

2021/6021/P – 27A Buckland Crescent

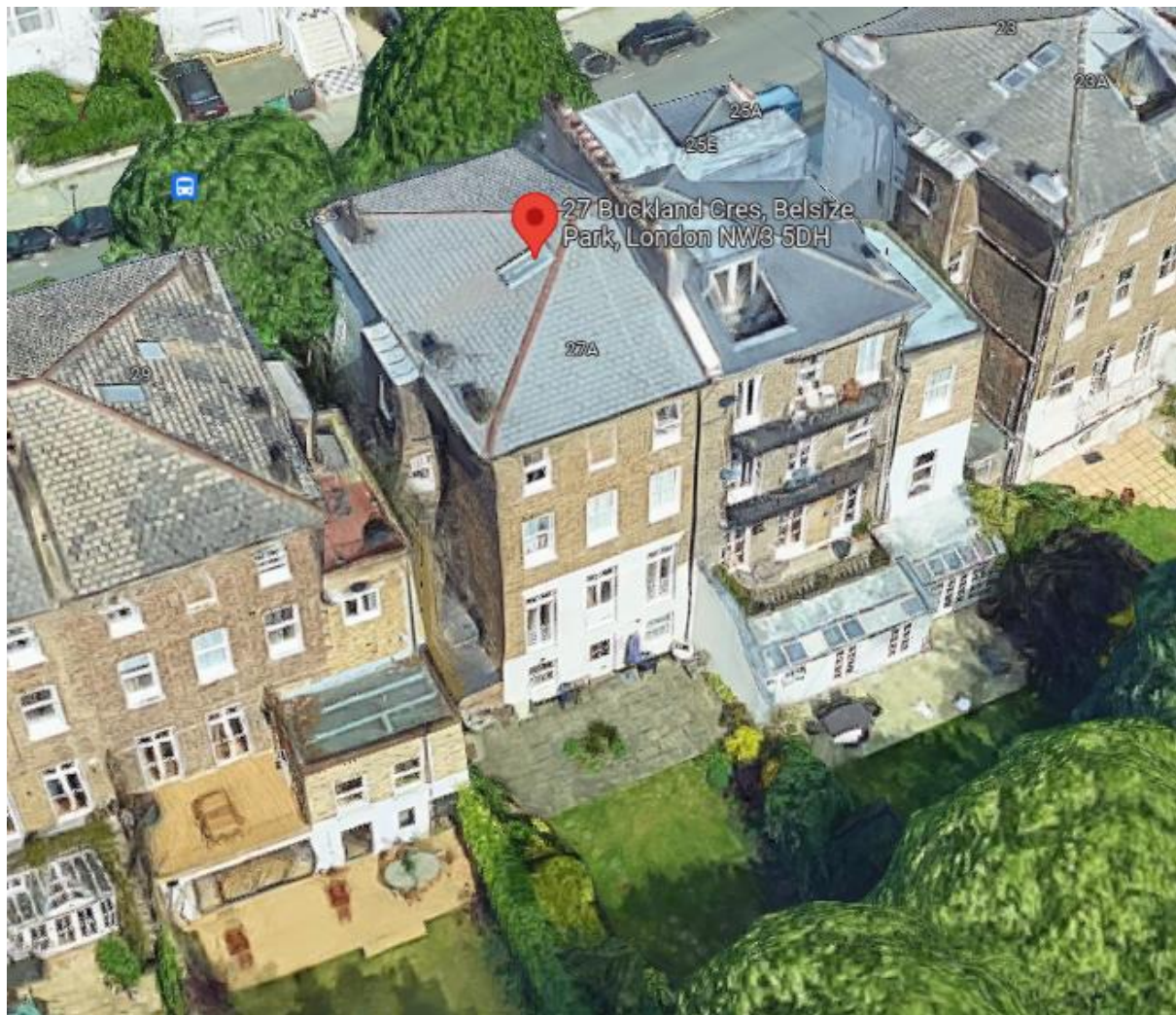


Central School of
Music and Drama

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1. Front elevation of 27 Buckland Crescent (proposal relates to lower ground floor flat)



2. Satellite view showing rear elevation of 27 Buckland Crescent



3. Boundary with no. 29 Buckland Crescent



4. Boundary with no. 25 Buckland Crescent



5. Rear elevation of property, also showing adjoining properties and balconies to no. 25



6. Render showing proposed extension and terrace above

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	02/02/2022
		N/A / attached	Consultation Expiry Date:	13/03/2022
Officer			Application Number(s)	
Fergus Wong			2021/6021/P	
Application Address			Drawing Numbers	
Flat A, 27 Buckland Crescent London NW3 5DH			<i>See draft decision notice</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Side infill and rear extension at lower ground floor level with rooflight, green roof and roof terrace above, new door and window to side passage.				
Recommendation:	Grant planning permission.			
Application Type:	Householder Application			

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	A site notice was displayed starting 17/02/2022 and expiring on 13/03/2022. A press notice was published in the Ham & High starting 16/02/2022 and expiring 12/03/2022.			
Adjoining Occupiers:	No. of responses	5	No. of objections	1

**Summary of
consultation
responses:**

1 objection was received and can be summarised as follows:

1 Other:

Objects to separation at upper ground level between no. 25 and 27 to avoid climbing onto first floor level.

Officer response: Although unclear, it is thought that this comment relates to the glazed screen to the upper ground floor terrace. It is not considered that the introduction of this glazed screen (being only slightly higher than the existing boundary wall) would have any material impact on ease of access to first floor level, and therefore on crime to these units.

3 comments were received from interested parties and can be summarised as follows:

1 Design:

Queries whether the proposed rear extension protrudes further than extension to no. 25, and whether this would be out of character with surrounding properties.

Officer response: The rear extension does protrude approximately 0.8m further in depth compared with no. 25, however it is considered to be appropriate in scale (and being similar in scale with that previously approved) and would not have a negative impact on the appearance of the host property and the wider conservation area.

2 Amenity:

New terrace has potential to further overlook garden and upper ground floor of no. 25.

Officer response: There is a prevalent pattern of terraces and balconies along this side of Buckland Crescent, and the view into rear gardens would be relatively similar to existing views from windows. An obscure glazed screen is also proposed to the boundary with no. 25, which would reduce any overlooking into no. 25. A condition is recommended to ensure that the glazed screen is installed prior to the terrace being used.

3 Other:

Works may cause noise/vibration disruption to other properties.

Officer response: An informative has been included to ensure that works only take place within set hours, and that works are conducted in accordance with Camden Minimum Requirements.

No notice received by post.

Officer response: a site notice was displayed and press notice published, in accordance with Camden's standard approach to consultation.

Support works on basis of party wall agreement being agreed.

Officer response: This is a private legal matter between neighbours and not a planning matter.

1 support comment was received.

Belsize CAAC:

Objection on basis of:

1 **Design:**

Rear extension should not be longer or higher than extension at no. 25.

Officer response: The rear extension does protrude slightly further in depth and taller compared with no. 25, however it is considered to be appropriate in scale (and being similar in scale with that previously approved) and would not have a negative impact on the appearance of the host property and the wider conservation area.

The new windows and doors should be timber.

Officer response: The new sash window relating to the original fabric of the host property is formed of timber. It is considered that the fenestration to the extensions, being latter additions, do not necessarily have to be formed of timber given that there is a large mix of materiality and treatments to rear extensions amongst neighbouring properties. The aluminium windows and doors proposed are acceptable in this instance.

2 **Amenity:**

The obscured screen should be 1.8m high to give adequate privacy.

Officer response: It is not considered necessary to request for the applicant to amend the proposed screen to be 20cm higher. It is considered that the proposal is sufficient to protect the amenity of neighbouring residents.

3 **Other:**

The front garden is the only one in a row of six with an impervious parking surface. Rather than install an electric car charger it would be preferable to return the garden and wall to its original condition.

Officer response: The electric car charger has been omitted from the proposal.

Site Description

The application site is a four-storey, semi-detached property situated on the south side of Buckland Crescent. The property is not listed, however it lies within the Belsize Conservation Area. It is identified as a positive contributor within the Belsize Conservation Area Statement.

This application relates specifically to the flat situated at lower ground floor level.

The surrounding area is primarily residential in nature, the application site being sited within a row of properties of a similar style.

Relevant History

Application site:

9201424 – Refused 01 April 1993

Construction of means of access to the highway in connection with the creation of parking space for two cars in front garden.

9260165 – Refused 01 April 1993

Demolition of boundary wall in front garden as shown on drawing numbers 27BC/14.

2008/2074/P – Granted 15 July 2008

Erection of single-storey rear extension with 2 rooflights in connection with existing lower ground floor level flat.

2011/3149/P – Granted 05 August 2011

Renewal of planning permission ref. 2008/2074/P dated 15/07/2008 for: Erection of single-storey rear extension with 2 rooflights in connection with existing lower ground floor level flat.

2013/2548/P – Granted 10 May 2013

Demolition and reconstruction of wall to front elevation to lower ground floor flat (Class C3).

Relevant planning history at neighbouring properties:

2005/3585/P – 25a Buckland Crescent – Granted 21 November 2005

The erection of a single storey front extension at lower ground floor level and a full width rear extension comprising a solid element and a glazed recessed element, for the ground floor flat and the extension and increase in depth of an existing rear upper ground floor balcony with a 1.8m high opaque privacy screen on its west side, for the upper ground floor flat.

8502070 – 29 Buckland Crescent – Granted 05 February 1986

Alterations including the erection of a two-storey extension and a single-storey conservatory to the rear as an extension to the existing flats at lower ground and ground floor level as shown on drawing no. 151/01/B

2021/2238/P – 31 Buckland Crescent – Granted 20 June 2011

Erection of single-storey rear extension with roof terrace above to replace existing conservatory, single-storey side extension and erection of single storey building to end of rear garden in connection with existing flats.

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **D1** Design
- **D2** Heritage

Camden Planning Guidance:

- **CPG Amenity (2021)**

- CPG Design (2021)
- CPG Home Improvements (2021)

Belsize Conservation Area Statement (2003)

Assessment

1. The proposal

- 1.1. Planning permission is sought for a rear and side infill extension at lower ground floor level with rooflight, green roof and roof terrace above, and a new door and window to the side passage.
- 1.2. The proposal had initially included the installation of an electric car charging socket adjacent to the front entrance, however this element has now been omitted from the proposal.

2. Assessment

2.1. Design and Conservation

- 2.2. Policy D1 'Design' states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 2.3. The full-width rear extension as approved in the 2008 and 2011 permissions as stated above has not been implemented and therefore the property as existing has not been extended to the rear. Many neighbouring properties on this side of Buckland Crescent have also been extended to the rear at ground floor level with full-width extensions, such as (but not limited to) nos. 29-39.
- 2.4. The proposed extension measures 4.85m in depth, 3.1m in height and is full-width. The footprint and form of the proposed extension is relatively similar to the previously approved extension, being 0.35m greater in depth and 0.3m greater in height, as well as being full-width up to the boundary with adjoining property no. 29.
- 2.5. The rear elevation of the extension is to be clad in porcelain tiles and have aluminium sliding doors and an aluminium picture window protruding from the elevation. A terrace with metal railings and an obscure glazed screen, two rooflights and a green roof are proposed atop the extension.
- 2.6. The rear extension is linked to an infill of the existing side passage at ground floor level. One rooflight is proposed atop the infill.
- 2.7. Given that the proposed extension is confined to the rear of the property, and being broadly similar in terms of size and scale as previously approved, it is considered to be acceptable in principle. The fenestration and materiality proposed is also acceptable, with a large mix of styles and appearances to the treatment of rear extensions amongst neighbouring properties.
- 2.8. The green roof atop the extension is acceptable, although details of this green roof have not been submitted, which is to be secured by condition. The adjoining property no. 25 has balconies with metal railings at upper ground, first and second floor levels, and therefore the introduction of black metal railings atop the extension to form a terrace for the upper ground flat is acceptable in design terms. The obscure glazed screen would only protrude minimally above the curved side boundary wall, and therefore not be highly visible, having a minimal impact on the appearance of the property. The rooflights atop the extension would only be visible in private views and are also acceptable.
- 2.9. It is observed that neighbouring properties, such as nos. 25, 29, 37 and 39 have three-storey side extensions in place of the original side passage. As such, the infilling of the side passage at lower ground level with a single storey extension is uncontentious in design terms. The rooflight atop would only be visible in private

views and is also acceptable. The introduction of a new glazed door and sash window to the side passage is also uncontentious as it would not be visible in public views.

- 2.10. Overall, the proposal is not considered harmful to the character or appearance of the host building, street scene or the Belsize Conservation Area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.
- 2.11. Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

3. Residential Amenity

- 3.1. There is a high boundary wall to no. 25, and the height of the extension would be confined within the height of this wall. No. 29 has been extended to the rear with a full-width extension up to the side boundary. Therefore, the rear and side extension would not result in any loss of light or sense of enclosure to adjoining properties.
- 3.2. No. 25 has balconies with metal railings at upper ground, first and second floor levels, introducing a degree of overlooking into neighbouring gardens. Nos. 29 and 33 also have terraces at upper ground level. When combined with the obscure glazed screen, there would not be a significant increase in overlooking into rear gardens when compared to the existing views from windows. This is also considering that there is a prevalent pattern of terraces and balconies in surrounding properties.
- 3.3. Owing to the oblique angle, the new rooflights would not lead to any unacceptable loss of privacy. The new sash window at lower ground level within the side passage would not lead to any unacceptable loss of privacy given that there is a window above this proposed location at upper ground level.
- 3.4. The development is thus considered to be in accordance with policy A1 of the London Borough of Camden Local Plan 2017.

4. Recommendation

- 4.1. Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 19th March 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/6021/P
Contact: Fergus Wong
Tel: 020 7974 2968
Email: Fergus.Wong@camden.gov.uk
Date: 13 April 2022

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Unit 57 Containerville
1 Emma Street
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E2 9FP
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat A

27 Buckland Crescent

London

NW3 5DH

DECISION

Proposal:

Side infill and rear extension at lower ground floor level with rooflight, green roof and roof terrace above, new door and window to side passage.

Drawing Nos: 1214-E2-0001 Rev. P02; 1214-E2-0010 Rev. P02; 1214-E2-0011 Rev. P02; 1214-E2-0012 Rev. P02; 1214-E2-0013 Rev. P02; 1214-E2-0020 Rev. P02; 1214-E2-0021 Rev. P02; 1214-E2-0030 Rev. P02; 1214-E2-0031 Rev. P02; 1214-E2-0032 Rev. P02; 1214-E2-0050 Rev. P02; 1214-E2-0100 Rev. P02; 1214-E2-0111 Rev. P02; 1214-E2-0112 Rev. P02; 1214-E2-0113 Rev. P02; 1214-E2-0120 Rev. P02; 1214-E2-0121 Rev. P02; 1214-E2-0130 Rev. P02; 1214-E2-0131 Rev. P02; 1214-E2-0132 Rev. P02; 1214-E2-0150 Rev. P02; 1214-E2-0150 Rev. P02; 1214-E2-0151 Rev. P02; Design, Access and Heritage Statement dated March 2022

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

1214-E2-0001 Rev. P02; 1214-E2-0010 Rev. P02; 1214-E2-0011 Rev. P02; 1214-E2-0012 Rev. P02; 1214-E2-0013 Rev. P02; 1214-E2-0020 Rev. P02; 1214-E2-0021 Rev. P02; 1214-E2-0030 Rev. P02; 1214-E2-0031 Rev. P02; 1214-E2-0032 Rev. P02; 1214-E2-0050 Rev. P02; 1214-E2-0100 Rev. P02; 1214-E2-0111 Rev. P02; 1214-E2-0112 Rev. P02; 1214-E2-0113 Rev. P02; 1214-E2-0120 Rev. P02; 1214-E2-0121 Rev. P02; 1214-E2-0130 Rev. P02; 1214-E2-0131 Rev. P02; 1214-E2-0132 Rev. P02; 1214-E2-0150 Rev. P02; 1214-E2-0150 Rev. P02; 1214-E2-0151 Rev. P02; Design, Access and Heritage Statement dated March 2022

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- a detailed scheme of maintenance
 - sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 The use of the roof of the rear extension as a terrace shall not commence until the screen, as shown on the approved drawings, has been constructed. The screen shall be permanently retained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies A1 and D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer