

KEY:

1. DINING ROOM

Lift and re-lay floor and floor joists on DPM – subject to survey.

Remove damp affected plaster and replaster.
Include to renew wainscoting in conjunction.

2. KITCHEN

Lift and discard non-original floorboards. Lift and re-lay joists on damp proof membrane. Reduce height of subfloor piers to achieve continuous floor finish between kitchen and dining room.

Remove damp affected plaster and replaster incorporating chemical damp proof course to flank wall.

3. CONSERVATORY

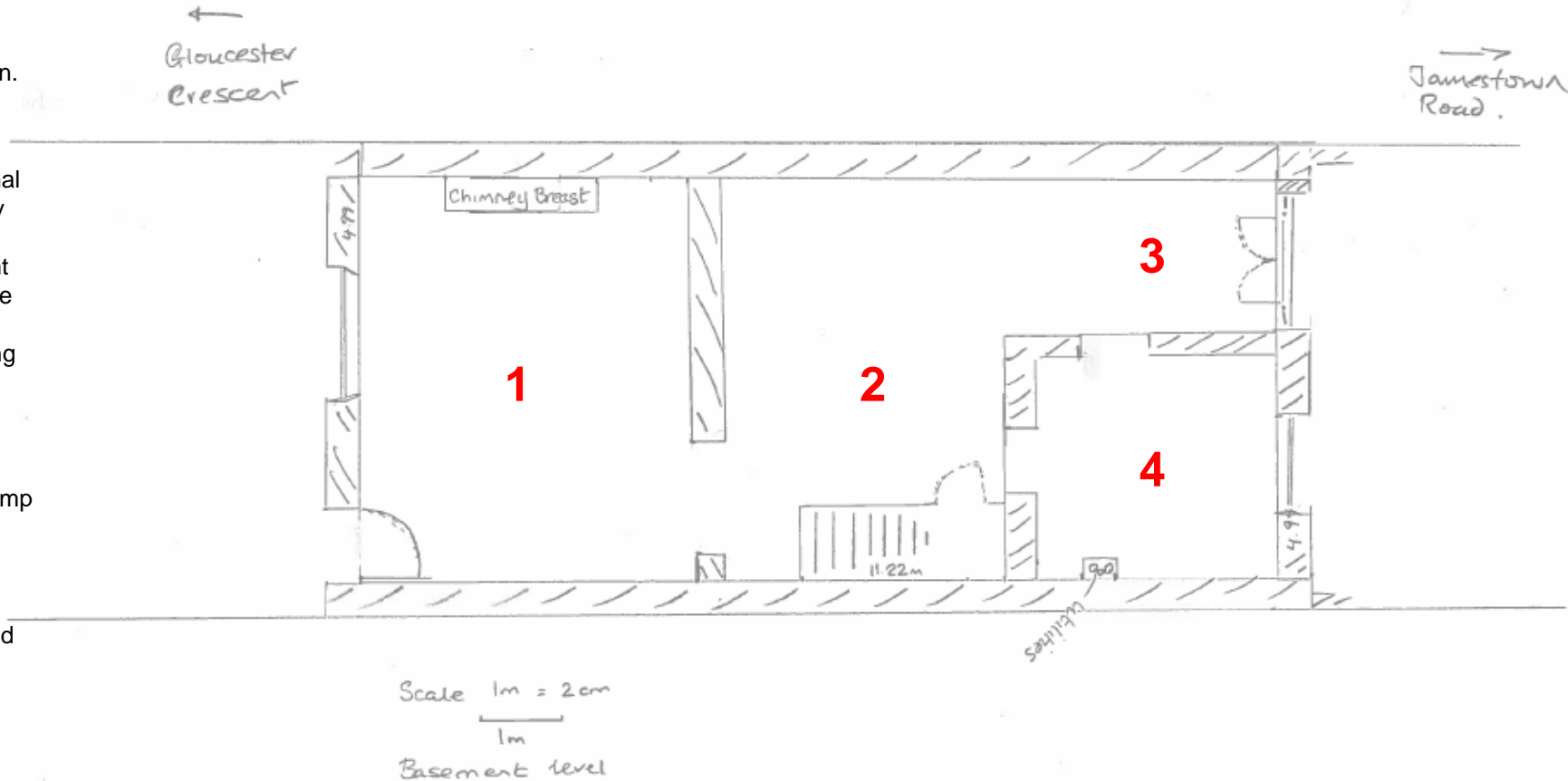
Remove concrete floor and re-lay to include duct to reintroduce cross-flow ventilation to subfloor.

Remove damp affected plaster and replaster.

4. REAR ROOM

Remove damp affected plaster and replaster.

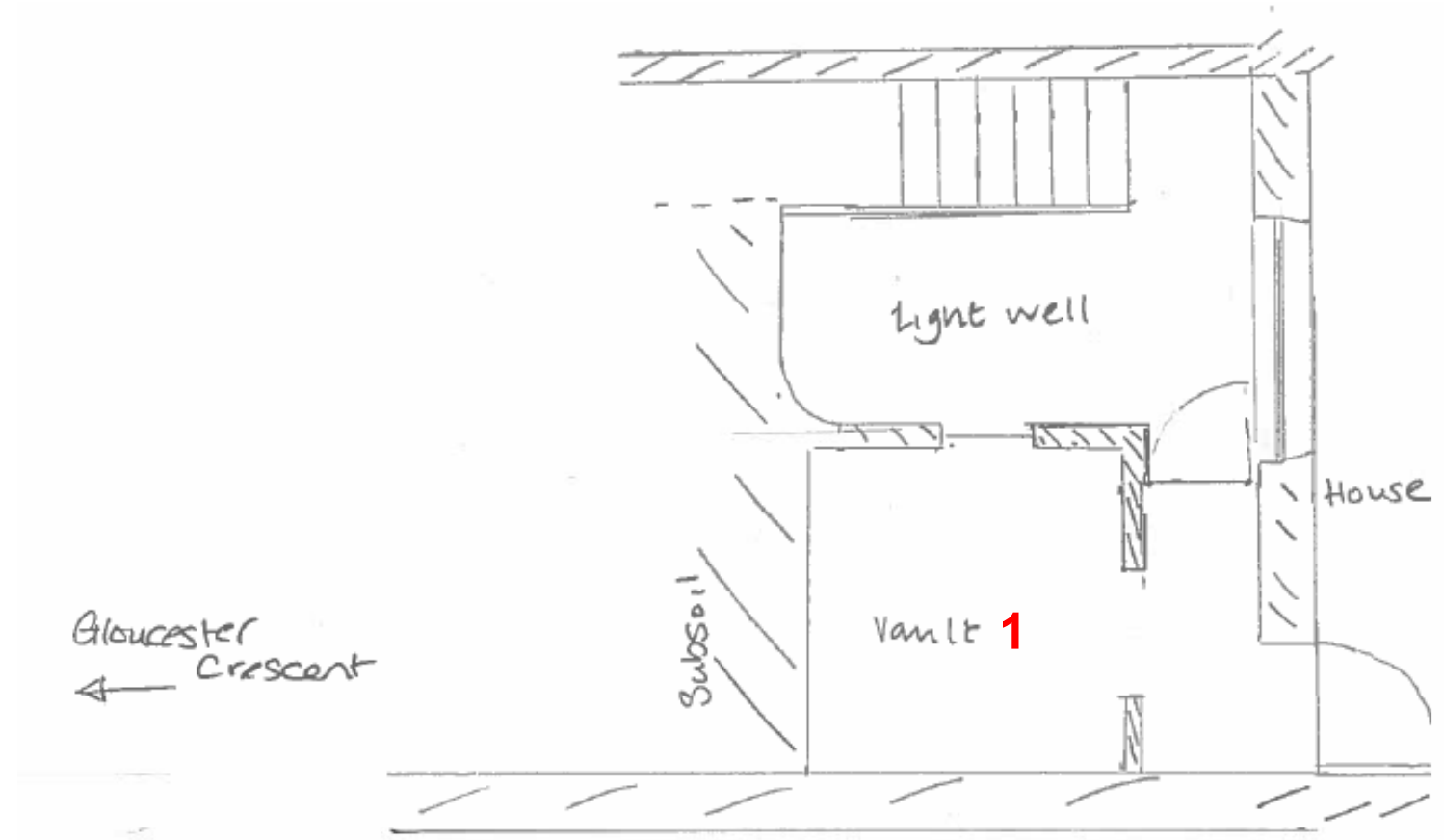
38 Gloucester Crescent, London, NW1 7DL



KEY:

1. VAULT

Remove failed cementitious tanking to vault and lobby.
Replace tanking with drained cavity system to comply with BS8102 2009.
Cavity to be drained by gravity into inspection chamber within the vault lobby.
Cavity drainage system as Newton 508 membrane or similar to walls, soffit and floor.
System to be drylined with plasterboard drylining system and painted white with floor screed and tiles above.



38 Gloucester Crescent, NW1
Basement level, front area

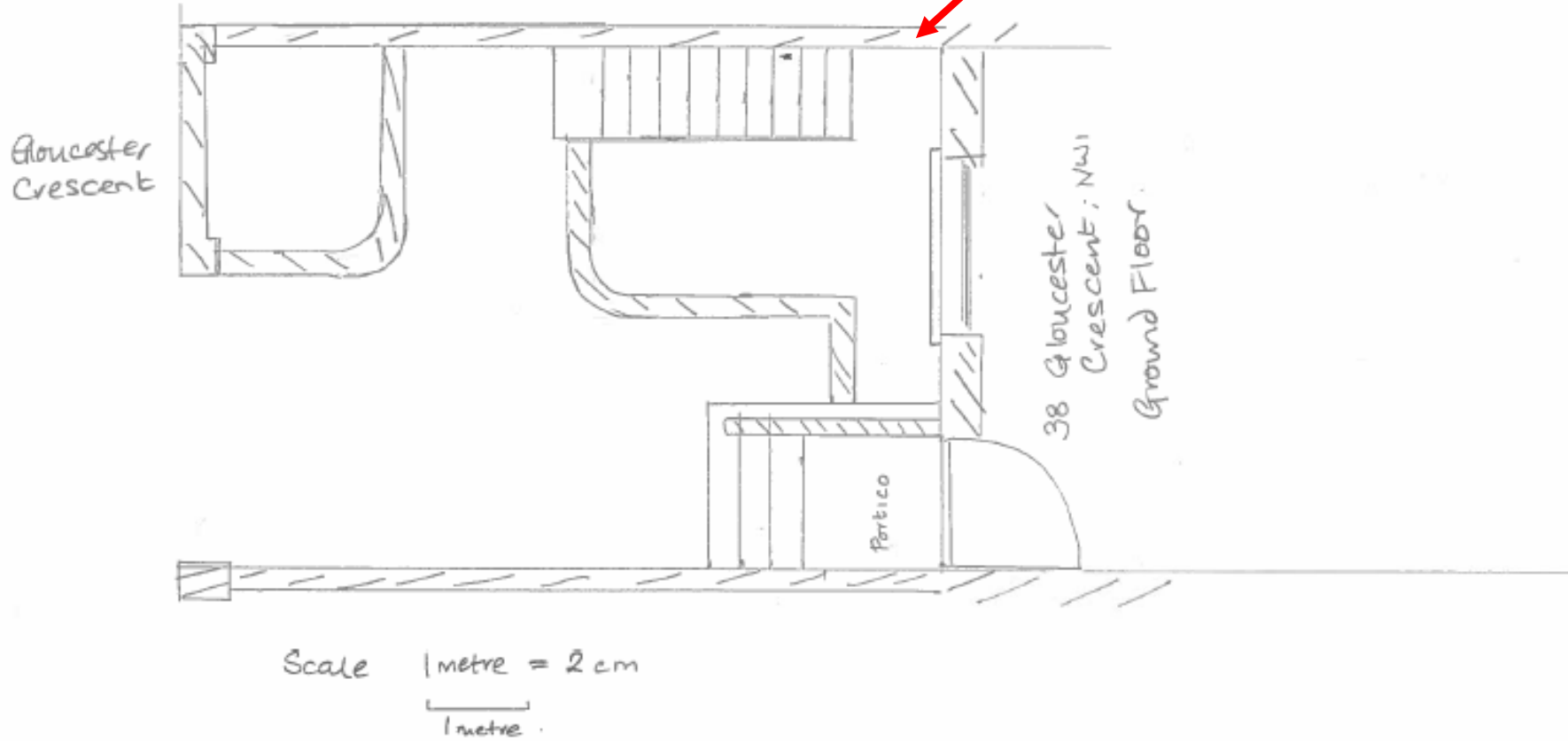
Scale 1m = 2cm
1m

KEY:

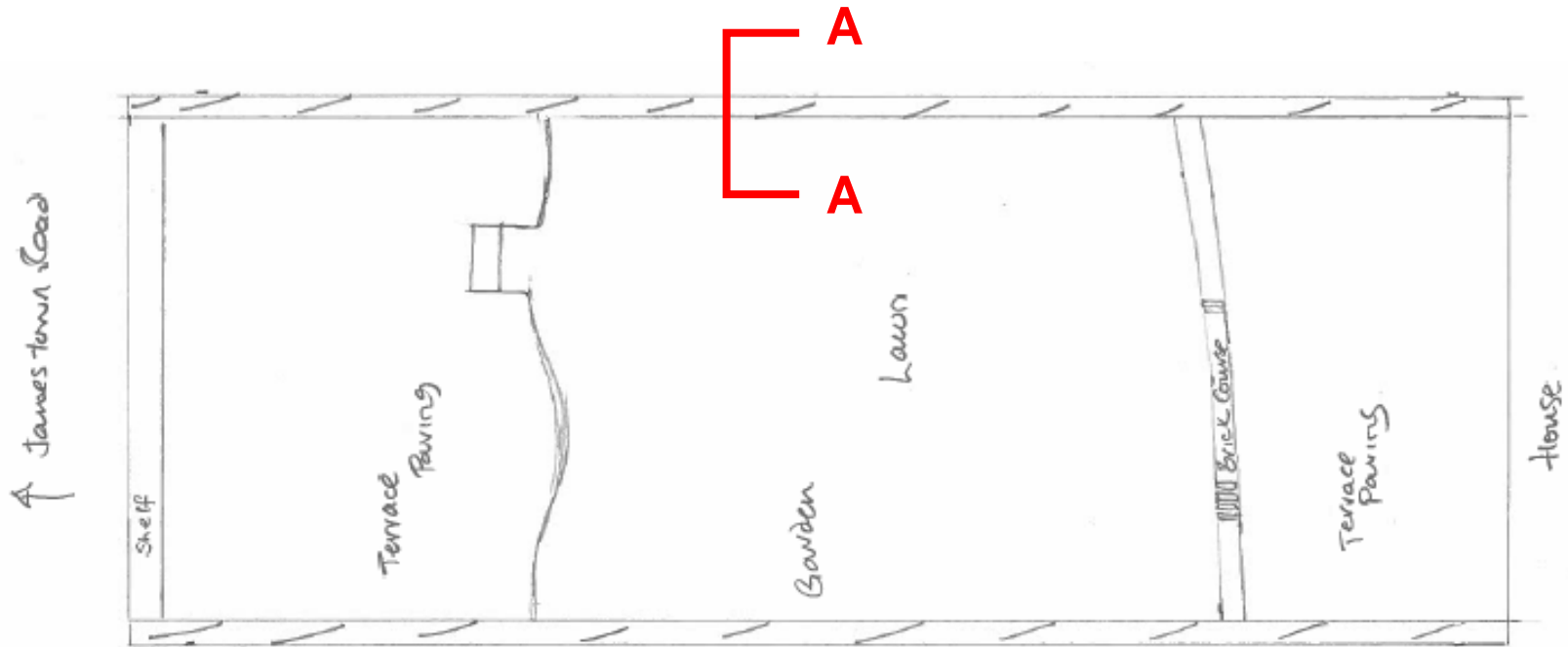
ENTRANCE DRIVE

Lift and re-lay York stone paving complete following repairs to sub base.

At the abutment of the party fence wall with the elevation, build in cover flashing/capping to top of wall in conjunction with Lead Sheet Training Academy guidelines.



Take down and rebuild party fence wall complete from new foundations to existing height and profile reusing salvaged bricks in lime mortar.



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Recu Garden

Scale 1m = 2cm

1m