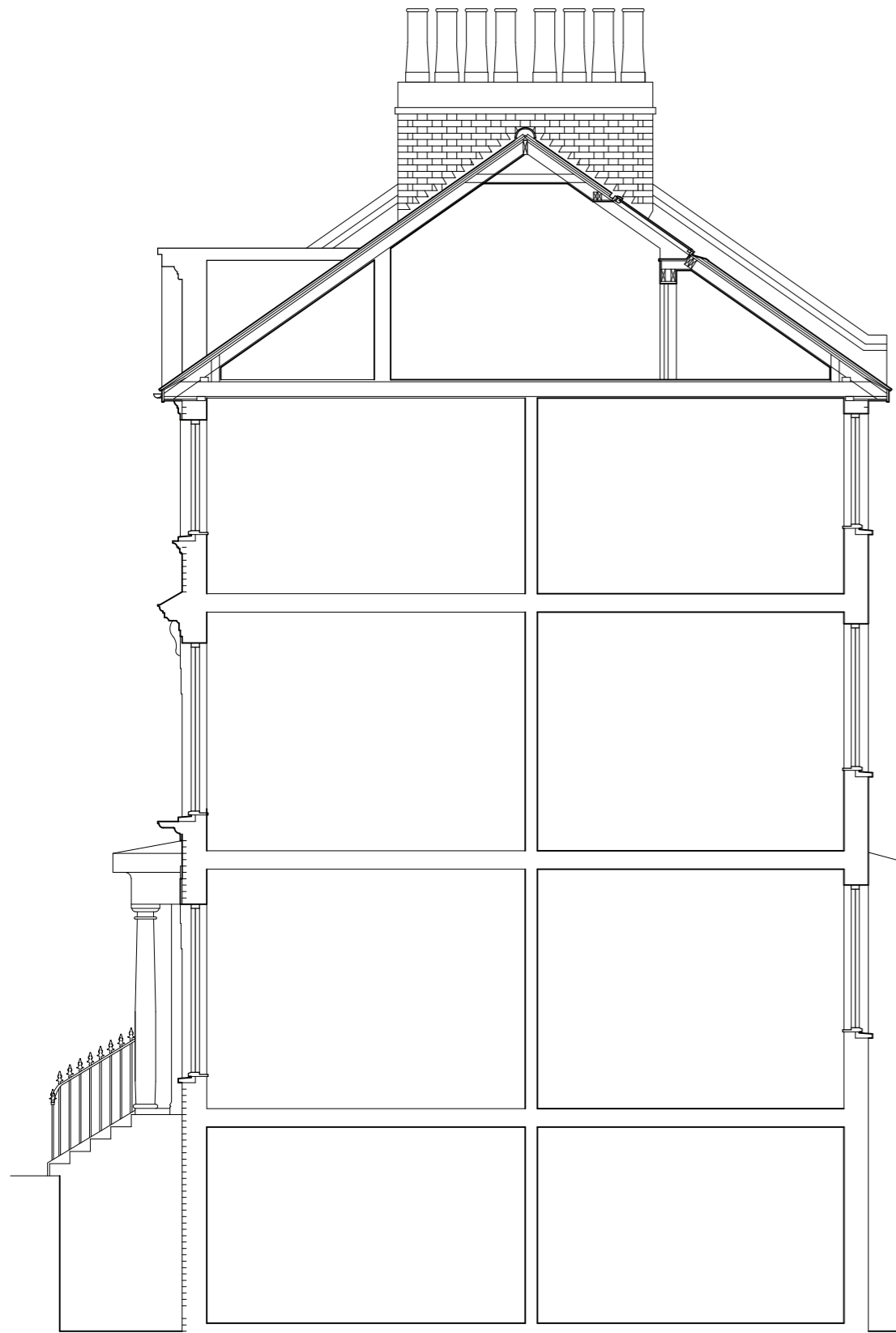
CLIENT Mr J Bucknell	PROJECT DESCRIPTION Proposed property upgrades: Roof refurb & secondary glazing
COMPANY J Bucknell Limited	PROJECT LOCATION 8 Chamberlain Street, Primrose Hill, Camden Town, London NW1 8XB

DRAWING TITLE General Arrangement PROPOSED RENOVATIONS
DRAWING TYPE PLANNING & CONSTRUCTION

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 Drawing scale 1:100 at A3 size

SCALE 1:100
DATE 18-03-22

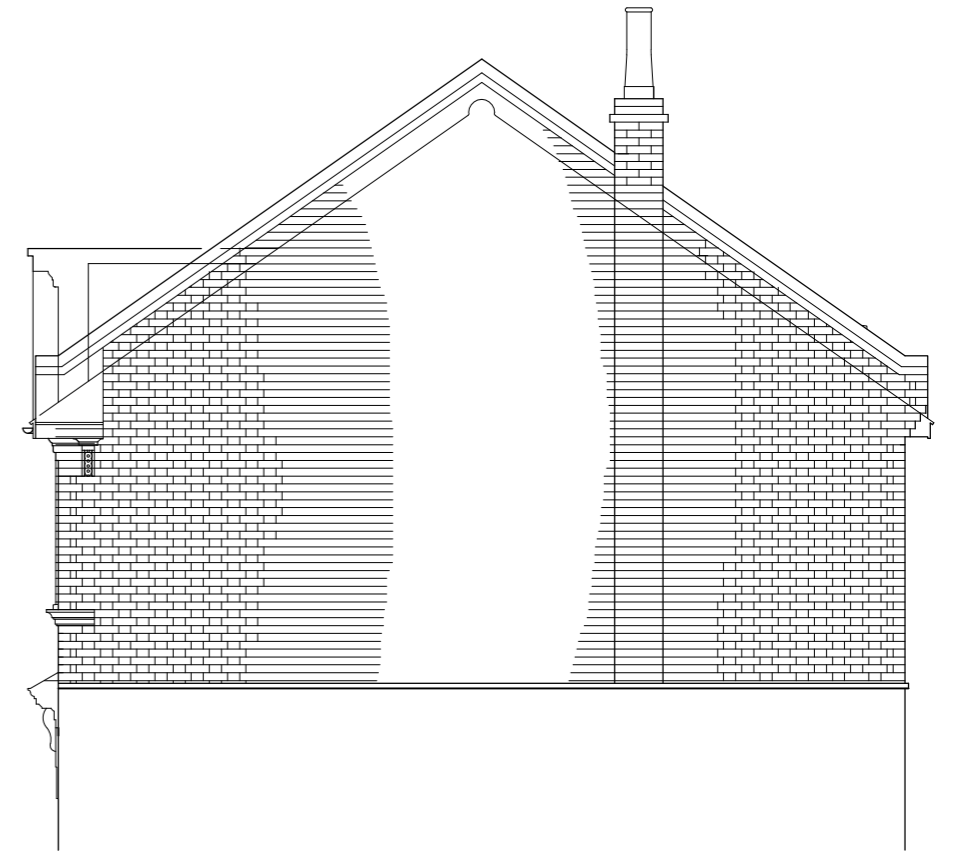
REVISION NOTE	DATE	SUFFIX
DRAWING NO. N2019/02/01		REVISION



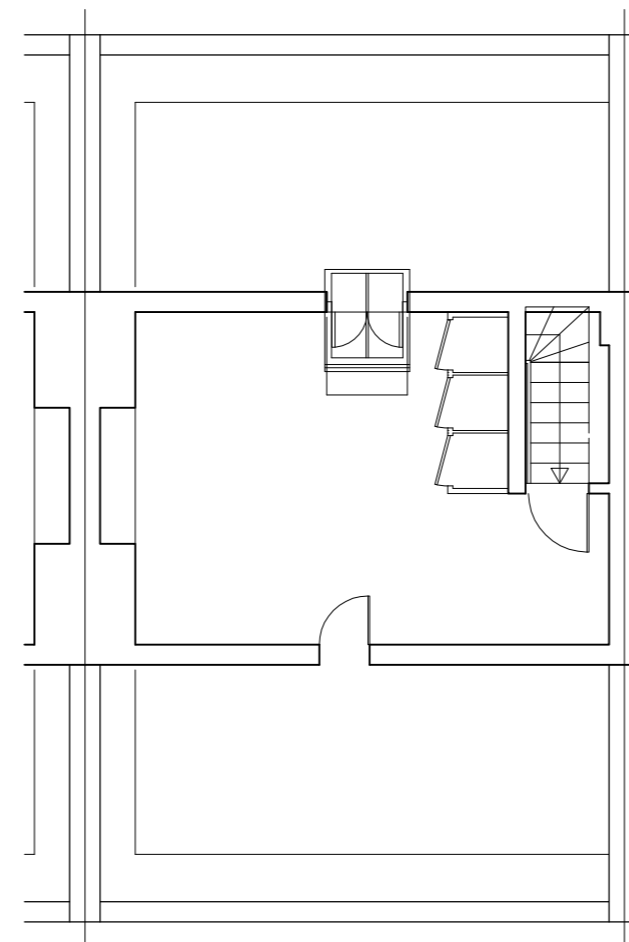
SECTION scale 1:75



BACK ELEVATION scale 1:75



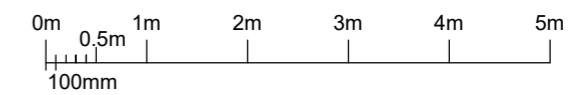
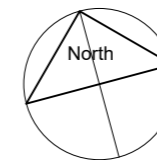
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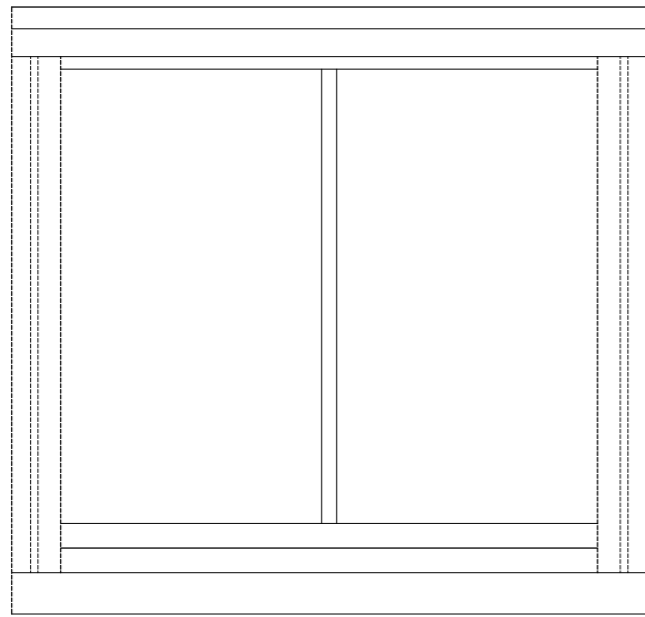
PLAN scale 1:75

### NOTES ON ROOF REFURBISHMENT

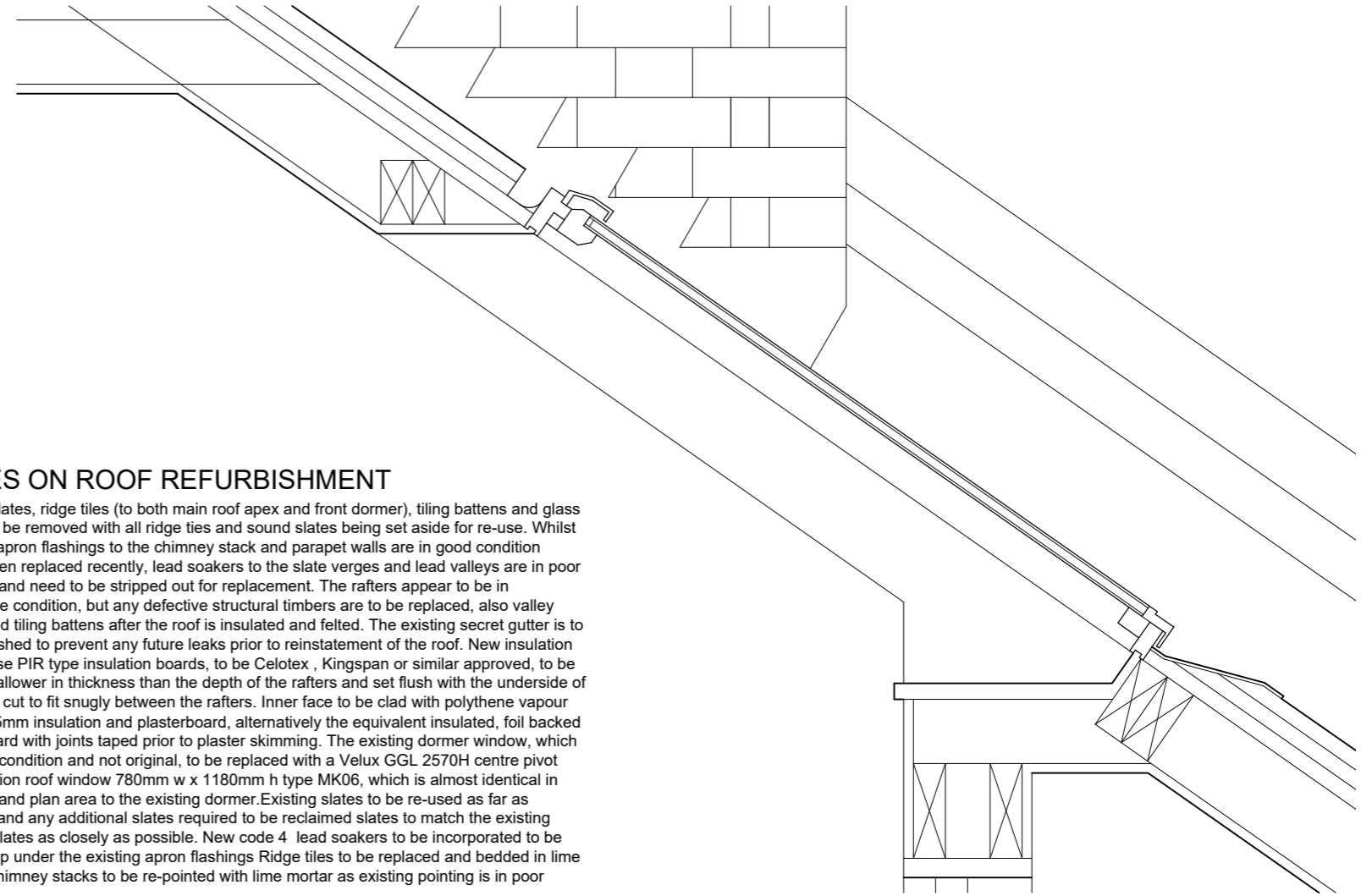
Existing slates, ridge tiles (to both main roof apex and front dormer), tiling battens and glass dormer to be removed with all ridge ties and sound slates being set aside for re-use. Whilst the lead apron flashings to the chimney stack and parapet walls are in good condition having been replaced recently, lead soakers to the slate verges and lead valleys are in poor condition and need to be stripped out for replacement. The rafters appear to be in reasonable condition, but any defective structural timbers are to be replaced, also valley boards and tiling battens after the roof is insulated and felted. The existing secret gutter is to be refurbished to prevent any future leaks prior to reinstatement of the roof. New insulation to comprise PIR type insulation boards, to be Celotex, Kingspan or similar approved, to be 25mm shallower in thickness than the depth of the rafters and set flush with the underside of the rafter, cut to fit snugly between the rafters. Inner face to be clad with polythene vapour barrier, 25mm insulation and plasterboard, alternatively the equivalent insulated, foil backed plasterboard with joints taped prior to plaster skimming. The existing dormer window, which is in poor condition and not original, to be replaced with a Velux GGL 2570H centre pivot conservation roof window 780mm w x 1180mm h type MK06, which is almost identical in elevation and plan area to the existing dormer. Existing slates to be re-used as far as possible, and any additional slates required to be reclaimed slates to match the existing retained slates as closely as possible. New code 4 lead soakers to be incorporated to be dressed up under the existing apron flashings Ridge tiles to be replaced and bedded in lime mortar. Chimney stacks to be re-pointed with lime mortar as existing pointing is in poor condition.



Drawing scale 1:75 at A3 size



WINDOW ELEVATION scale 1:10



LONGITUDINAL SECTION scale 1:10

**NOTES ON ROOF REFURBISHMENT**

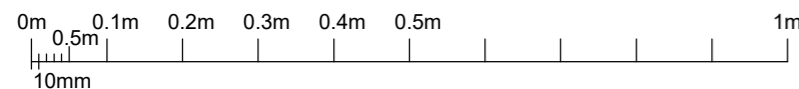
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LATERAL SECTION scale 1:10



BACK ELEVATION scale 1:75



Drawing scale 1:10 at A3 size

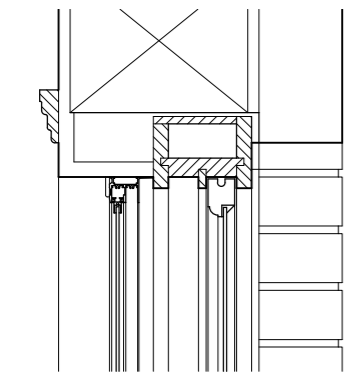
CLIENT <b>Mr J Bucknell</b>	PROJECT DESCRIPTION <b>Proposed property upgrades: Roof refurb &amp; secondary glazing</b>
COMPANY <b>J Bucknell Limited</b>	PROJECT LOCATION <b>8 Chamberlain Street, Primrose Hill, Camden Town, London NW1 8XB</b>

DRAWING TITLE <b>Roof refurbishment details including Velux Conservation rooflight</b>
DRAWING TYPE <b>PLANNING &amp; CONSTRUCTION</b>

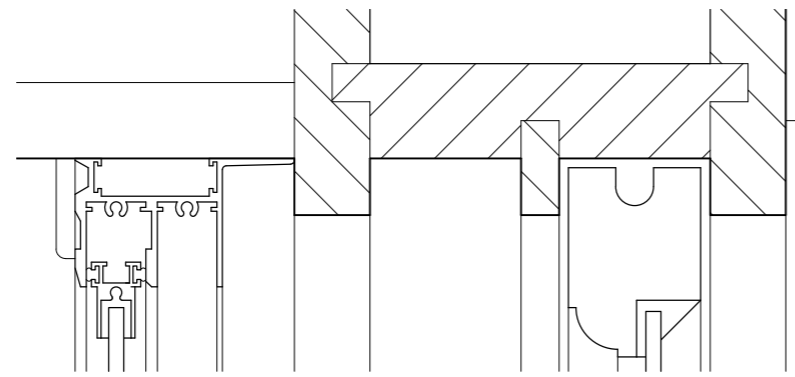
NOTES  
 CHECK SCALE BAR IF SCALING FROM THIS DRAWING.  
 USE FIGURED DIMENSIONS WHERE POSSIBLE

SCALE <b>1:75</b>
DATE <b>18-03-22</b>

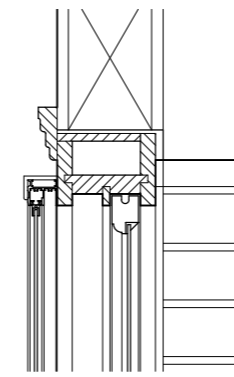
REVISION NOTE	DATE	SUFFIX
DRAWING NO. <b>N2019/02/03</b>	REVISION	



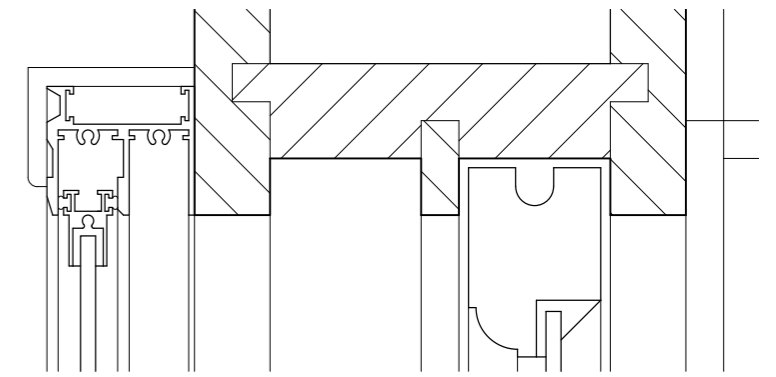
HEAD DETAIL scale 1:10



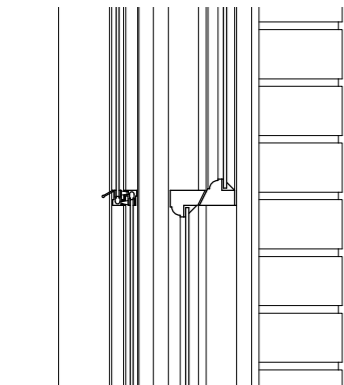
HEAD DETAIL scale 1:2



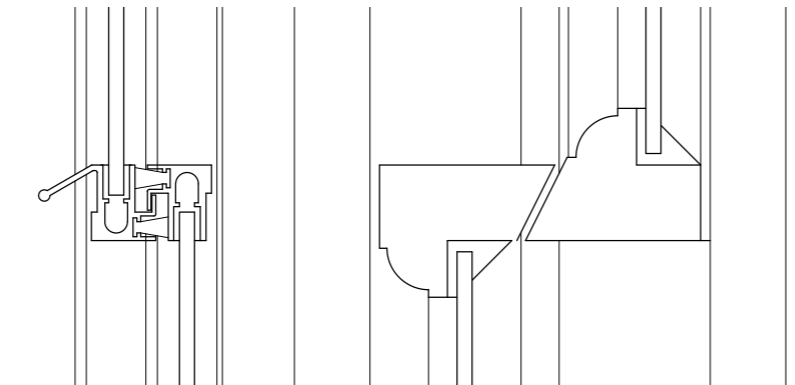
HEAD DETAIL scale 1:10



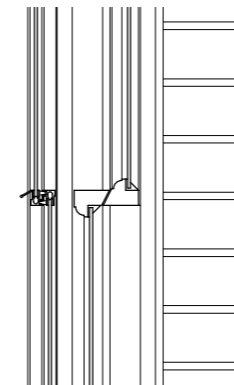
HEAD DETAIL scale 1:2



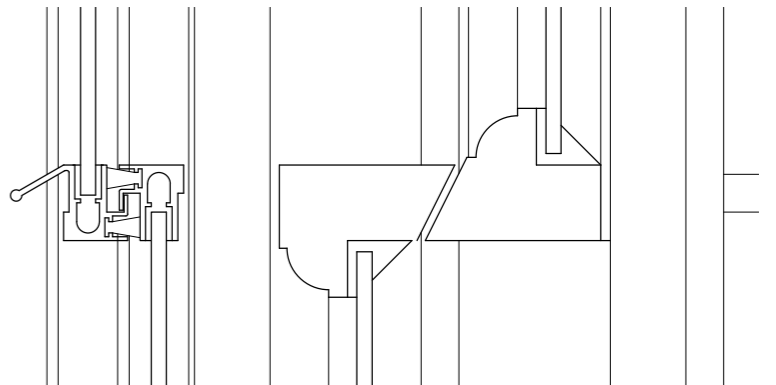
CENTRE DETAIL scale 1:10



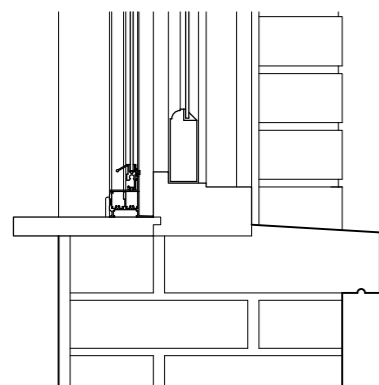
CENTRE DETAIL scale 1:2



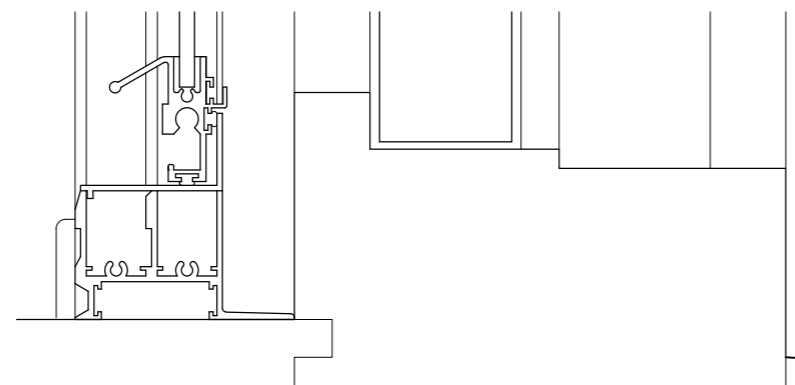
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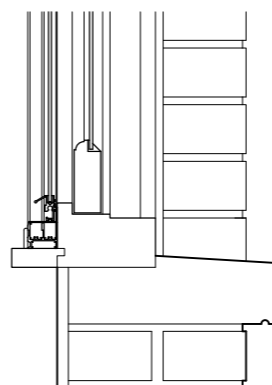
CENTRE DETAIL scale 1:2



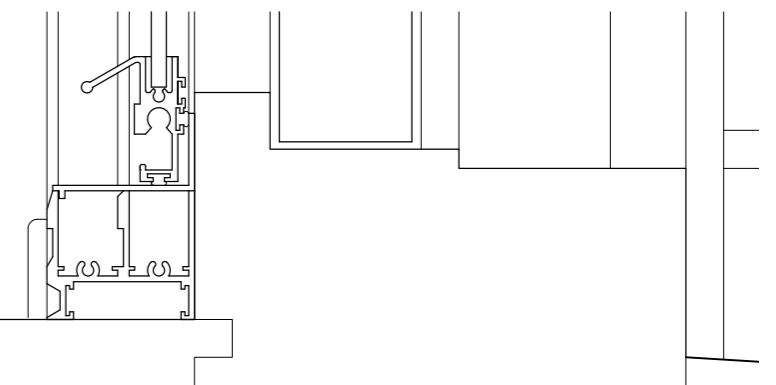
CILL DETAIL scale 1:10



CILL DETAIL scale 1:2



CILL DETAIL scale 1:10



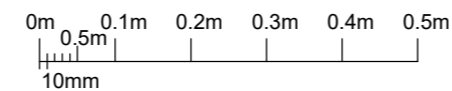
CILL DETAIL scale 1:2

**NOTE:**

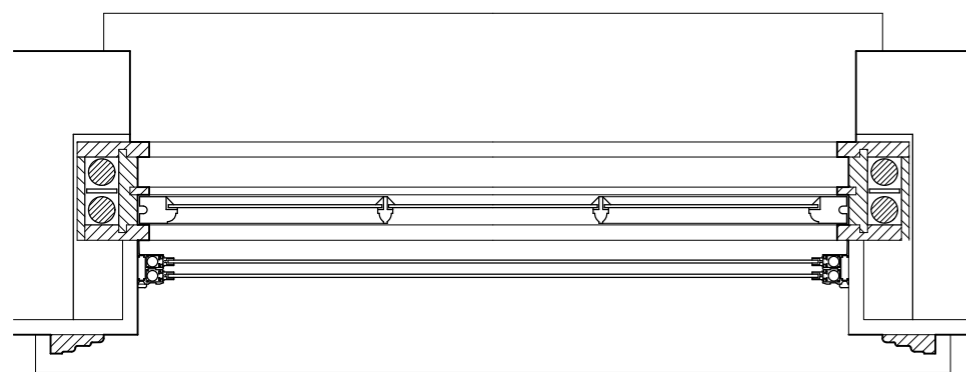
Where windows retain their internal shutters, or are already double glazed due to historic alterations, secondary glazing will not be require.

Windows with internal reveals (1.5b walls) to use reveal fix secondary glazing, and windows without internal reveals (1b walls) to use face fix secondary glazing.

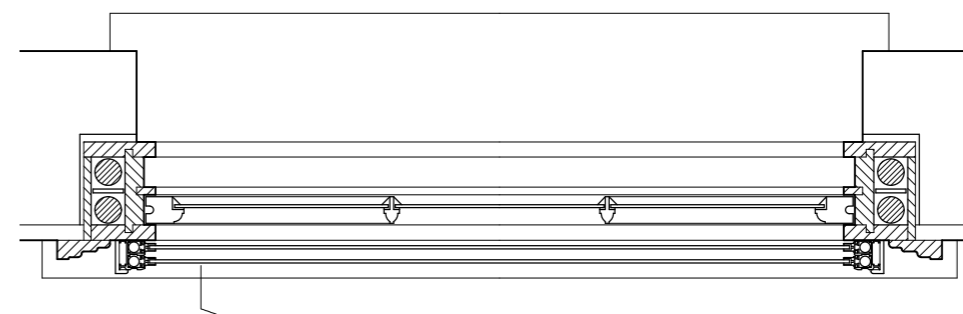
Secondary glazing to be by Duration Windows, Slim Line equal leg system, with vertically sliding sashes to match box sash windows.



Drawing scale 1:10 at A3 size



PLAN VIEW: 1.5b WALL WITH REVEAL , REVEAL FIXING scale 1:10



PLAN VIEW: 1b WALL WITH NO REVEAL, FACE FIXING scale 1:10