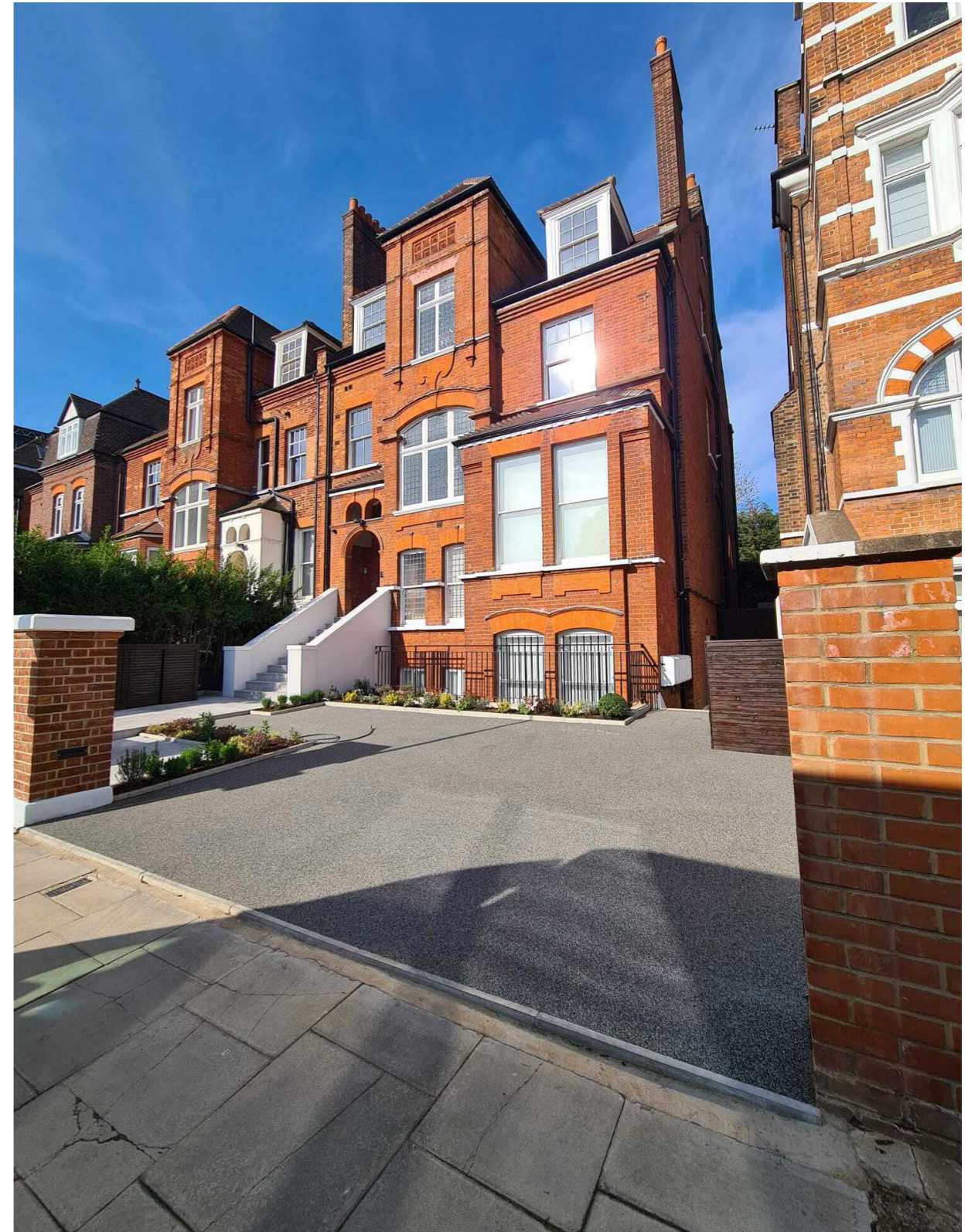


Design and Access Statement
29 Maresfield Gardens, NW3 5SD
April 2022



Contents

1.0 Introduction

2.0 XUL Architecture profile

3.0 Reference Documents

4.0 Site and Surroundings

4.1 Street overview

4.2 Frontage and setting

4.3 The site

5.0 Planning

5.1 Site Planning History

5.2 Relevant Planning Permissions within the Area

5.3 Planning Policy

6.0 Existing front boundary

7.0 Proposed front boundary

7.1 Design

7.2 Extent and Scale

7.3 Landscaping

7.4 Appearance and materials

7.5 Use and Access

7.6 Sustainability

8.0 Conclusion

1.0 Introduction

This Design and Access Statement has been prepared to support a planning application to alter the existing front brick wall and piers, together with the installation of new bin enclosures at no. 29 Maresfield Gardens, NW3 5SD.

The proposals are described within this document and on the enclosed drawings.

The proposed scheme involves the demolition of an existing front brick wall and pier, resulting in the enlargement of the opening at the boundary with the street. The proposals also seek to retain and repair the existing front brick wall, as well as enhancing the existing landscaping, with consideration taken to retain the property's contribution to the wider Conservation Area.



Fig 1. Location plan

2.0 XUL Architecture profile

XUL Architecture is an award-winning, “commercially minded” and client-centered architecture practice. Our vision is to design beautiful buildings that use ingenious ways of bringing natural light to architecture while changing how architectural services are delivered.

We see design as a collaborative process and place great emphasis on our relationships with clients, consultants, and contractors. Combining our energy, extensive knowledge and talents we deliver exciting projects and make a positive difference to each scheme and its local context.

As a RIBA Chartered practice with over 13 years of experience we have successfully worked on circa 300 projects, taking new build and renovation schemes from initial sketches to completion. We have extensive experience working particularly in Barnet, Camden, Haringey and Westminster Councils.

Our innovative design can be seen through our residential portfolio and has been recognized by Barnet Council, who awarded us with the **Barnet Architecture Award 2017** for our Hale Lane project in Mill Hill (Fig 2). In 2014 we also won the **Stuart Grey Award for the best project in Hampstead Garden Suburb** on a listed house.



Fig 2. Hale Lane project



3.0 Reference Documents

This statement should be read in conjunction with the attached reference documents as follows:

Architect's Documents - XUL Architecture:

LP-00: Location and Block Plan

EX-01: Existing Front boundary Plan

EX-02: Existing Front boundary Elevation

PA-01: Proposed Front boundary Plan

PA-02: Proposed Front boundary Elevation

PA-03: Proposed Site photos

PA-04: Proposed Bins enclosure

4.0 Site and Surroundings

4.1 Street overview

Maresfield Gardens is a L-shaped road, running west from Fitzjohns Ave and turning 90° north into a long straight ascent to Netherhall Gardens. The street is lined with trees and the character is enhanced by the contribution of the trees and vegetation in private gardens.

4.2 Frontage and setting

Front boundary treatments along Maresfield Gardens are varied with no predominant style, however planting and vegetation in front gardens is common, softening the edge of the street.

4.3 The Site

The site is located within the Fitzjohns / Netherall Conservation Area (Fig 3). 29 Maresfield Gardens is a four-storey semi-detached Victorian building located on the western side of Maresfield Gardens. The building is not statutorily or locally listed, however it is identified in the Fitzjohns / Netherall Conservation Area Statement (2001) as a building which makes a positive contribution to the character and appearance of the Conservation Area.



Fig 3. Fitzjohns Netherhall Map of Conservation Area, site highlighted in blue

5.0 Planning

5.1 Site planning history of no. 29 Maresfield Gardens

TP/9894/87914 - Approved

Conversion of the premises, a private house, into a maisonette on the two lower floors and one self-contained flat on each of the two floors over.

TP/9894/21686 - Approved

Formation of a self-contained flat in the basement of No. 29 Maresfield Gardens, Hampstead.

TP/9894/6199 - Approved

Formation of a garage in the basement, with new access.

2020/1417/P - Approved

Erection of 2 dormer windows with balconies and rooflight to rear roof slope, and alterations to existing rear dormer including revised glazing detail and replacement of hipped roof with flat roof.

2020/1418/P - Approved

Erection of single storey lower ground rear extension with external roof terrace above together with new external patio with new stepped access to rear garden, external alterations to property including replacement of ground floor rear window with french doors, installation of new window and enlarged window to ground floor side elevation and installation of new entrance door off front porch to provide access to upper floor flats.

5.2 Relevant planning permissions within the area

Throughout the design process, examples of successful projects in similar contexts have been considered to inform our design. The applications below have been approved by Camden Council and show a history for approving alterations of the existing front brick wall and piers.

72 Maresfield Gardens, London, NW3 5TD (Fig 4)

Ref.: 2017/3869/P

Replacement roof (following removal of existing roof) with front and rear dormers and 5 x rooflights; single storey front porch infill extension; two storey side infill extension; various external alterations including infilling of parking space and formation of front lightwell, alterations to fenestrations, landscaping alterations and new front boundary treatment.

Full permission granted (22/11/2017)



Fig 4. 72 Maresfield Gardens - Existing and Proposed front brick wall



Fig 5. 12 & 14 Maresfield Gardens - Existing and Proposed front brick wall

12 & 14 Maresfield Gardens, London, NW3 5SU (Fig 5)

Ref.: 2021/0746/P

Erection of rear extension with glazed doors at upper ground floor; rebuild rear extension at lower ground floor including alteration to fenestration to rear and addition of windows to side elevations; alteration to fenestration at rear first floor level; insertion of rooflights to rear roof; creation of roof terrace at upper ground floor level; all works to both properties, namely to include; a refuse bin store within front garden and the installation of wrought iron gate and railings to front boundary brick wall.

Full permission granted (06/12/2021)

60 Fitzjohn's Avenue, London, NW3 5LT (Fig 6)

Ref.: 2021/2751/P

Repair works to front boundary wall. New brick piers to match. New black painted metal railings and gate.

Full permission granted (17/08/2021)

78 Fitzjohn's Avenue, London, NW3 5LS (Fig 7)

Ref.: 2006/2349/P

Erection of a single storey extension to the rear and a single storey extension to the side, and erection of a dormer window to the rear elevation and replacement dormer window to the side elevation, plus creation of new vehicular and pedestrian entrances and associated gates in the front boundary wall of the single dwellinghouse.

Full permission granted (01/08/2006)

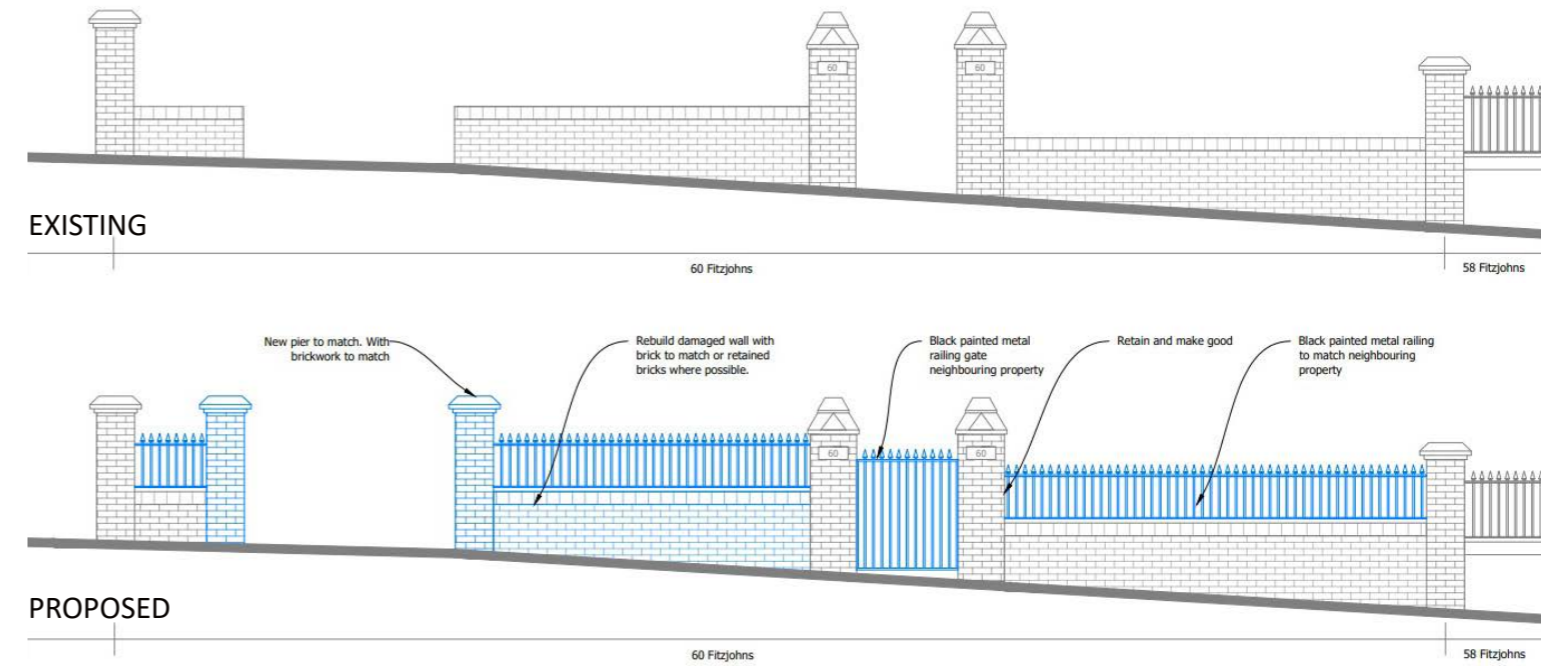


Fig 6. 60 Fitzjohn's Avenue - Existing and Proposed front brick wall

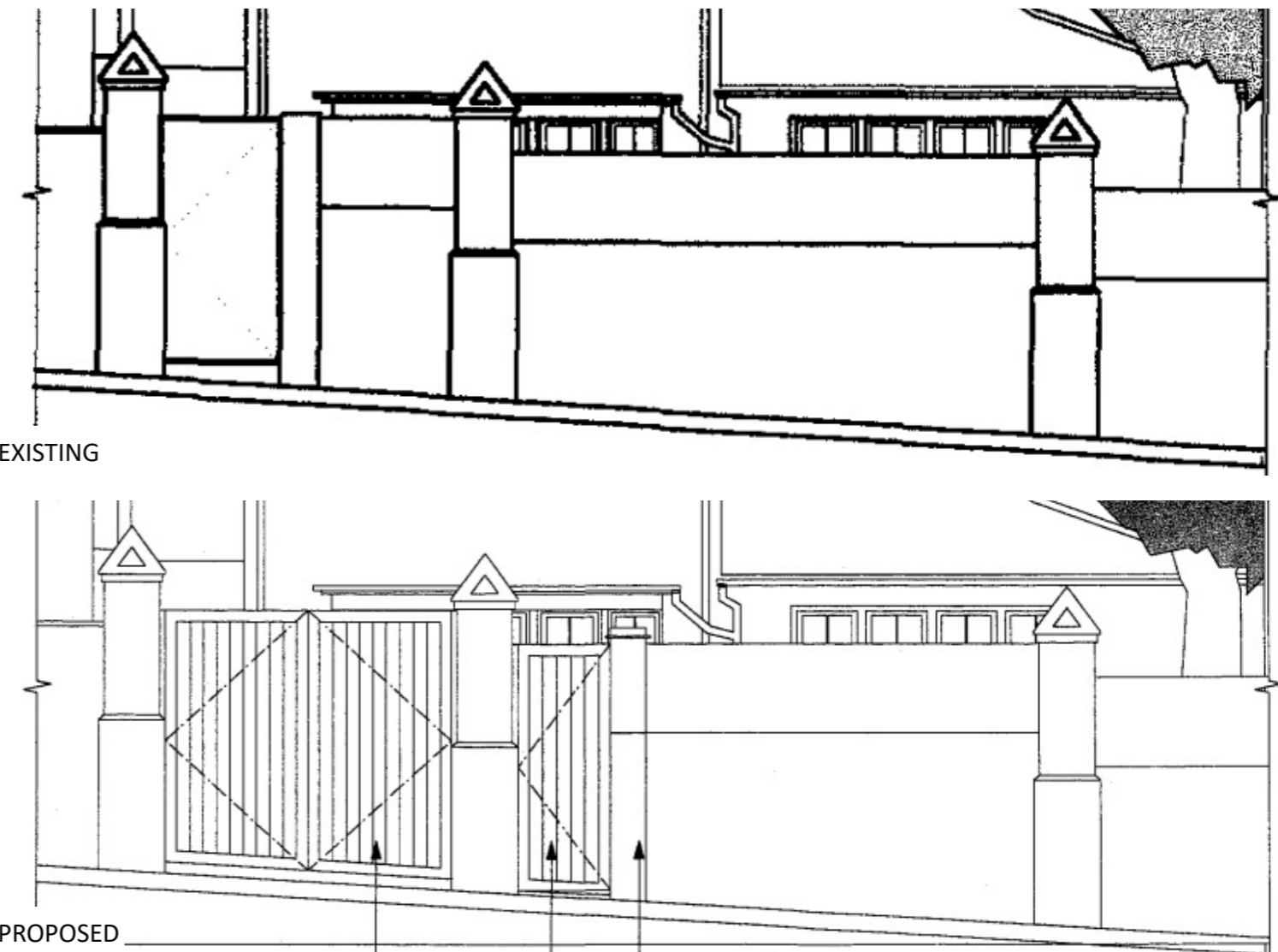


Fig 7. 78 Fitzjohn's Avenue - Existing and Proposed street boundary

5.3 Planning Policy

The council's adopted policies map designates the site as within the Fitzjohns / Netherhall Conservation Area (Fig 8). The following planning policies and documents have been considered in the preparation of this planning application:

National Planning Policy Framework - 2021

Local Planning Policy

London Plan - 2021

Camden Local Plan - 2017

Camden Planning Guidance

Fitzjohns/Netherall Conservation Area Appraisal and Management Strategy - 2011

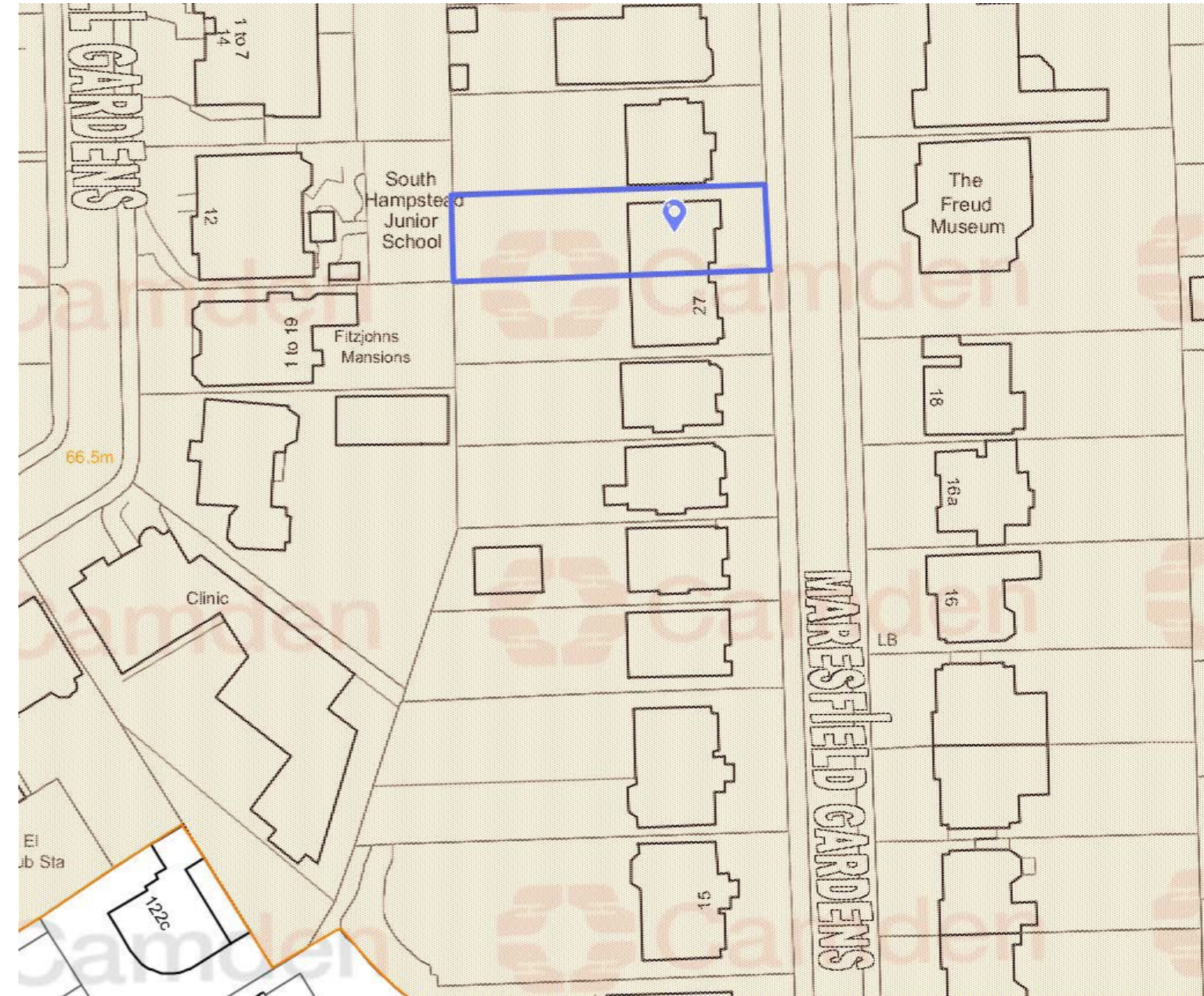


Fig 8. Map showing the site within the Fitzjohns Netherhall Conservation Area

6.0 Existing front boundary

Front boundary treatments vary along the street with no predominant style, though the area's familiar palette of brick with panels of over-burnt brick and stone coping can be found. The underlying consistency is that of front gardens behind a physical boundary that relates sensitively to the architecture behind (Fig 9).

The existing brick wall has been badly repaired over the years, with poor quality both in aesthetic and durability terms. The wall was showing a number of cracks, potential instability and areas that have been patched up over the course of its existence.



Fig 9. Existing front boundary

7.0 Proposed front boundary

7.1 Design

The repairs to the front boundary include cleaning and repointing of the brick wall and piers, which will provide the opportunity to improve on the quality and aesthetic of the property and streetscape, as well as safety in the long run (Fig 10). Bins will be hidden in an inconspicuous feature boxing out which will be covered by timber slats around the sides (Fig 11).

7.2 Extent and Scale

There is no significant difference between existing and proposed design, other than removing a brick pier and short section of brick wall; the general functionality, size as well as aesthetic and stylistic character of the wall is being retained. Side access to be omitted by removing the right hand side pier, as well as the dwarf wall. Refer to drawing PA-01_P00 for details. The overall height of the brick piers will remain as existing (Fig 12).

7.3 Landscaping

Amount of hard surface to remain the same; the scheme includes replacing of the concrete slabs with paving slabs and resin finish on the forecourt. The re-landscaping of the front garden includes bedding plants which will soften the edges of the streetscape (Fig 13), as well as high hedges on the left hand side of the boundary wall. The aim of the proposal is to be minimal and sympathetic to the residential character of the property.



Fig 10. The front brick wall and piers were cleaned and repointed



Fig 11. Bins enclosures



Fig 12. Proposed front boundary



Fig 13. Proposed bedding plants

7.4 Appearance and Materials

The proposed design retains the general appearance of the original front wall; the new elements are making elegant and complementary contribution reflecting the materiality of the area, and are of higher quality including in relation to stability and safety. Brickwork will just be cleaned and repointed (Fig 14), the bin enclosures will be painted timber cladding (Fig 15), while the paving slabs (Fig 16) and resin finish of the forecourt (Fig 17) will improve the general look of the property.

7.5 Use and Access

As existing.

7.6 Sustainability

The material of the front forecourt is permeable resin (Fig 18), a finish which is specified to allow the water to naturally drain away, by reducing the surface water run off and helping to alleviate the risk of flooding in a natural, sustainable and eco-friendly manner. There are precedents in the street at no. 9 Maresfield Gardens (Fig 19) and at no. 72 Maresfield Gardens (Fig 20).

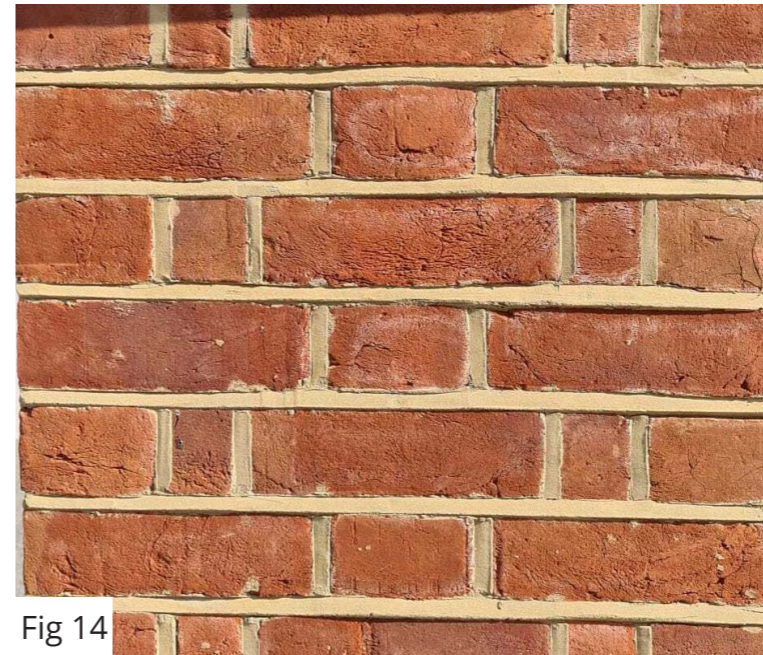


Fig 14



Fig 15



Fig 18



Fig 19



Fig 20



Fig 16



Fig 17

8.0 Conclusion

In summary, the application provides a sensitive cohesive solution to creating a modern front boundary at 29 Maresfield Gardens, respectful of the character of the surrounding area. This is achieved through a considered design approach and inherent harmony with the surrounding built environment including approach to scale, form and materiality.

It is believed that the works are an improvement and of necessary nature with a positive contribution to the area, whilst satisfying the requirements of current users. While we understand that every project is determined based on its own merits, this application is not substantially different from previously approved schemes in the local area.

Based on the evidence shown in this report, along with the drawings submitted, this application seeks permission for works which are deemed compliant with the local development plans and planning policies and guidelines in place and should therefore be granted **approval**.

