

Schedule of Works

- RM-O-01 - Fire Stair Core**
Floors
Unchanged
Ceilings
Unchanged
Walls
Unchanged
Facades
• Remove existing fire exit
• Repair any damage to brick reveals
• Fit new metal framed fire exit in style to match new fenestration to Alfred Mews

- RM-O-02 - Small Lettable Unit**
Floors
• Strip out existing loading bay concrete screed to slab depth
• Place and arrange services in floor + pull through new services.
• Cap services for tenant fit-out.
• Replace with new power-floated concrete screed
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
• Light fittings TBD by tenant
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
Facades
• Remove existing Roller Shutter
• Repair any damage to brick & Stone reveals
• Fit new metal framed glazed frontage in style to match new fenestration to Alfred Mews

- RM-O-03 - Multi-Functional Space**
Floors
• Strip out existing loading bay concrete screed to slab depth
• Place and arrange services in floor + pull through new services.
• Cap services for tenant fit-out.
• Replace with new power-floated concrete screed
• Fit new perimeter heating in floors (style and finish TBD)
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• Fit new Curtain finish on brass rails.
• Fit new timber clad feature wall
Facades
• Remove existing Roller Shutter
• Repair any damage to brick & Stone reveals
• Fit new metal framed glazed frontage in style to match new fenestration to Alfred Mews

- RM-O-04 - Entrance Space**
Floors
• Strip out existing loading bay concrete screed to slab depth
• Place and arrange services in floor + pull through new services.
• Cap services for tenant fit-out.
• Replace with 100mm DTD sets in pale mortar to match existing concrete finish.
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
Features
• Fit new Concrete stair to upper level
• Fit new brass handrail to stair
• Fit new bronze coloured partition to form enclosure to Platform Lift
Facades
• Remove existing Roller Shutter
• Repair any damage to brick & Stone reveals
• Fit new metal framed glazed frontage in style to match new fenestration to Alfred Mews

- RM-O-05 - Upper Level & Reception Space**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Remove stair to south of corridor as redundant.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
Features
• Fit new brass handrail to lower level
• Fit new red stained Timber Reception Desk

- RM-O-06 - Basement Access Stair**
Floors
• Fit new timber floor to interface with access stair in **RM-O-07** set upon existing ramp structure
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• New Fire Rated partition fitted between fire stair & reception space with fire curtain to close on the activation of the fire alarm system.
Remove panels to redundant service riser, and make good walls behind.

- Stair
• Maintain existing stair, details of fit-out to be a part of requirements in Phase 3a application to follow

- RM-O-07 - Access Corridor & Stair**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• New Fire Rated partition fitted between fire stair & reception space with fire curtain to close on the activation of the fire alarm system.
Remove panels to redundant service riser, and make good walls behind.

- Stair
• Fit new timber stair upon existing ramp structure, to create access way down from raised platform to courtyard level
Features
• Existing double doors maintained, repaired & repaired as necessary

- RM-O-08 - Back of House Access Corridor**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Core drill through beams where necessary
• Fit new lighting
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
Features
• Existing double doors maintained, repaired & repaired as necessary

- RM-O-09 - Platform Lift**
Floors
• Strip out raised timber deck to existing concrete floor
• Strip out existing loading bay concrete screed to slab depth
• Replace with new power-floated concrete screed
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Fit new lighting grid
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• Fit new Fire Rated Metal Framed Glazed Partitions
Features
• Fit new Platform Lift to make access from lower bay floor to raised area.

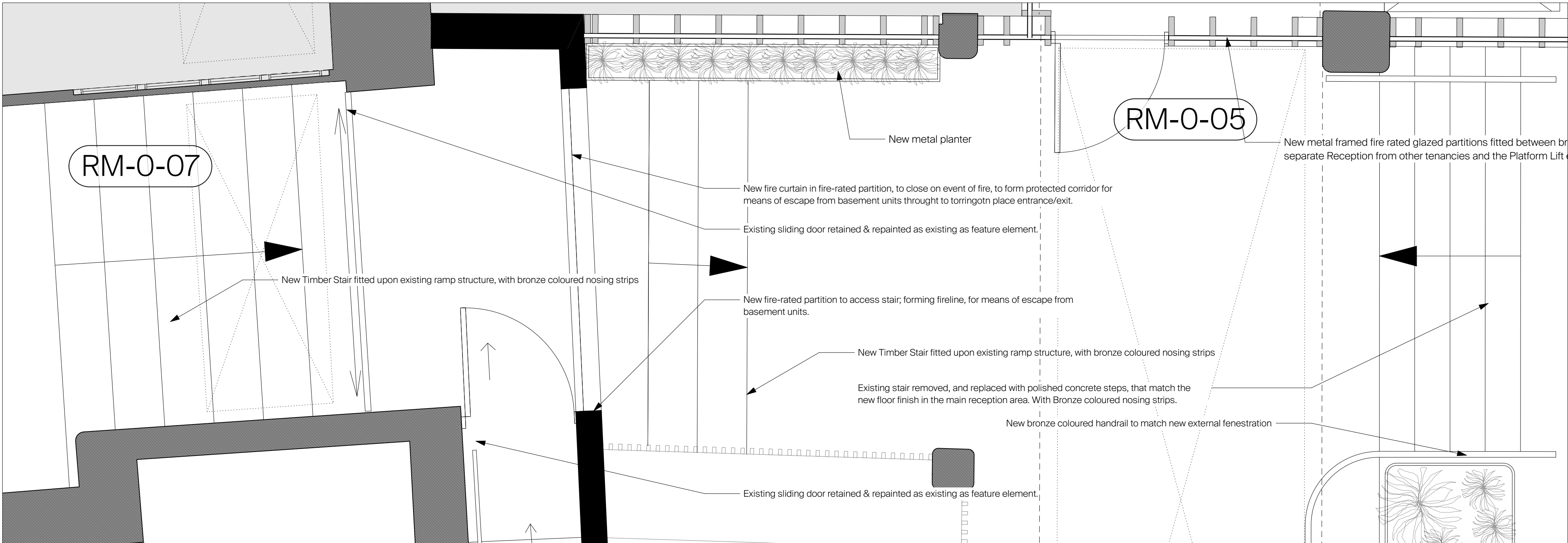
- RM-O-10/11 - Meeting Room & Telephone Rooms**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed.
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Fit new lighting grid
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• Re-organise space to new layout with new plasterboard partitions.
Features
• Fit new joinery items for seating.

- RM-O-12 - Plant Rooms**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed.
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Fit new lighting grid
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• Re-organise space to new layout with new plasterboard partitions, with new door to allow better exit from **RM-O-15** Upper Level Fire Stair
Features
• Fit new joinery items for seating.

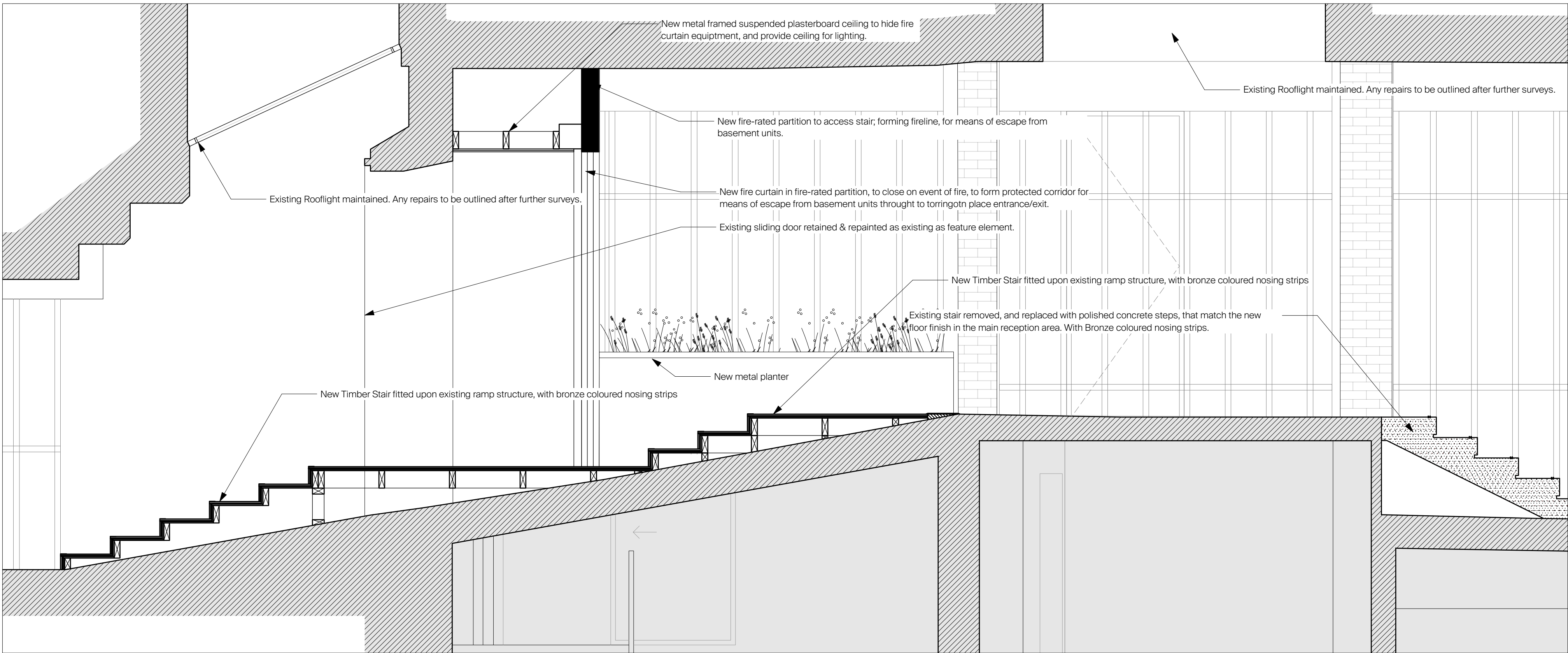
- RM-O-13/14/16 - WC & Cleaners Cupboards**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed.
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Fit new lighting grid
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
Features
• Fit new Concrete stair to upper level
• Fit new brass handrail to stair
• Fit new bronze coloured partition to form enclosure to Platform Lift
Facades
• Remove existing Roller Shutter
• Repair any damage to brick & Stone reveals
• Fit new metal framed glazed frontage in style to match new fenestration to Alfred Mews

- RM-O-15 - Upper Level Fire Stair**
Floors
• Make good areas where existing partitions are removed.
Ceilings
• Make good areas where existing partitions are removed.
Walls
• Make good areas where existing partitions are removed.
Features
• Remove existing fire exit and partition
• Re-align partition to new layout.
• Fit new larger set door

- RM-O-17 - Facilities Management Room**
Floors
• Fit new & remove redundant service runs.
• Make good & repair existing polished concrete floor, be sure to maintain features such as boundary lines.
• Make good areas where existing partitions are removed.
Ceilings
• Strip out redundant services and drop ceilings
• Make good existing concrete deck and beams
• Fit new surface mounted conduit for lighting arrangement
• Fit new lighting grid
Walls
• Strip back to existing brick & concrete finishes.
• Make good with like for like replacement
• All services to be surface mounted in metal conduit.
• Re-organise space to new layout with new plasterboard partitions.
Features
• Fit new built-in cupboard
• Make good any damage to ramp structure
• Fit new teapoint



01 Ground Floor Plan
Scale: 1:25



02 Section A-A
Scale: 1:25

0 5 10 M

GENERAL NOTES.

© Buckley Gray Yeoman Limited

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect

DO NOT SCALE FROM THIS DRAWING.

NOTES.

AREA OUTSIDE OF SCOPE OF THIS APPLICATION

P1 06/05/22 Issued for Planning
REV. DATE NOTE DRAWN

BGY
BUCKLEY GRAY YEOMAN
+ 44 20 7033 9913
BGY.CO.UK

CLIENT
General Projects

PROJECT
Heal's Building

DRAWING
Proposed Access Stair Layout

SCALE DATE
1:25 @ A1 May 2022
(1:50 @ A3)

STATUS APPROVED
PLANNING NJ

DWG No. REVISION
1215_PL3i-ME-D2 P1