

ENDEAVOUR HOUSE

THIRDWAY



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EXECUTIVE SUMMARY

This Design & Access Statement presents the proposal for the minor works to 189 Shaftesbury Ave, London WC2H 8JR, as part of an internal refurbishment on the ground floor reception area to improve the overall look and feel offering and deliver high quality space for visitors and tenants to meet and work in.

The proposal explored within this document has taken into account a number of contexts and considerations, and will ensure modifications are in-keeping with the original building and wider conservation are with interventions limited through:

- A proposed over-cladding of the existing entrance facade with Equitone.
- New entrance automatic sliding doors.
- Adding exterior building signage.

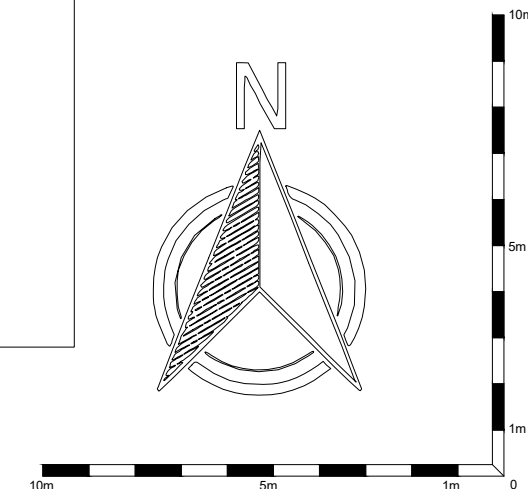
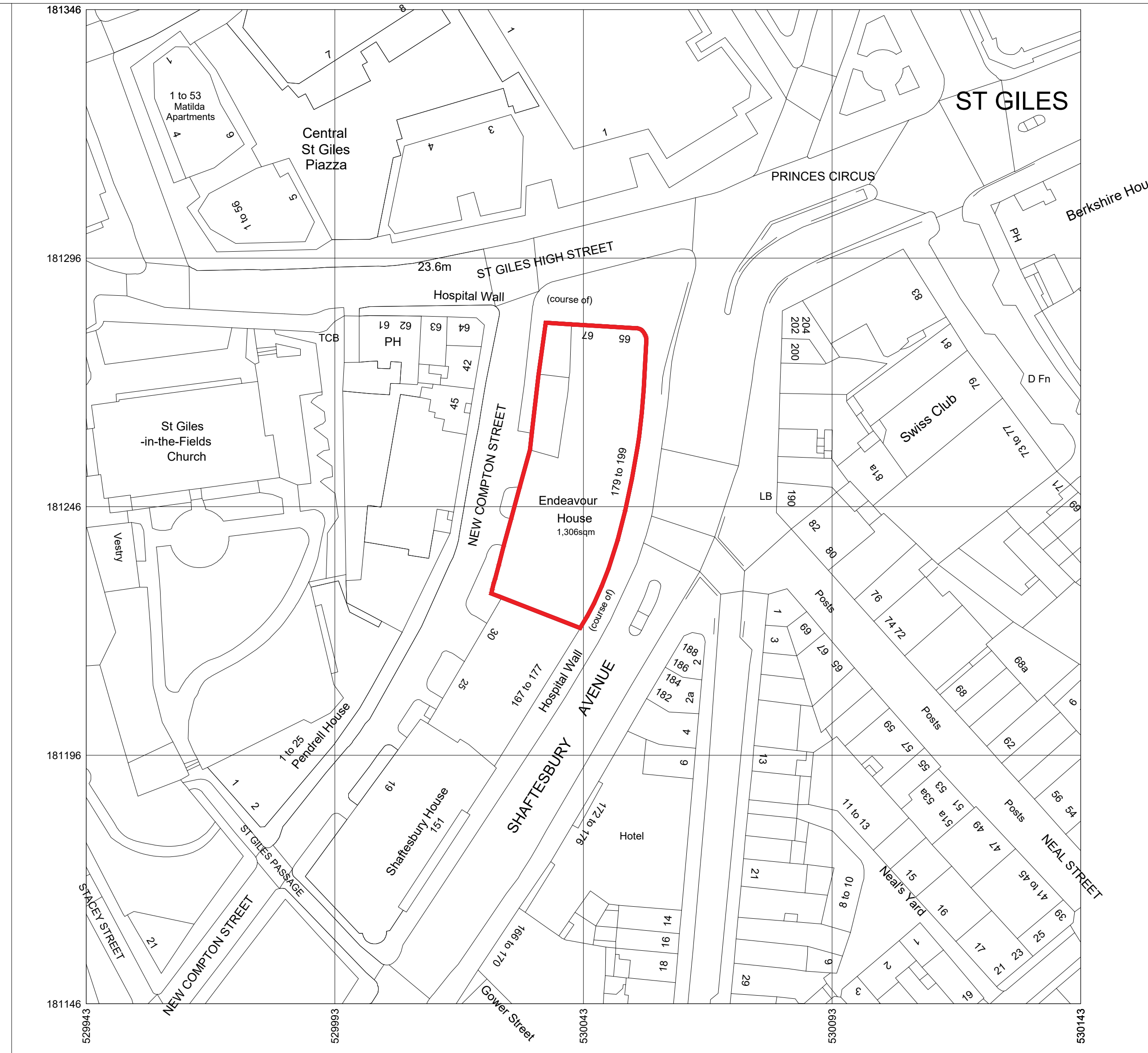
This document sets out these proposals as part of the wider improvements and demonstrates the positive effect they will have on the regeneration of the existing building and its facade.



SITE LOCATION PLAN

CONTEXT

Site area: 1,306 sqm

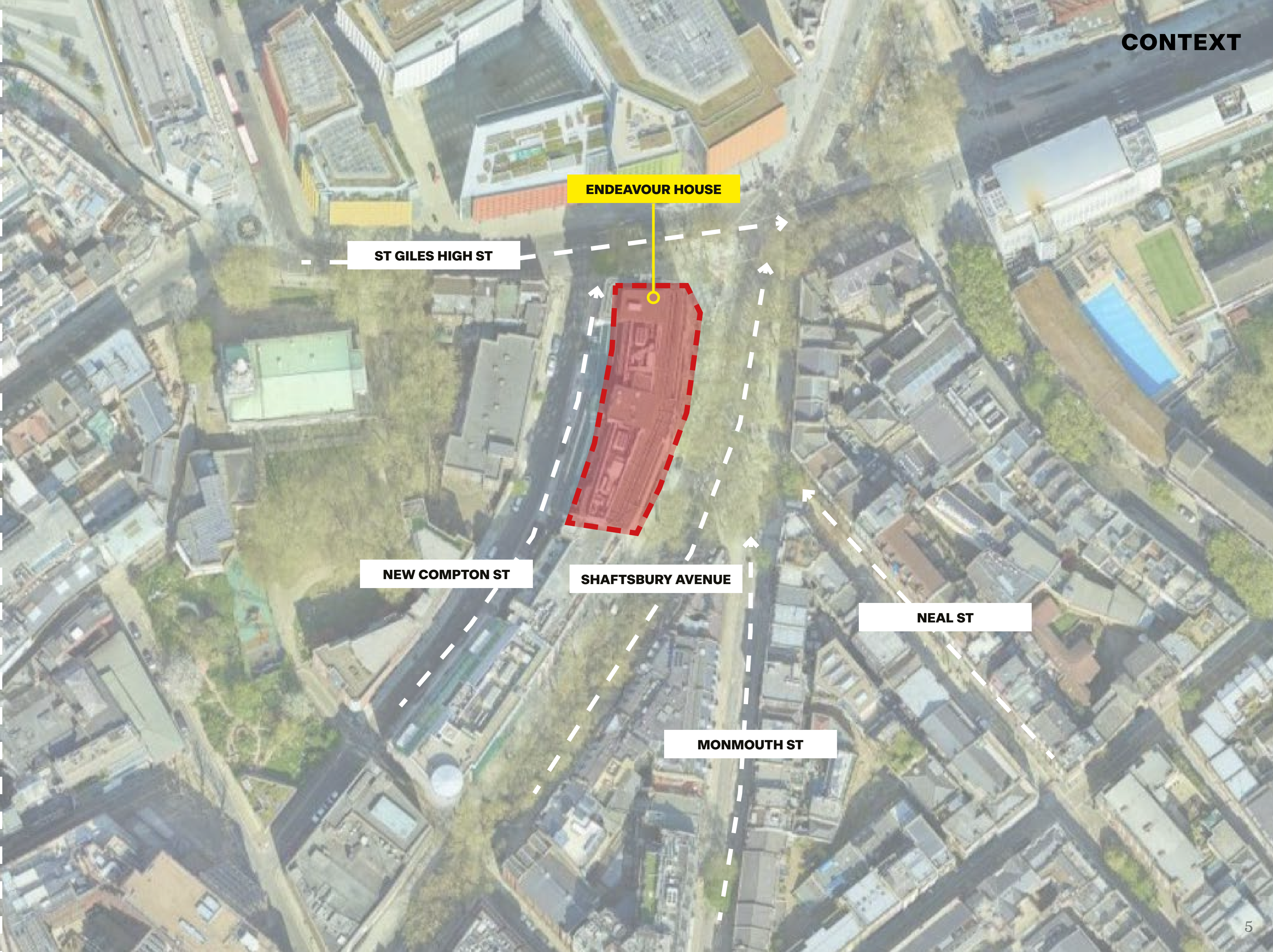


Produced on 16 November 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.
This map shows the area bounded by 529943 181146,530143 181146,530143 181346,529943 181346,529943 181146
Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey.
Crown copyright 2021. Supplied by copla ltd trading as UKPlanningMaps.com a licensed Ordnance Survey partner (100054135).
Data licence expires 16 November 2022. Unique plan reference: v4d/17/6715/969783

SITE CONTEXT

Shaftesbury Avenue is a major street in the West End of London, running north easterly from Piccadilly Circus to New Oxford Street. It is located in the local borough of Camden.

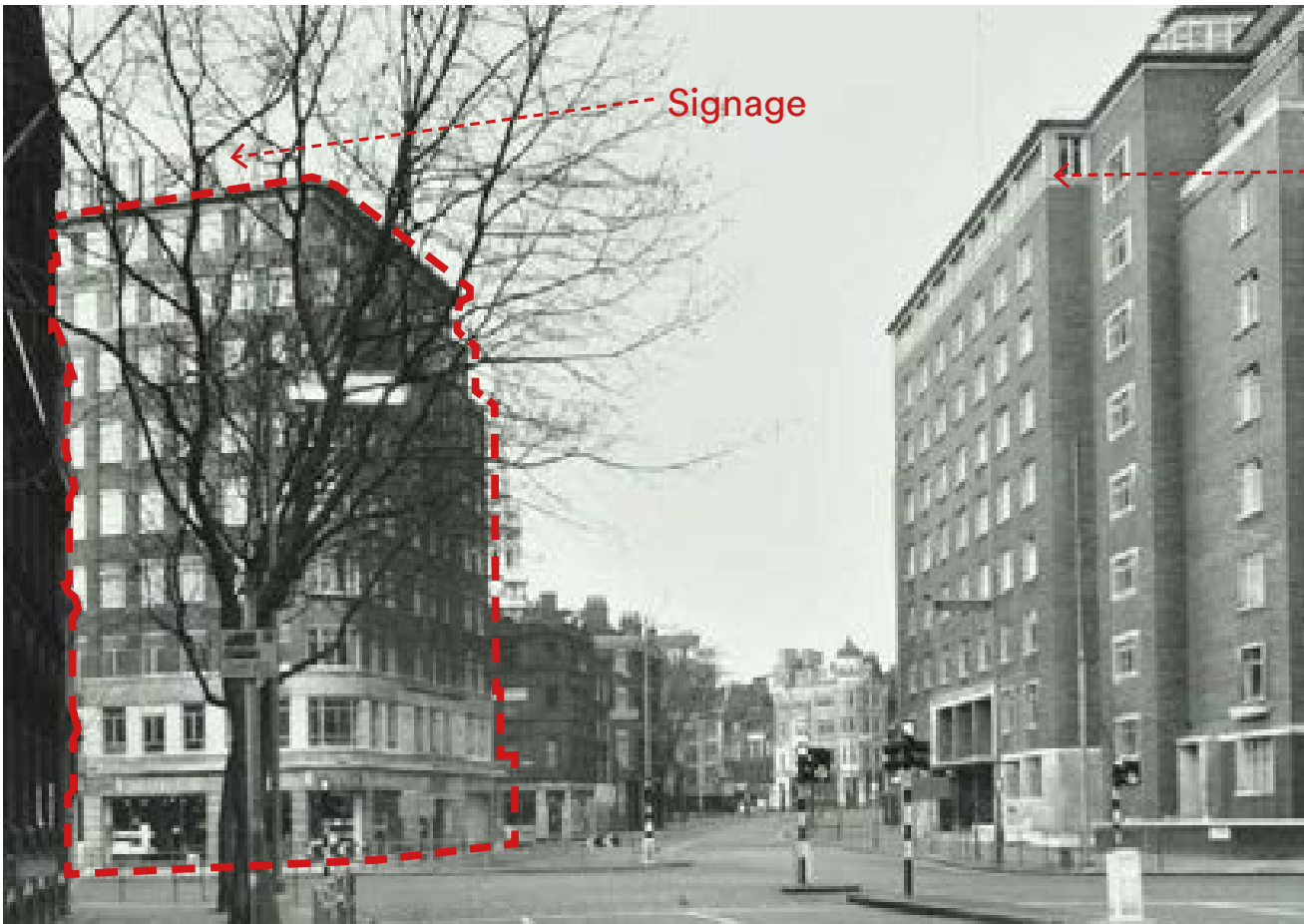
CONTEXT



HISTORICAL CONTEXT

Century (Endeavour) House had been Philips Lamps Limited office building from 1940 to 1979. The ground floor was used as computer rooms and offices.

In 1978 Philips Industries applied for a change of use of the ground floor computer rooms to retail showroom space. The historical images show how the now mature trees along Shaftesbury Avenue, were once small, less dominant features.



CONTEXT



Endeavour House (or Century House) in 1955. Shaftesbury Avenue

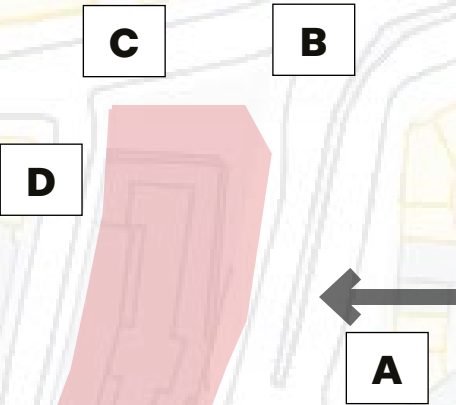


EXISTING BUILDING

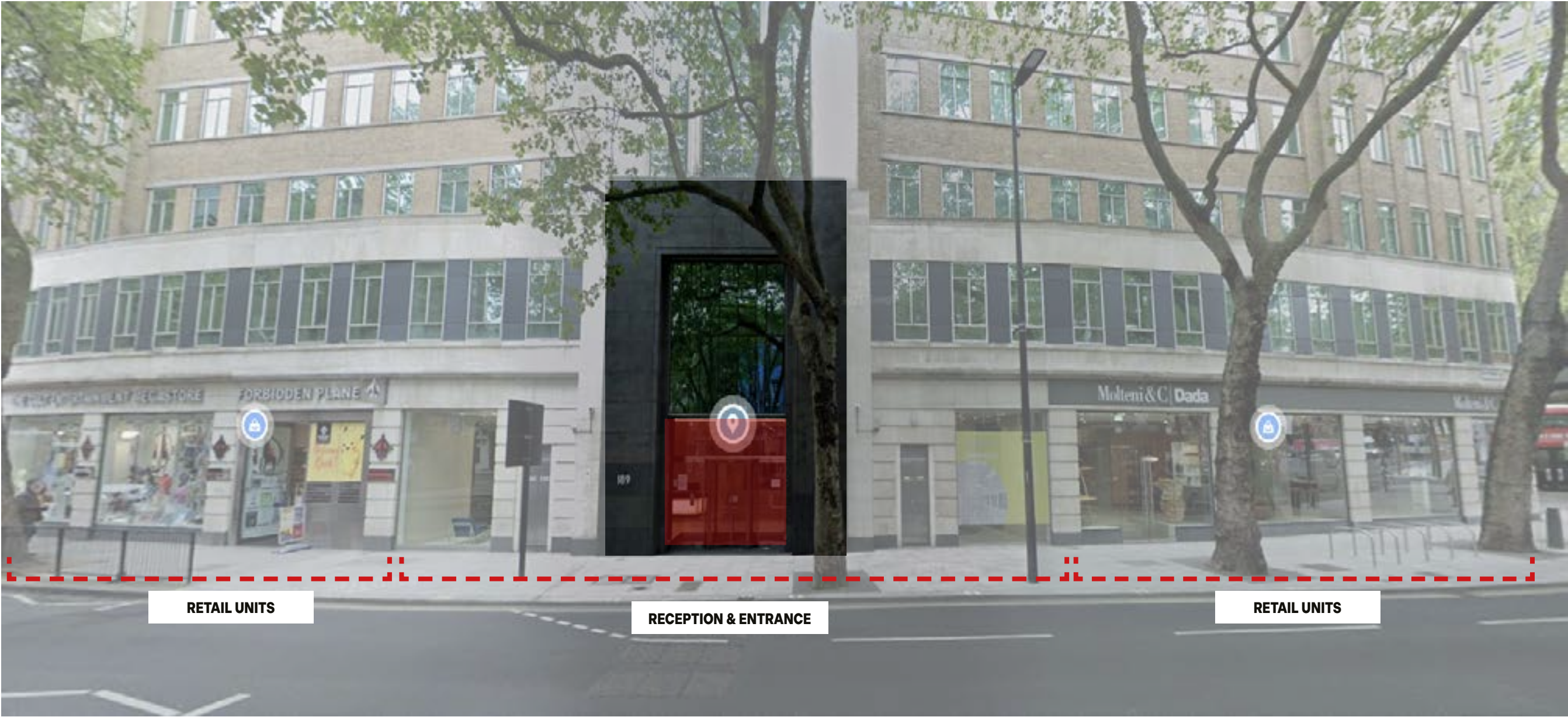
Endeavour House is located on a busy street full of a mixture of retail, restaurants and commercial buildings and served by various means of transport.

The building itself has the following features:

- Materials predominately brick, glass and stone
- Dense trees block the view to upper levels from the street
- Building has both retail and commercial units/ space.
- Entrance to commercial reception sits in between retail units



CONTEXT



A - View from Shaftesbury Avenue



B - View from between Shaftesbury Avenue & St Giles High St



C -View from St Giles High Street



D -View from New Compton Street

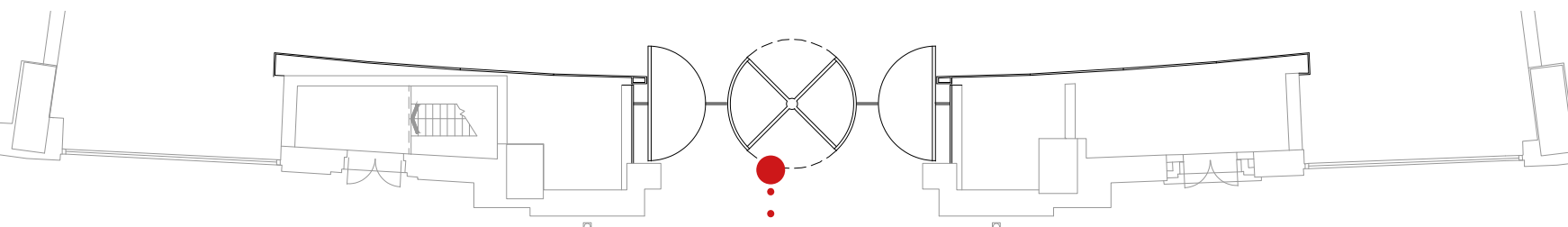


EXTERIOR MODIFICATIONS

PROPOSED DESIGN

The proposed design consists of refreshing the face of the reception entrance area. The proposed design allows us to keep the same language of the general building aesthetic. Apart from a new entrance, the rest of the facade will be untouched.

- 1 Existing stone building exterior
- 2 Proposed Equitone cladding of the existing dark stone
- 3 Proposed new signage on a panel
- 4 Proposed new address signage on both sides of the entrance
- 5 Proposed new automatic sliding entrance doors
- 6 Existing light fittings to be replaced with new



EXISTING ENTRANCE PLAN

Existing pavement lights
The existing entrance to the building is via a revolving drum door with supporting secondary entrances.

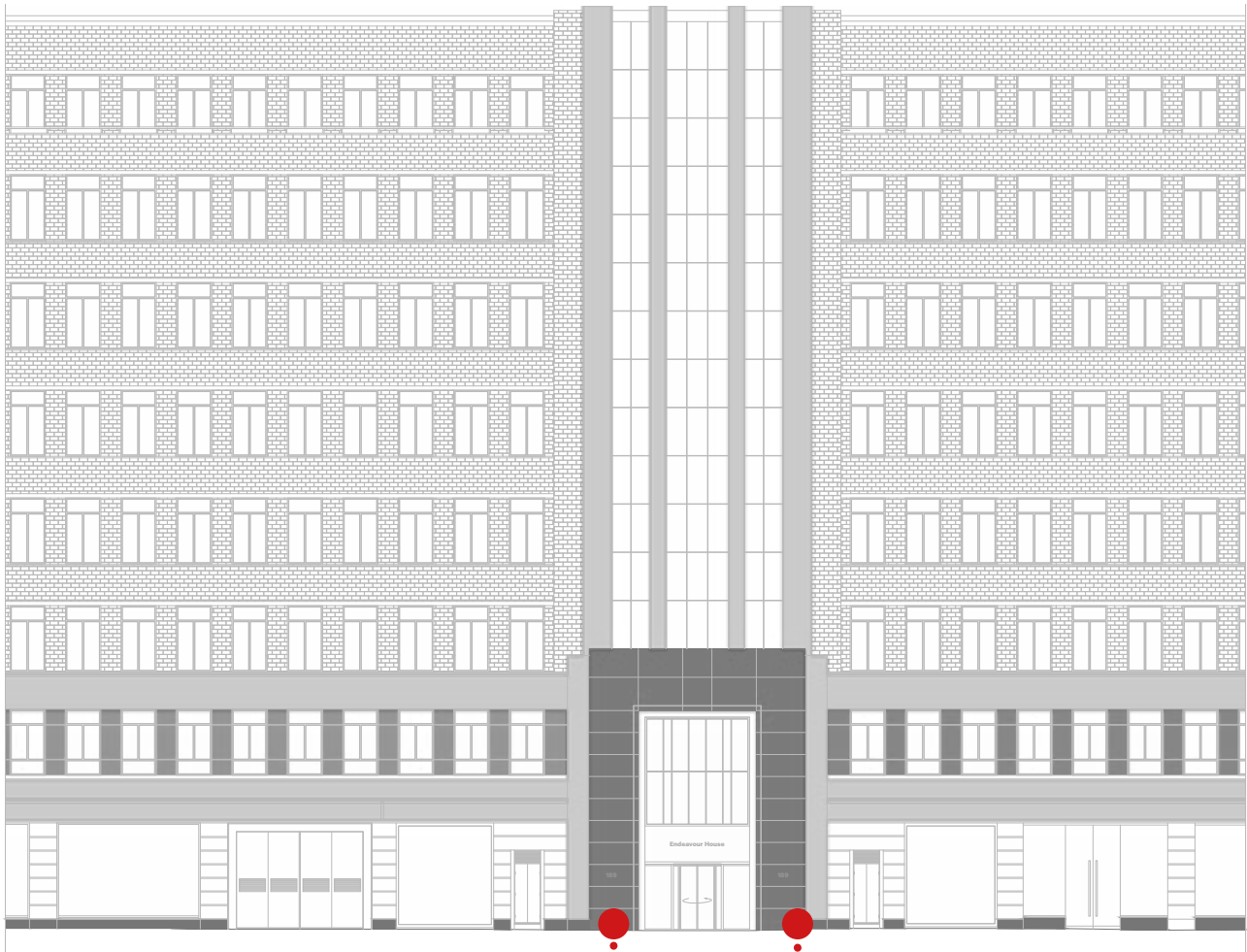
EXISTING LIGHT



PROPOSED NEW LIGHT

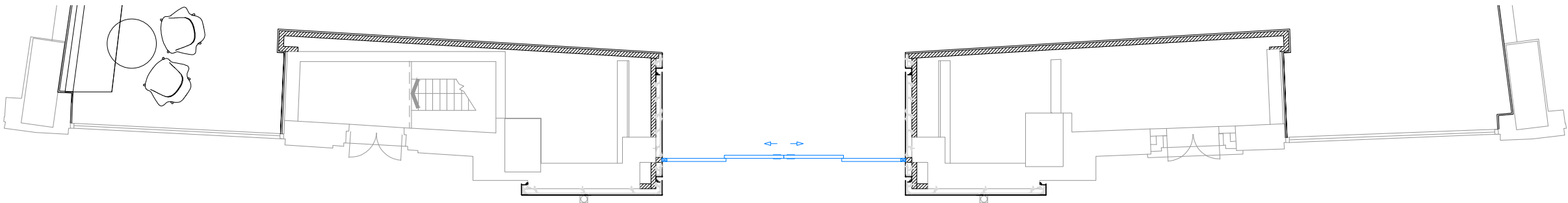


Existing light fitting on street level to be replaced with new fittings, maintaining their original positioning



EXISTING ELEVATION

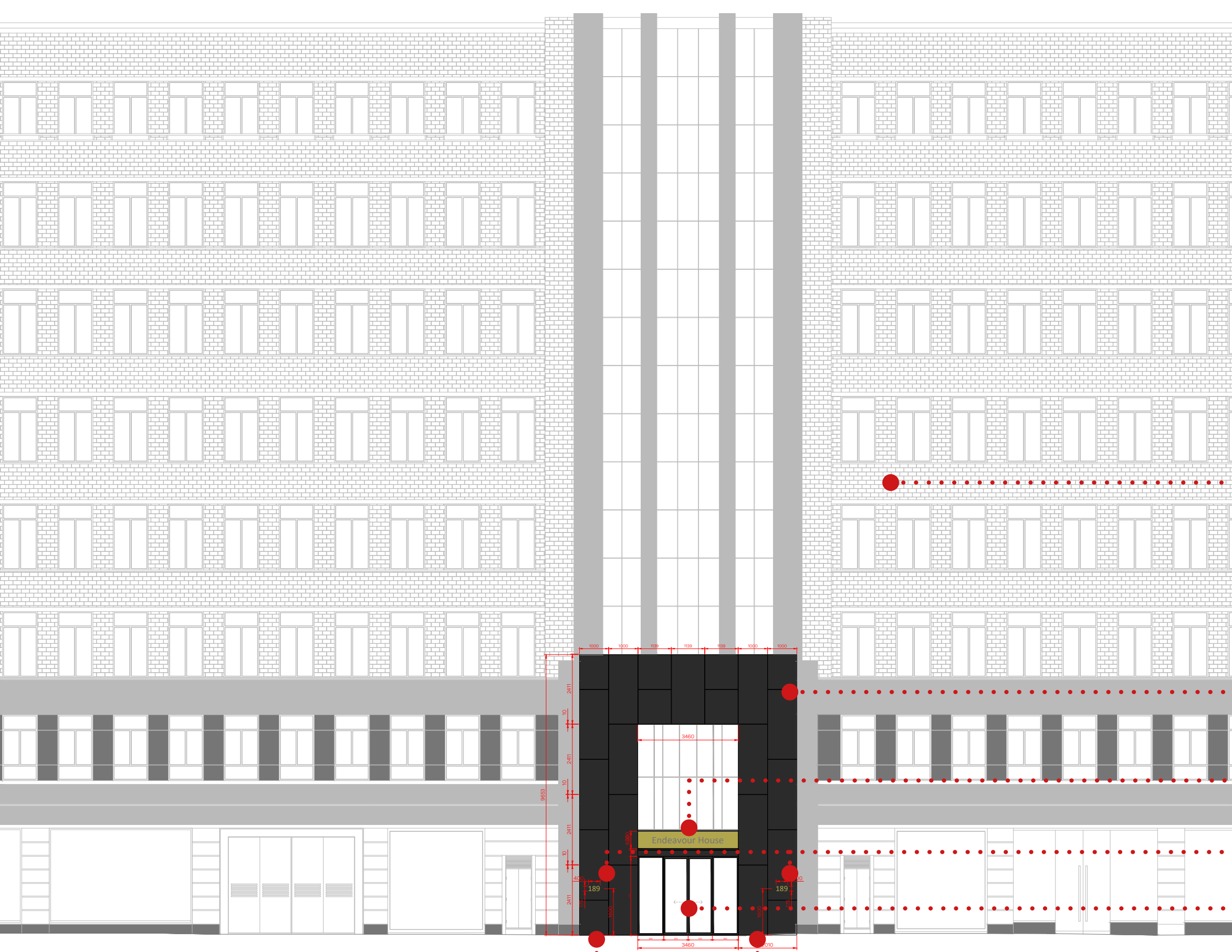
EXTERIOR MODIFICATIONS



PROPOSED ENTRANCE PLAN

The proposed plan shows the new sliding entrance doors being bought forward to align with second floor glazing & boundary line.

Existing pavement light boundary remains untouched



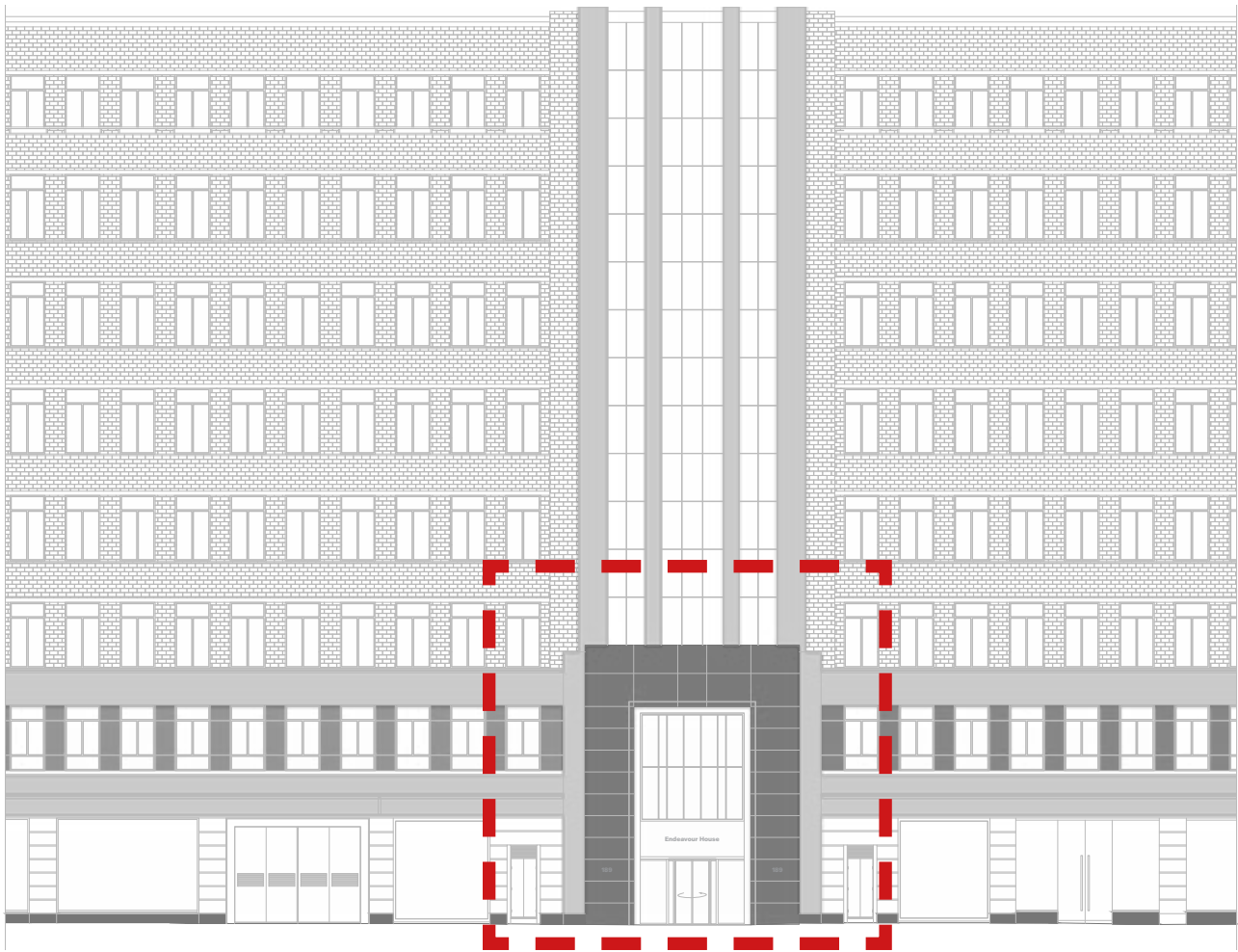
PROPOSED ELEVATION

SIGNAGE & LIGHTING

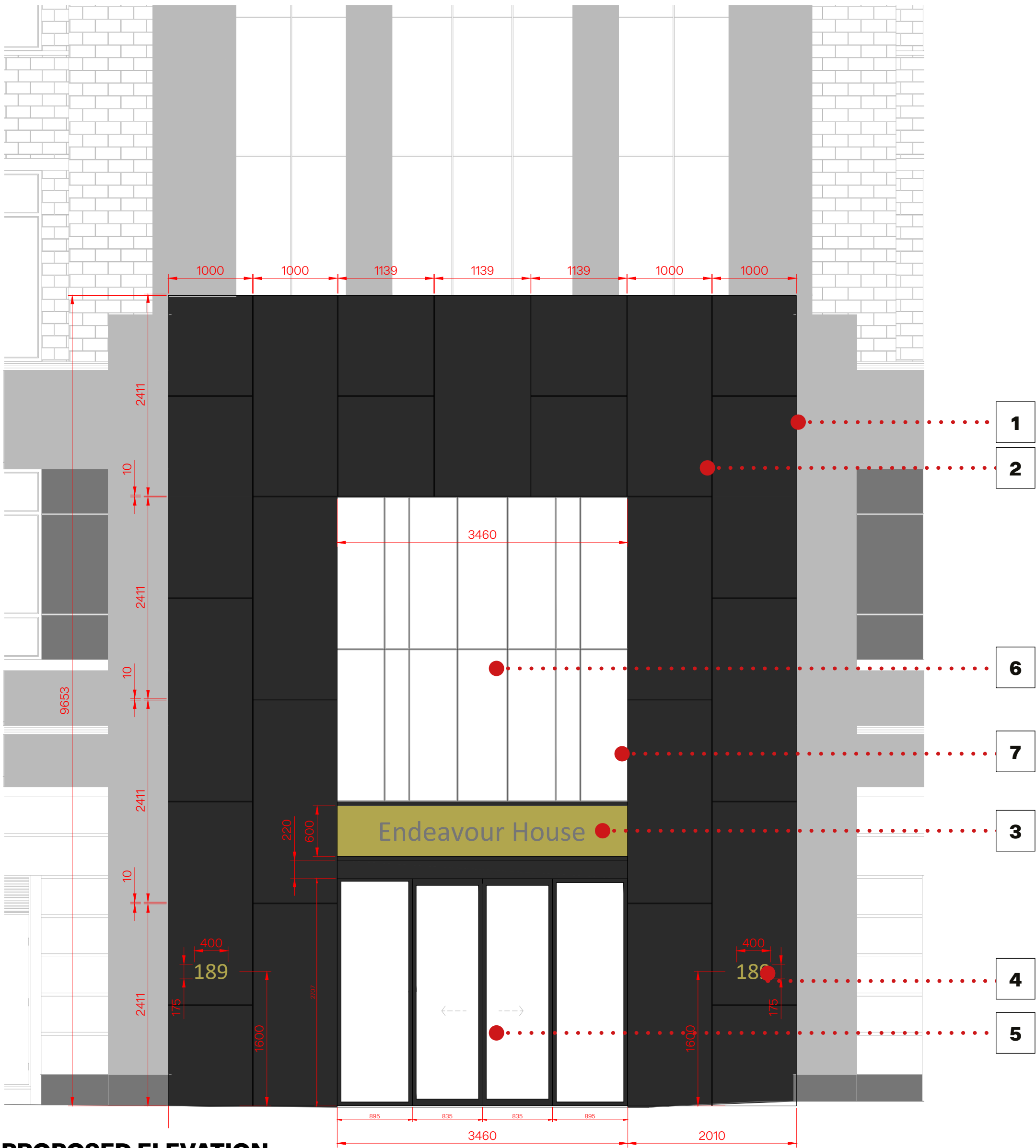
The proposed design consists of refreshing the face of the reception entrance area, allowing us to keep the same language of the general building aesthetic, whilst creating a more celebrated entrance.

- 1 LED lighting* proposed mounted to back of Equitone cladding, reflecting on existing stone
- 2 Proposed Equitone cladding of the existing dark stone
- 3 Proposed new signage of black acrylic 3D letters backlit on a brass brushed panel. LED lighting detail above panel/ underside of windows
- 4 Proposed new brushed brass 3D signage of the building number on one side of the Equitone cladding
- 5 Proposed new automatic sliding entrance doors
- 6 Existing glazing untouched
- 7 Proposed Exterior lighting strip recessed into cladding

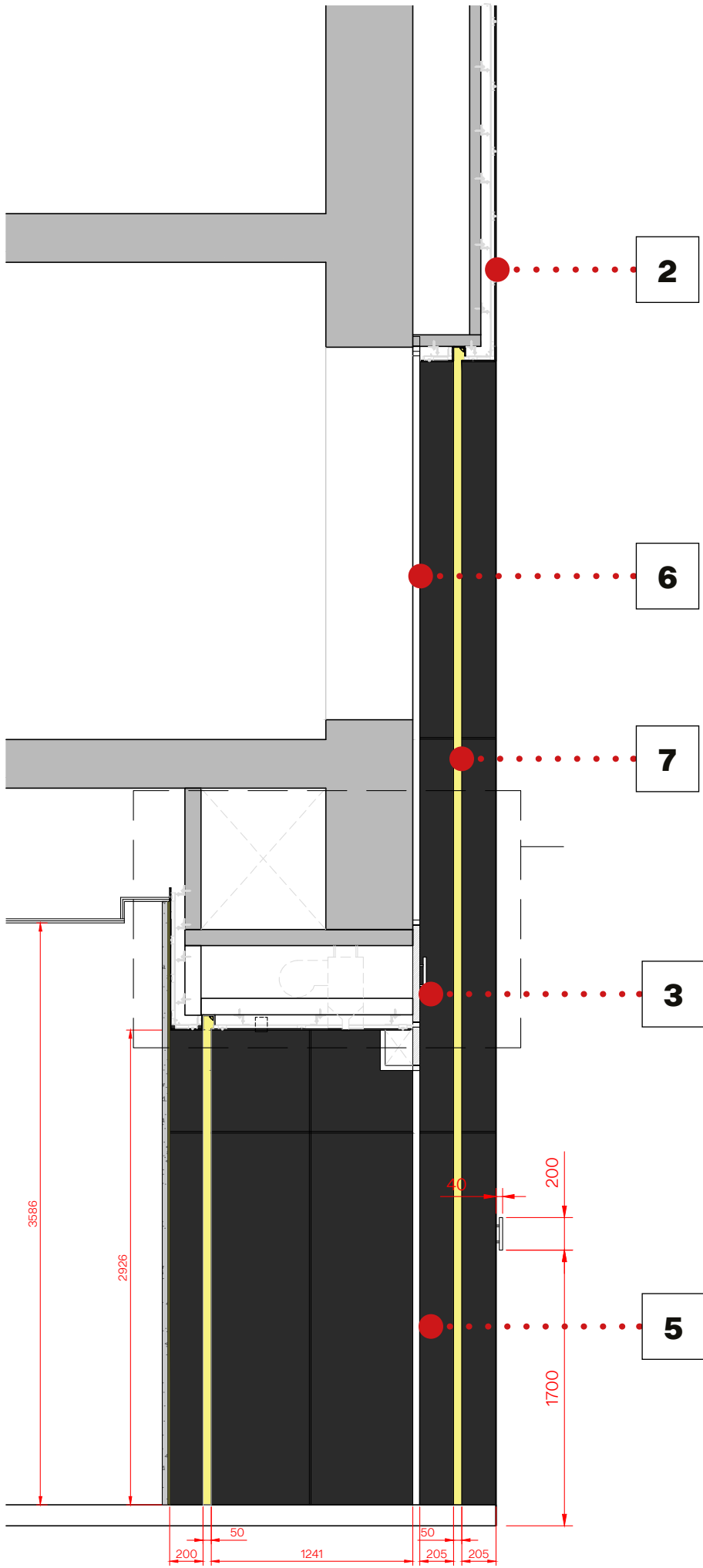
*See Appendix 04 & 05 for illumination levels



EXISTING ELEVATION



EXTERIOR MODIFICATIONS



MATERIALITY



EXTERIOR MODIFICATIONS

- 1** Equitone cladding laid in staggered, vertical brick-bond formation as per design
- 2** Signage on building facade - black acrylic 3D lettering & brass 3D building number
- 3** Brass panel above sliding doors with 'Endeavour House' letters mounted
- 4** Glazed sliding doors with black frame
- 5** Feature brass panel



EXTERIOR VISUALS

EXTERIOR MODIFICATIONS



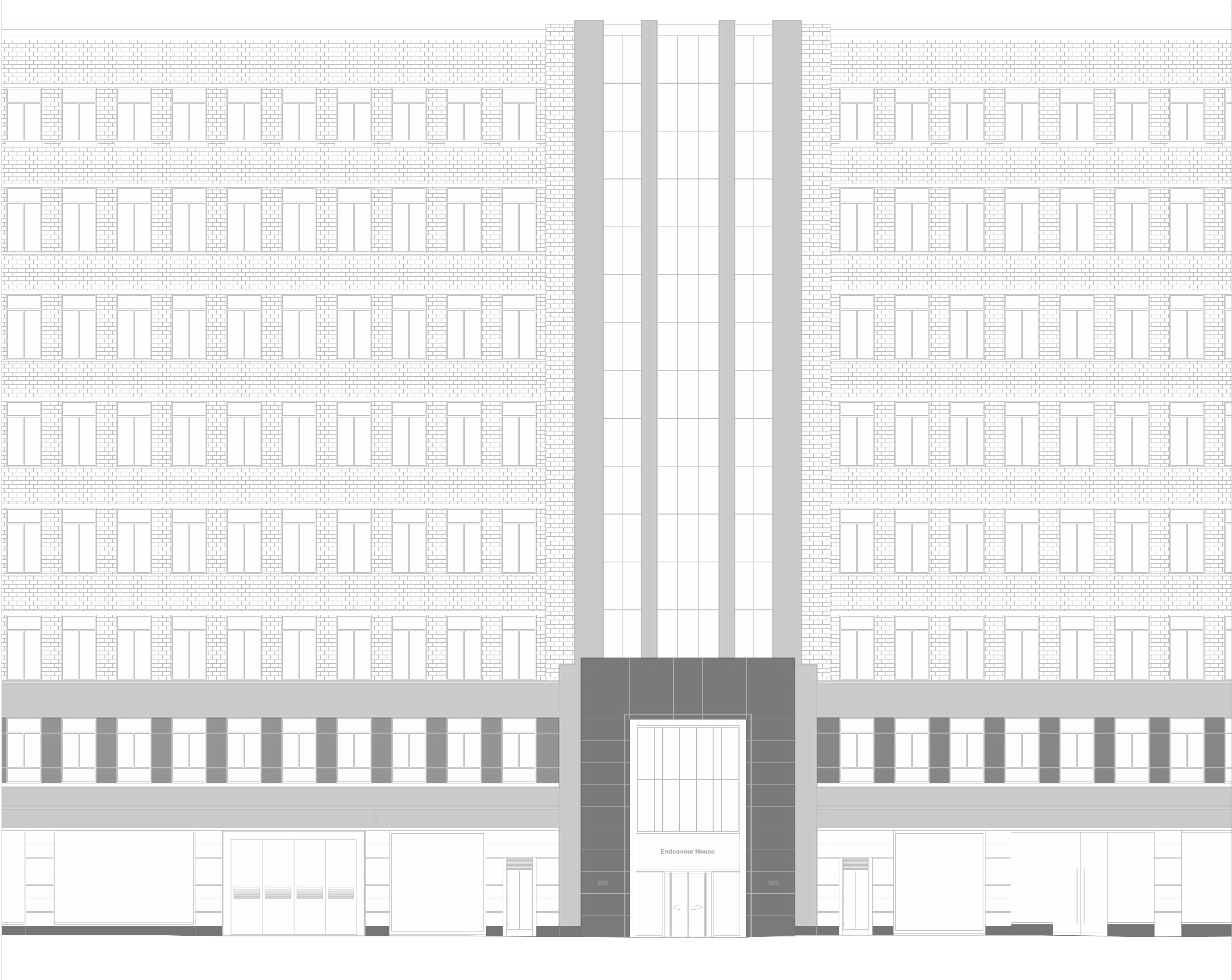
EXTERIOR VISUALS

EXTERIOR MODIFICATIONS



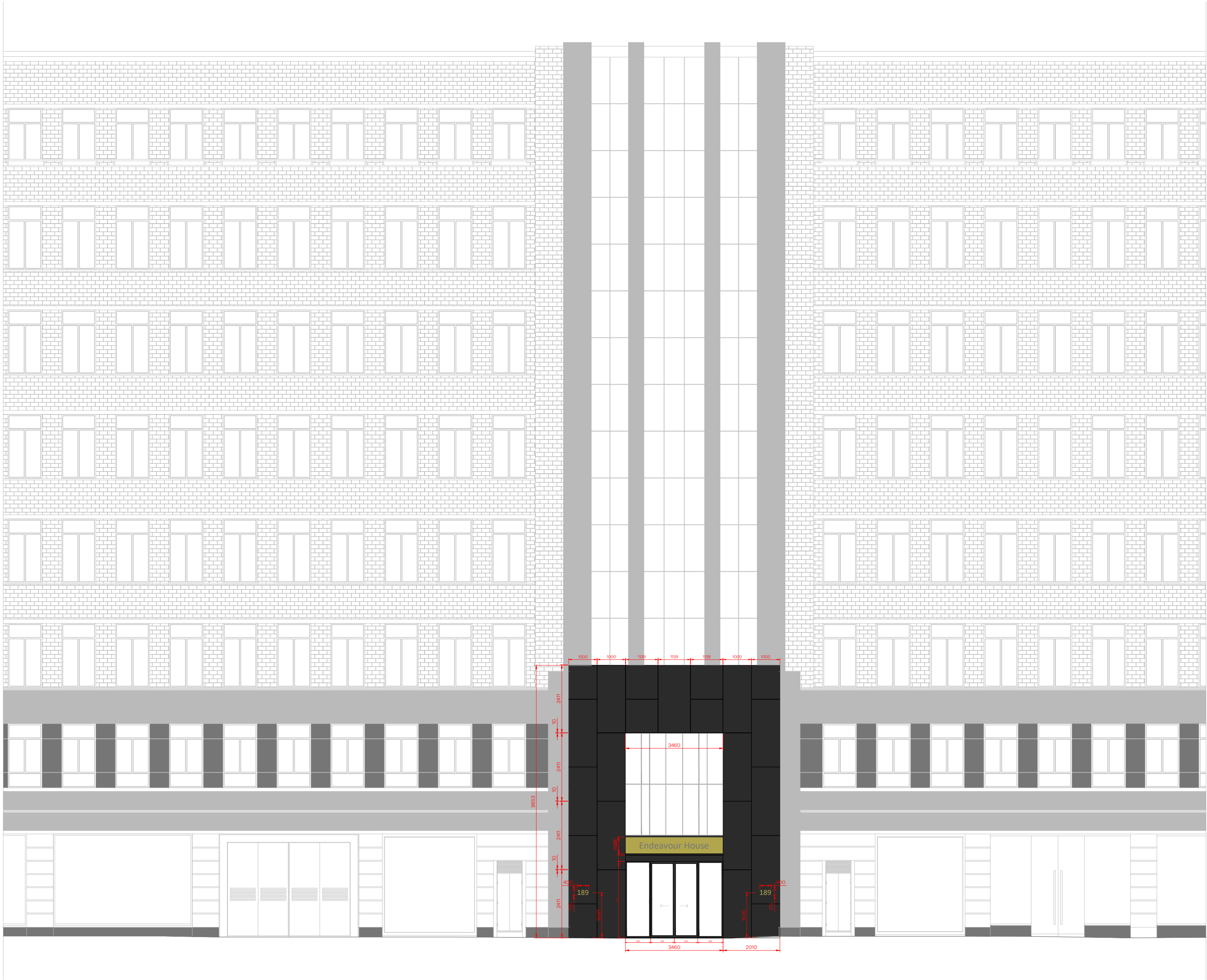


APPENDIX



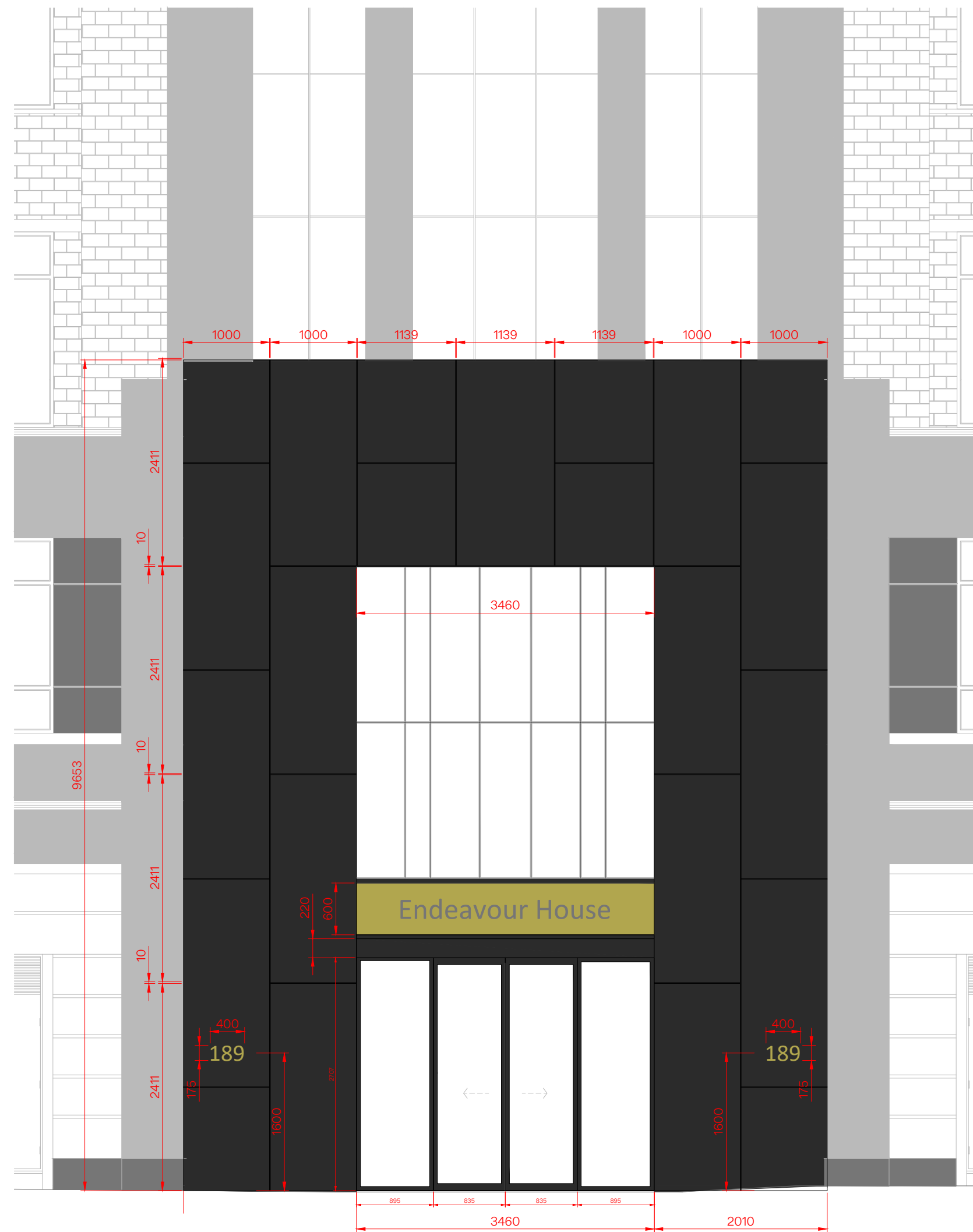
02 FRONT ELEVATION - EXISTING
Scale: 1:100@A1



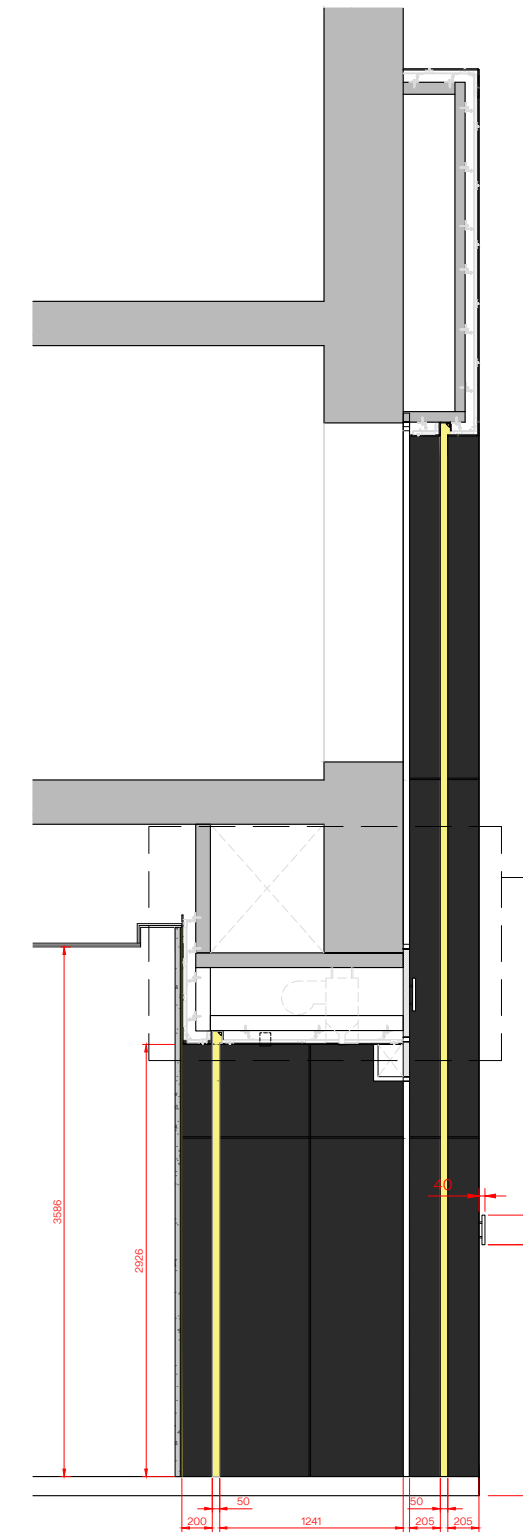


02 FRONT ELEVATION - PROPOSED
Scale: 1:100@A1

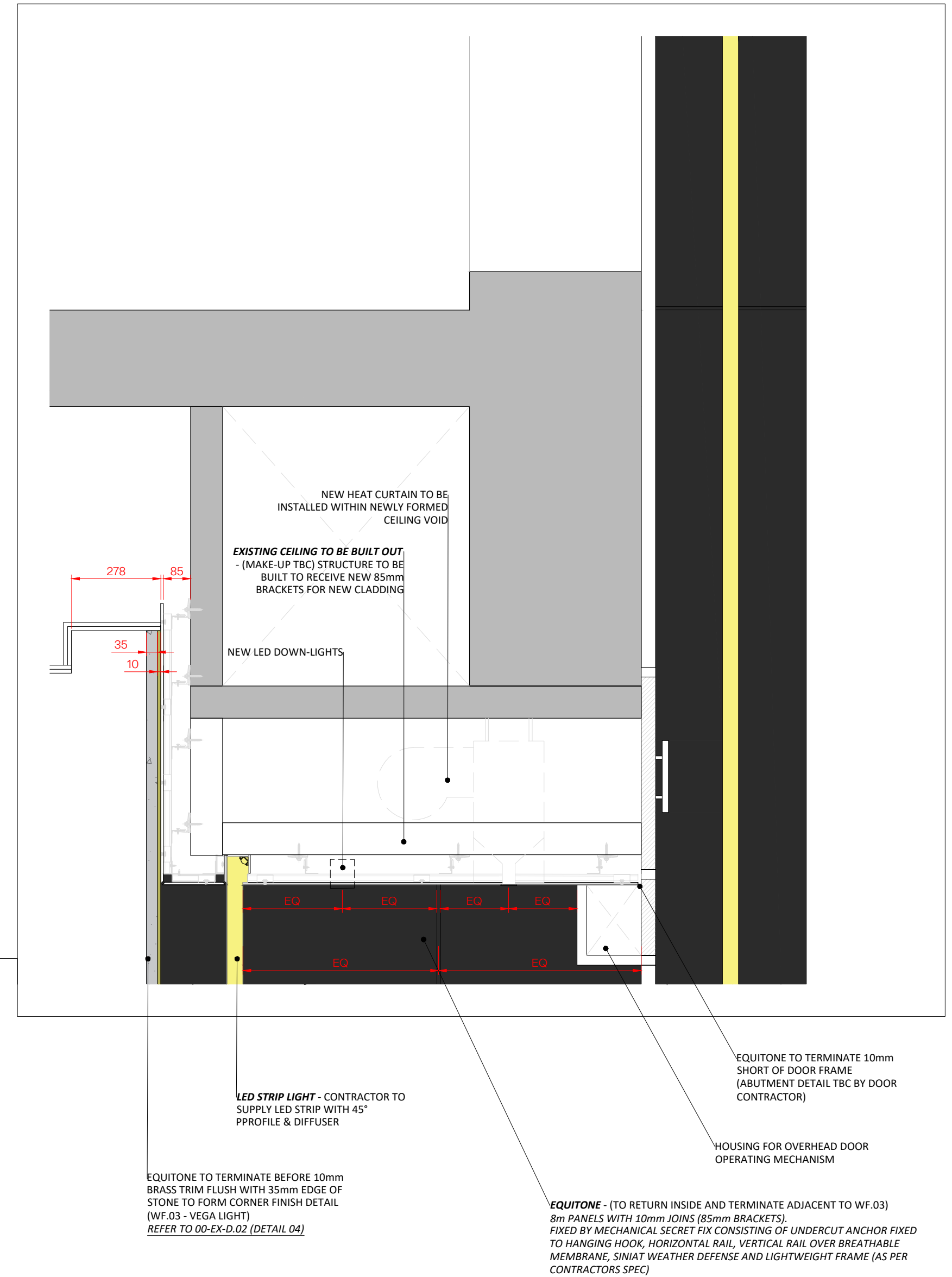




02 FRONT ELEVATION - PROPOSED
Scale: 1:40@A1



03 FRONT ENTRANCE - SIDE SECTION
Scale: 1:40@A1



Object : Main Entrance
Installation : Endeavor House
Project number :
Date : 28.01.2022



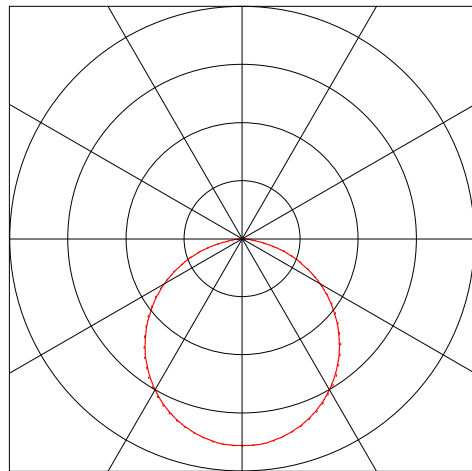
1 Luminaire data
1.1 Orlight, LF-TOP-4000K (LF-TOP-4000K)
1.1.1 Data sheet

Manufacturer: Orlight

LF-TOP-4000K LF-TOP-4000K

Luminaire data		Equipped with	
Luminaire efficiency	: 100%	Quantity	: 1
Luminaire efficacy	: 39.17 lm/W	Designation	: LED
Classification	: A40 ↓100.0% ↑0.0%	Colour	: 4000
CIE Flux Codes	: 48 80 97 100 100	Luminous flux	: 470 lm
UGR 4H 8H	: 24.8 / 24.8	Colour reproduction	: 70
Power	: 12 W		
Luminous flux	: 470 lm		

Dimensions : 1000 mm x 12 mm x 21 mm



Object : Main Entrance
Installation : Endeavor House
Project number :
Date : 28.01.2022



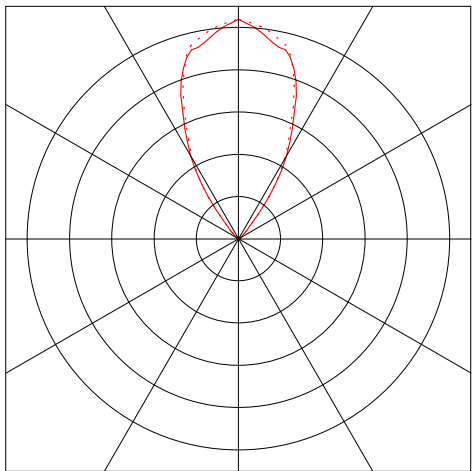
1 Luminaire data
1.2 Delta Light NV, LOGIC 93055 (213 4x 811 933)
1.2.1 Data sheet

Manufacturer: Delta Light NV

213 4x 811 933 LOGIC 93055

Luminaire data		Equipped with	
Luminaire efficiency	: 87.5%	Quantity	: 1
Luminaire efficacy	: 84.66 lm/W	Designation	: LED ARRAY
Classification	: E04 ↓0.0% ↑100.0%	Colour	: 3000
CIE Flux Codes	: 0 0 0 0 87	Luminous flux	: 774 lm
UGR 4H 8H	: - / -	Colour reproduction	: 90
Power	: 8 W		
Luminous flux	: 677.3 lm		

Dimensions : Ø91 mm x 1 mm



Object : Main Entrance
Installation : Endeavor House
Project number :
Date : 28.01.2022



2 Room 1

2.1 Calculation results, Room 1

2.1.1 3D luminance (raytracing), Variable view



Luminance in the illustration:
Minimum: : 0 cd/m²
Maximum: : 17300 cd/m²

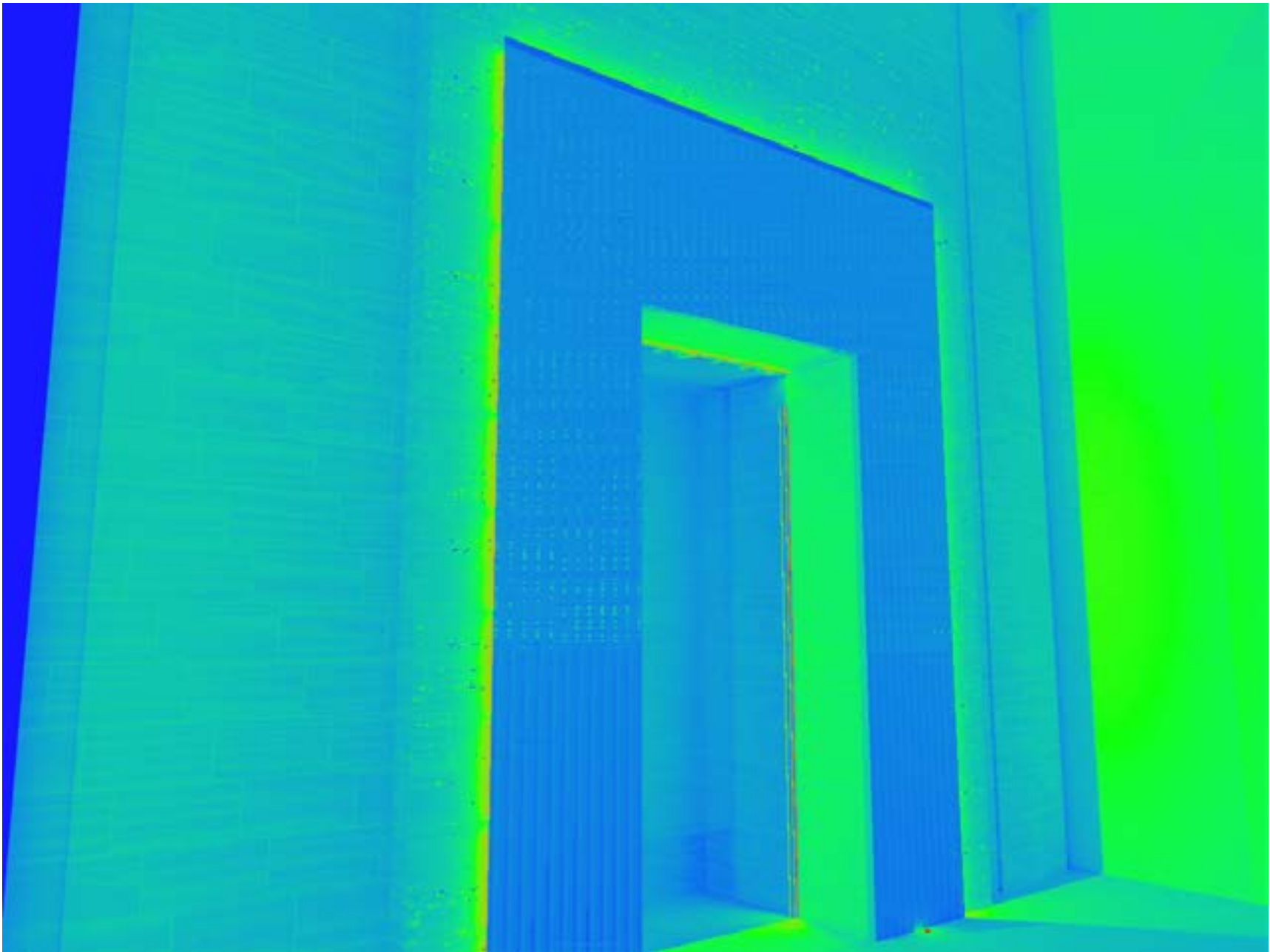
Artificial light calculation : Direct part, with 3 inter-reflections

Object : Main Entrance
Installation : Endeavor House
Project number :
Date : 28.01.2022



2.1 Calculation results, Room 1

2.1.2 3D pseudo colours (raytracing), Variable view (E)



0.10.150.2 0.3 0.50.75 1 1.5 2 3 5 7.5 10 15 20 30 50 75 10015020030050075(1001502003005007500
Luminance [cd/m²]

Luminance in the illustration:
Minimum: : 0 cd/m²
Maximum: : 17300 cd/m²

Artificial light calculation : Direct part, with 3 inter-reflections



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