

RM-0-01 - Fire Stair Core

Floors
Unchanged

Ceilings
Unchanged

Walls
Unchanged

Façade

- Remove existing fire exit
- Repair any damage to brick reveals
- Fit new metal framed fire exit in style to match new fenestration to

Alfred Mews

- Strip out existing lagging by concrete screed to slab depth
- Plan and arrange services in / on / p through new services.
- Plan services for tenant fit-out.
- Replace with new power-floated concrete screed

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete ceiling and beams
- Fit new suspended ceiling for lighting arrangement
- Core drill through beams for necessary arrangement
- Fit new lighting
- Light fittings T&B by tenant.

Walls

- Strip back to existing brick & concrete finishes
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.

Facade

- Remove existing Roller Shutter
- Repair any damage to brick & Stone reveals
- Fit new metal framed glazed frontage in style to match new fenestration to Alfred Mills

- Strip out existing loading bay concrete screed to slab depth
- Place and arrange services in floor – pull through new services.
- Cap services for tenant fit-out.
- Backfill with new power-coated concrete screed
- Fit new perimeter heating in floors (style and finish TBD)

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Core drill through beams where necessary
- Fit new lighting

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement.
- All services to be surface mounted in metal conduit.
- Fit new Curtain finish on brass rails.
- Fit new timber clad feature wall

- Strip out existing loading bay concrete slab to slab depth
- Place and arrange services in floor + pull through new services.
- Cap services for tenant fit-out.
- Replace with 100x100 sets in pale mortar to match existing concrete finish.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Core drill through beams where necessary
- Fit new lighting

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement.
- All services to be surface mounted in metal conduit

- Fit new & remove redundant service runs.
- Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Core drill through beams where necessary
- Fit new lighting

Walls

- Strip back to existing brick & concrete finishes.
- Remove riser to south of corridor as redundant.
- Make good with like for like replacement.
- All services to be surface mounted in metal conduit.

Features

- Fit new timber floor to interface with access stair in **RM-0-07** set upon existing ramp structure.
- Ceilings**
 - Strip out redundant services and drop ceilings
 - Make good existing concrete deck and beams
 - Fit new surface mounted conduit for lighting arrangement
 - Core drill through beams where necessary
 - Fit new lighting
- Walls**
 - Strip back to existing brick & concrete finishes.
 - Make good with lime for lime replacement
 - All services to be surface mounted in metal conduit.
 - New Fire Rated partition fitted between fire stair & reception space with fire curtain to close on the activation of fire alarm

RM-0-07 – Access Corridor & Stair
Floors

- Fit new & remove redundant service runs.
- Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Core drill through beams where necessary
- Fit new lighting

- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- New Fire Rated partition fitted between fire stair & reception space with fire curtain to close on the activation of fire alarm systems.
- Remove panels to redundant service riser, and make good walls behind.

Stair

- Fit new timber stair upon existing ramp structure, to create access way down from raised platform to courtyard level.

Features

- Existing double doors maintained, repainted & repaired as necessary

- Fit new & remove redundant service runs.
- Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Core drill through beams where necessary
- Fit new lighting

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.

Features

- Existing double doors maintained, repaired & repaired as necessary

- Strip out raised timber deck to existing concrete floor.
- Strip out existing loading bay concrete screed to slab depth
- Replace with new power-floated concrete screed

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Fit new lighting grid

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- Fit new Fire Rated Metal Framed Glazed Partitions.

Features

- Fit new Platform LIFT to make access from lower bay floor to raised area.

- Fit new & remove redundant service runs.
- Make good & repair existing concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Fit new lighting grid

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- Re-organise space to new layout with new plasterboard partitions.

- Fit new & replace redundant service runs.
- Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Fit new lighting grid

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- Re-organise space to new layout with new plasterboard partitions, new door, to allow better exit from **RM-0-15** Upper Level Fire Stair

- Fit new & remove redundant service runs.
- Make good & repair existing polished concrete floor.
- Make good areas where existing partitions are removed.

Ceilings

- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Fit new lighting grid

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- Re-organise space to new layout with new plasterboard partitions fit to walls.

Features

- Fit Sanitary ware

- Make good areas where existing partitions are removed.

Ceilings

- Make good areas where existing partitions are removed.

Walls

- Remove existing fire exit and partition
- Re-align partition to new layout.
- Fit new larger exit door

- Fit new & remove redundant service runs.
- Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
- Make good areas where existing partitions are removed.

Ceilings

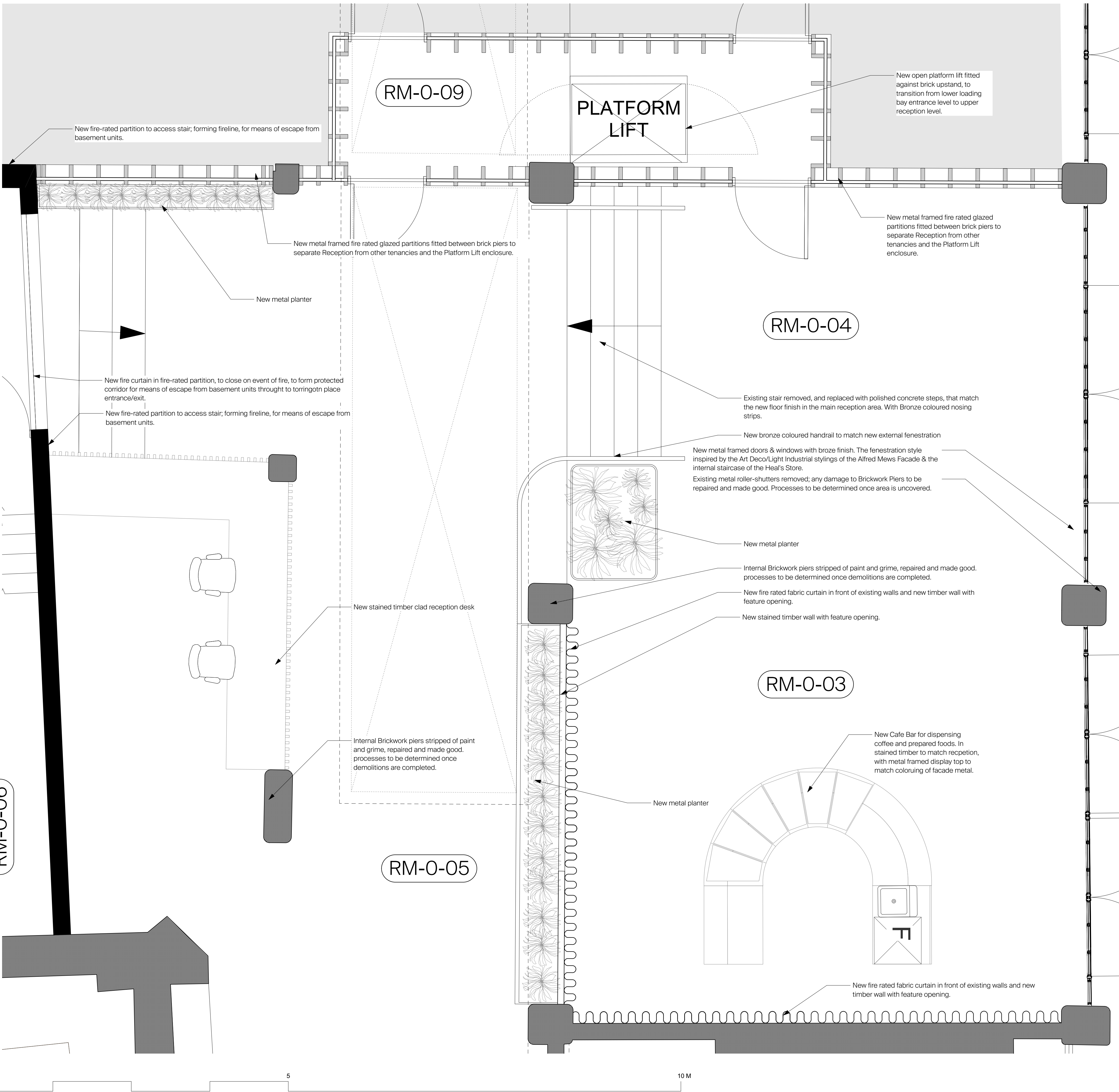
- Strip out redundant services and drop ceilings
- Make good existing concrete deck and beams
- Fit new surface mounted conduit for lighting arrangement
- Fit new lighting grid

Walls

- Strip back to existing brick & concrete finishes.
- Make good with like for like replacement
- All services to be surface mounted in metal conduit.
- Re-organise space to new layout with new plasterboard partitions.

Features

- Fit new built-in cupboard
- Make good any damage to ramp structure



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Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

DO NOT SCALE FROM THIS DRAWING

NOTES.

AREA OUTSIDE OF SCOPE OF THIS APPLICATION

REV.	DATE	NOTE	DR
1	06/05/22	Issued for Planning	

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General Projects

PROJECT

Heal's Building

Proposed Alfred Mews Reception Plan

SCALE	DATE
1:25 @ A1	May 2022
1:50 @ A3)	

STATUS	APPROVED
PLANNING	NJ

WG No.	REVISION
215_PL3i-ME-D1	P1