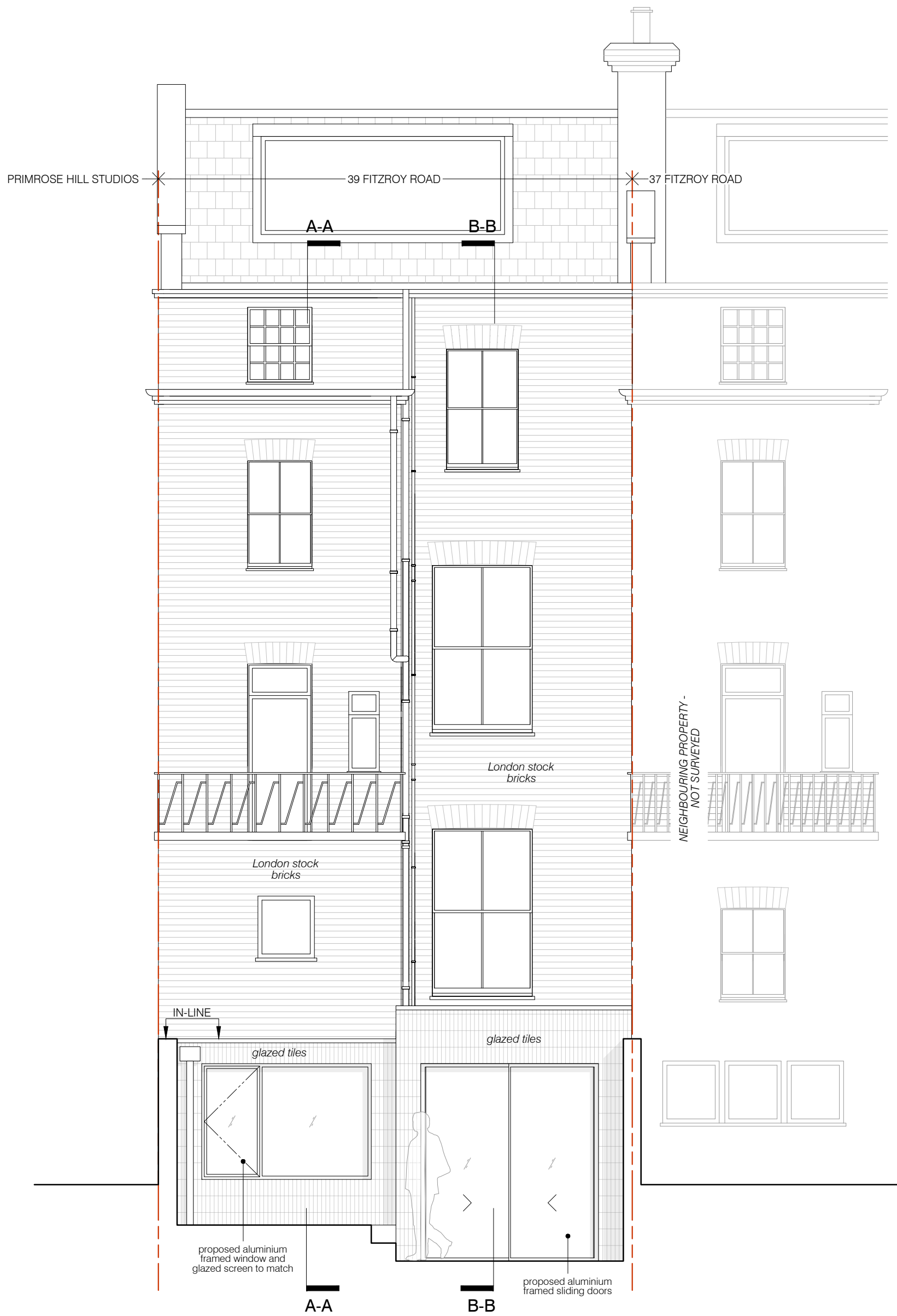


project	39A FITZROY ROAD, LONDON NW1 8TP	REV. B - tree removal	07.04.2022
		REV. A - gen. amendments	11.11.2021
		status / number	scale
		PROPOSED/524-101-P	1:50 @ A2
		drawing	date
		PROPOSED LG & GF FLOOR PLAN	06.07.2021
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01 PROPOSED FRONT ELEVATION
scale 1:50

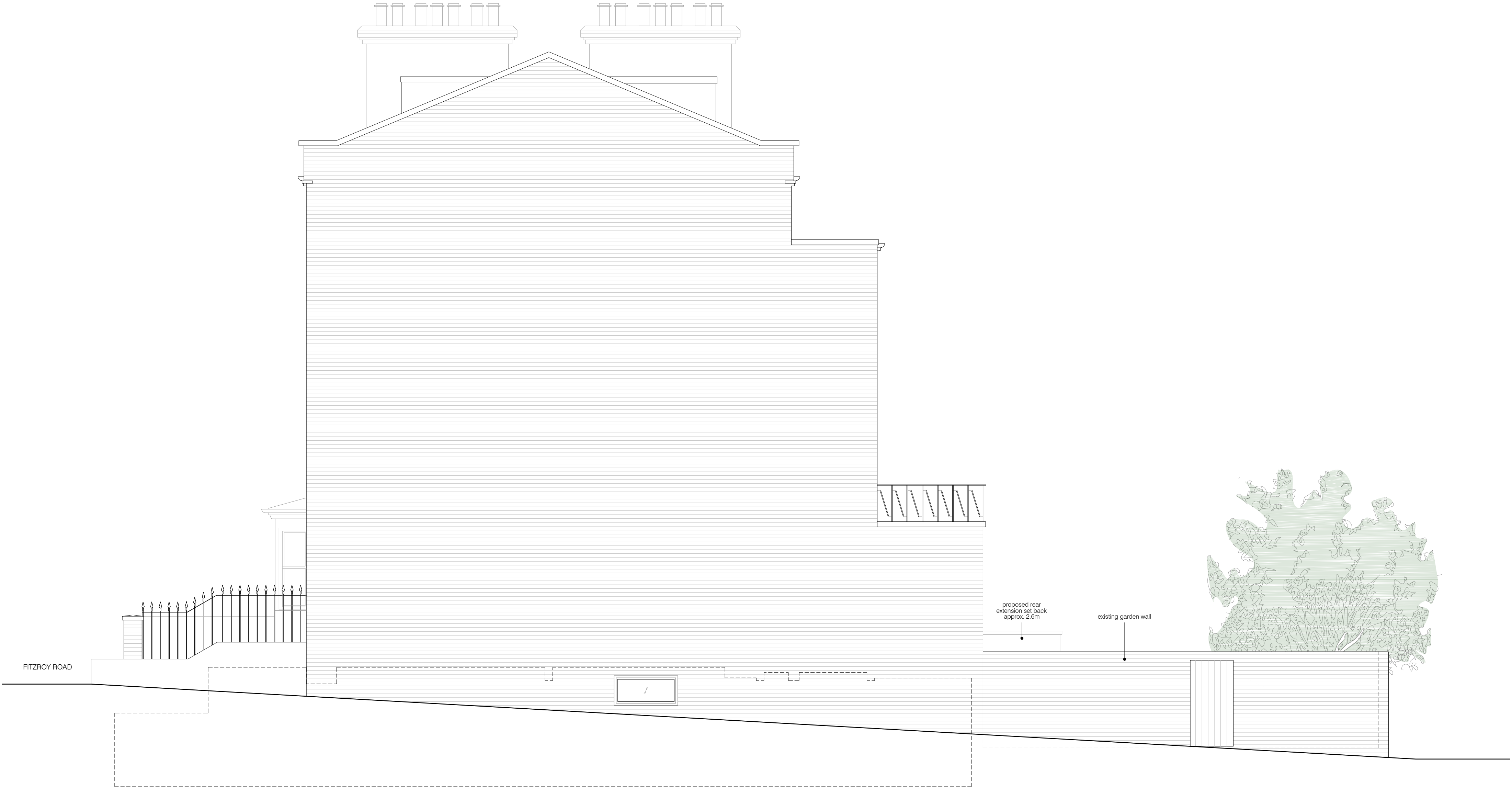


02 PROPOSED REAR ELEVATION
scale 1:50

0 1 2 5m

KEY:
existing walls and partitions
proposed walls and partitions

project	REV. A - gen. amendments	11.11.2021
39A FITZROY ROAD, LONDON NW1 8TP	status / number	scale
	PROPOSED/524-200-P	1:50 @ A2
BRIAN O'REILLY ARCHITECTS	drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184	PROPOSED FRONT & REAR ELEVATION	06.07.2021
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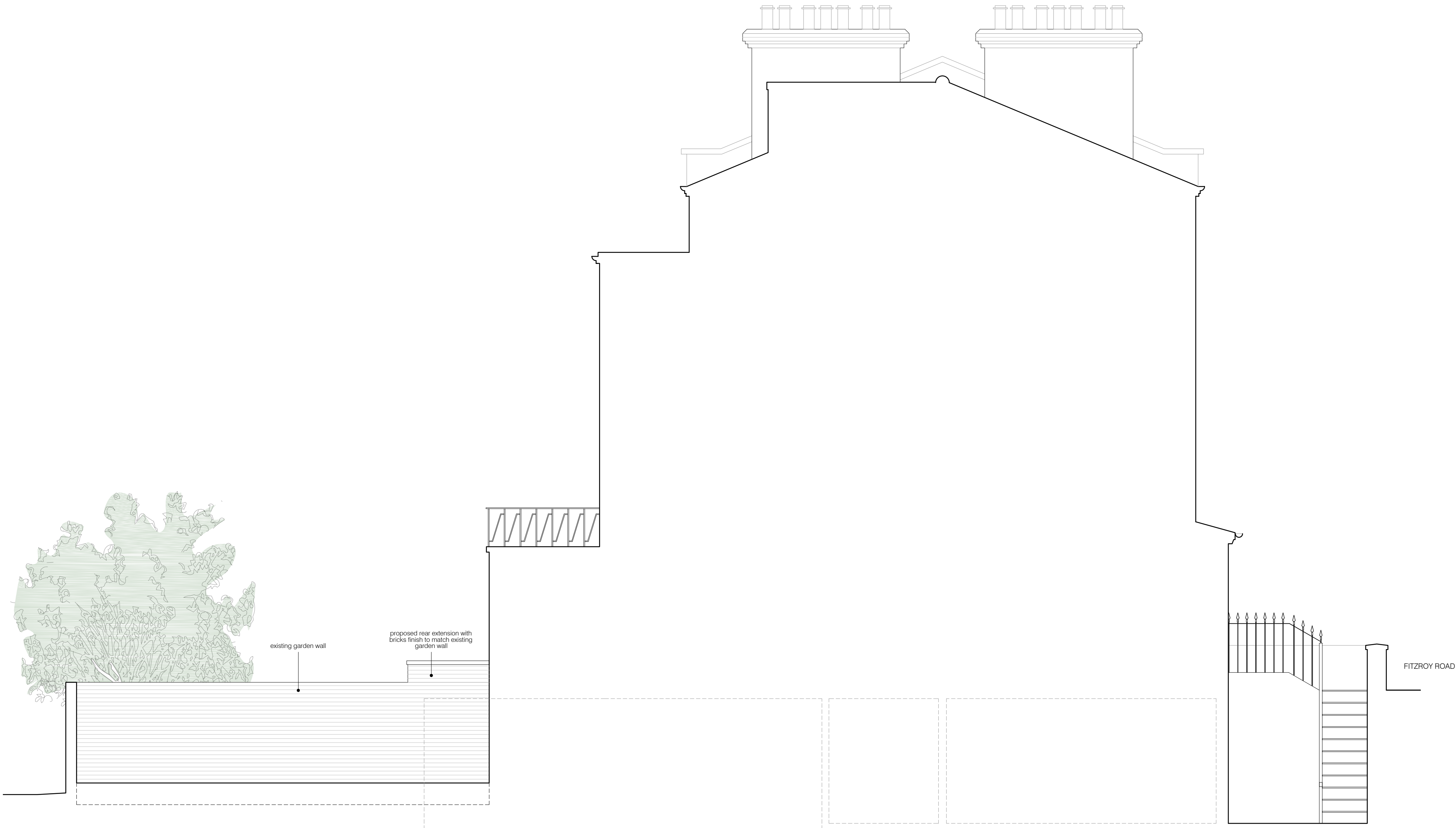


01 PROPOSED SIDE ELEVATION
scale 1:50

0 1 2 5m

project	39A FITZROY ROAD, LONDON NW1 8TP	REV. B - tree removal REV. A - gen. amendments	07.04.2022 11.11.2021
status / number	PROPOSED/524-201-P	scale	1:50 @ A2
drawing	PROPOSED SIDE ELEVATION	date	06.07.2021

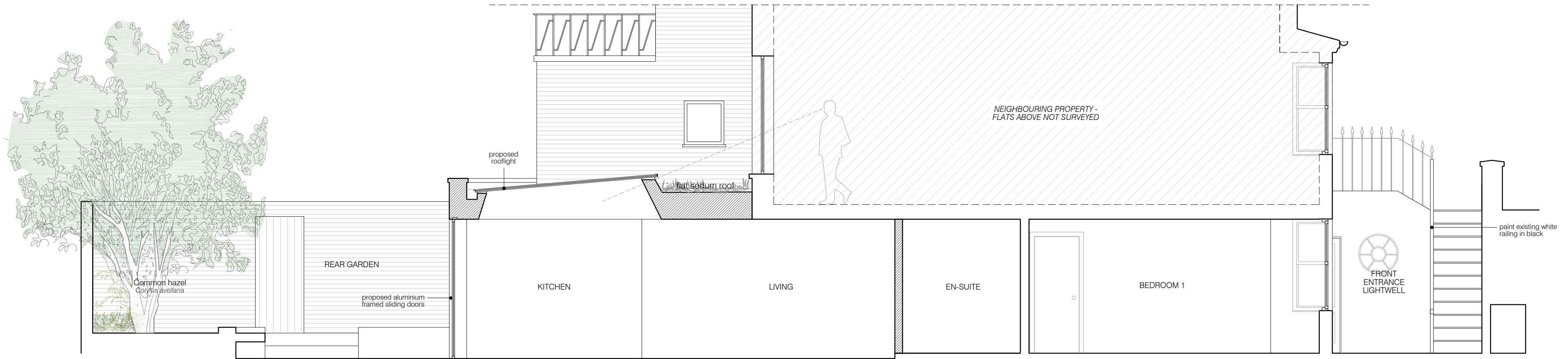
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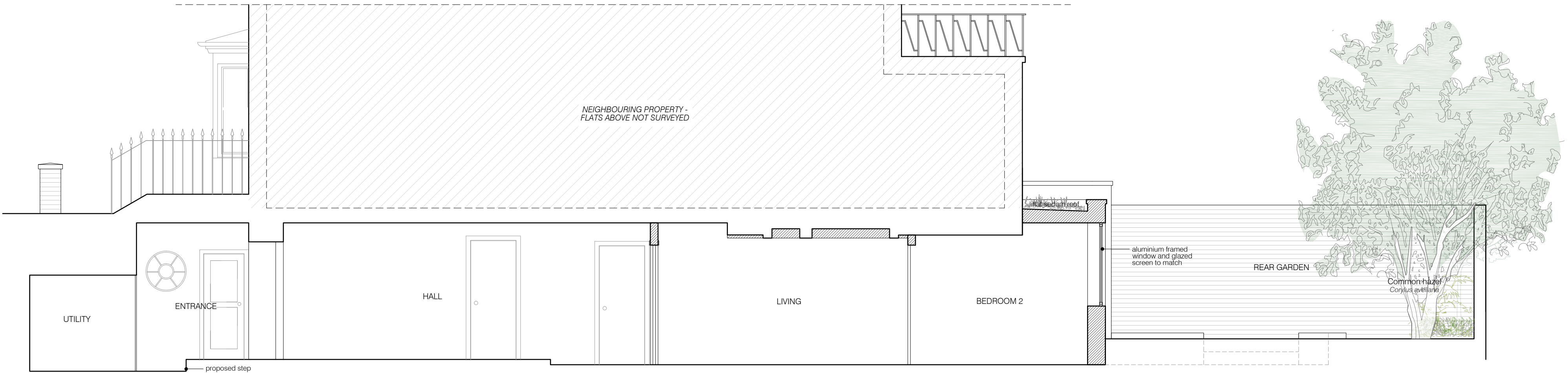
01 PROPOSED SIDE ELEVATION 2 (FROM 37 FITZROY ROAD)
scale 1:50

0 1 2 5m

project	REV. A - tree removal	07.04.2022
39A FITZROY ROAD, LONDON NW1 8TP	status / number	scale
	PROPOSED/524-202-P	1:50 @ A2
BRIAN O'REILLY ARCHITECTS	drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184	PROPOSED SIDE	06.07.2021
www.brianoreillyarchitects.com mail@brianoreillyarchitects.com	ELEVATION 2	



01 PROPOSED SECTION AA
scale 1:50

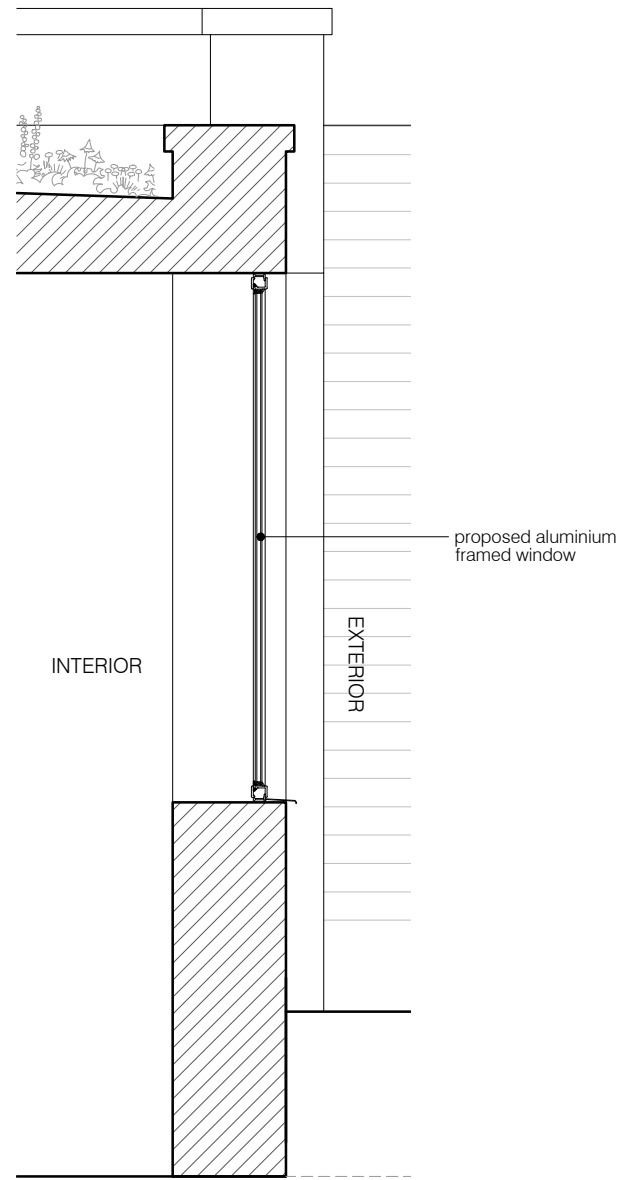


02 PROPOSED SECTION BB
scale 1:50

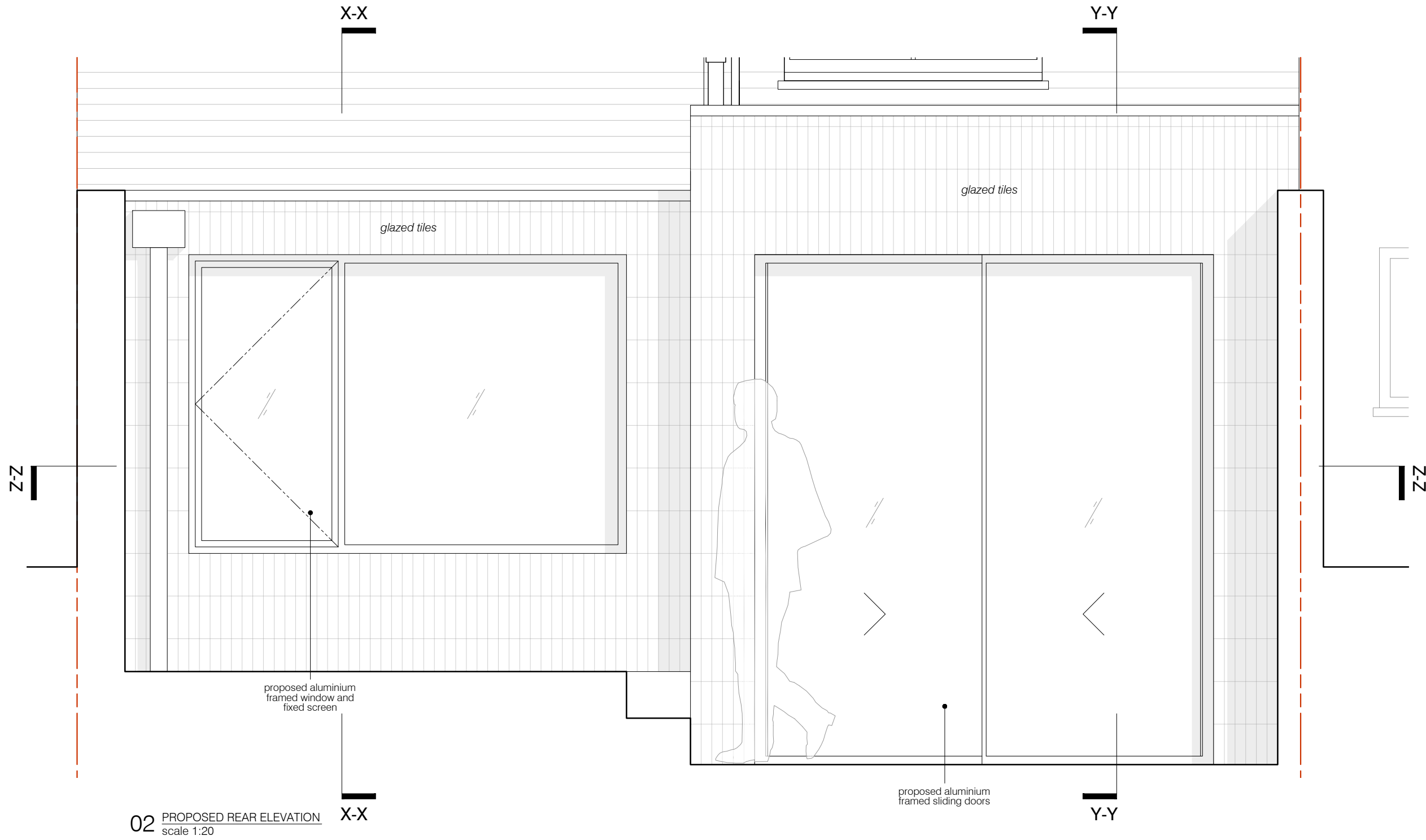
KEY:
existing walls and partitions
proposed walls and partitions

0 1 2 5m

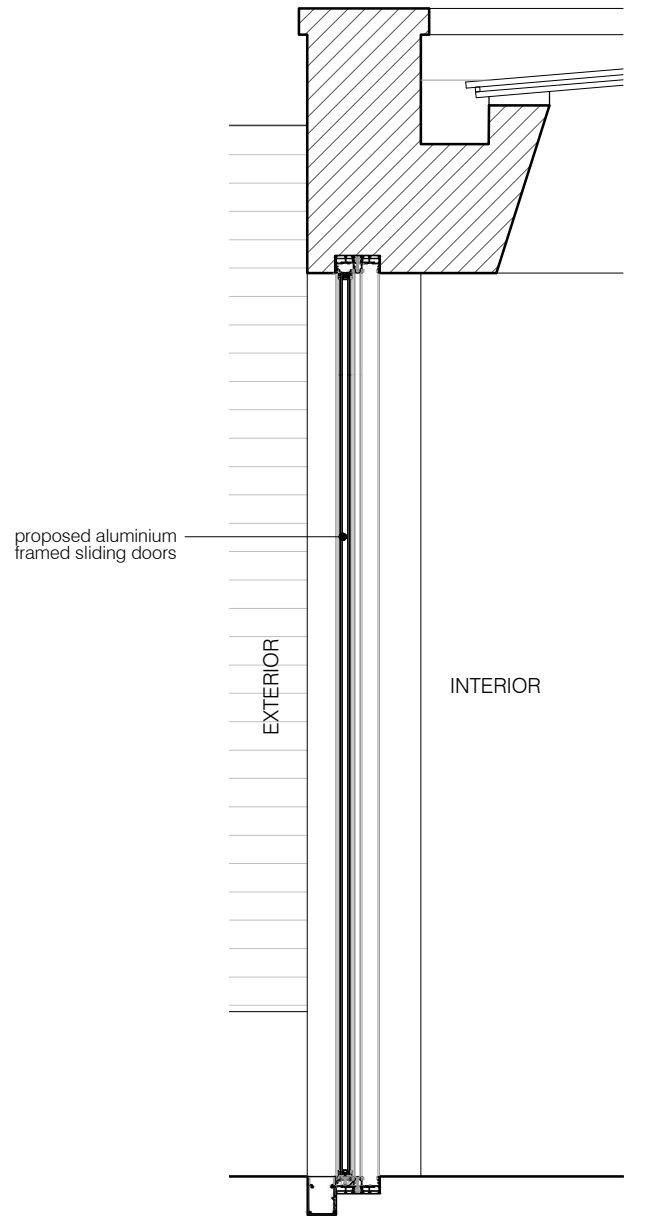
project	REV. B - tree removal	07.04.2022
39A FITZROY ROAD, LONDON NW1 8TP	REV. A - gen. amendments	11.11.2021
	status / number	scale
	PROPOSED/524-300-P	1:50 @ A2
BRIAN O'REILLY ARCHITECTS	drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184	PROPOSED SECTION	06.07.2021
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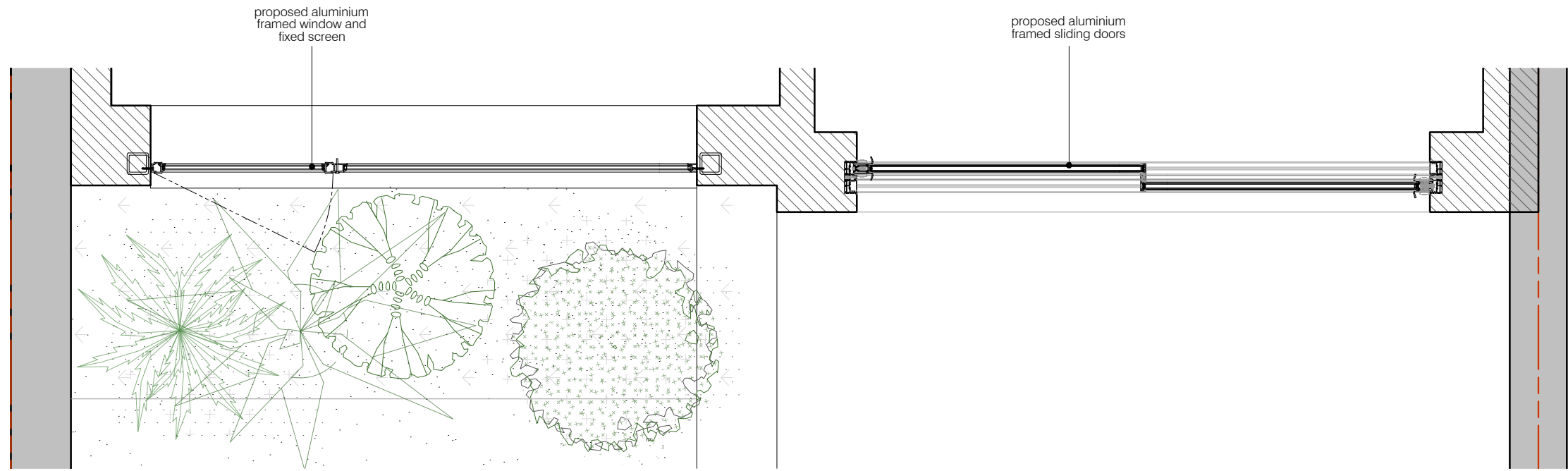
01 PROPOSED WINDOW SECTION XX
scale 1:20



02 PROPOSED REAR ELEVATION
scale 1:20



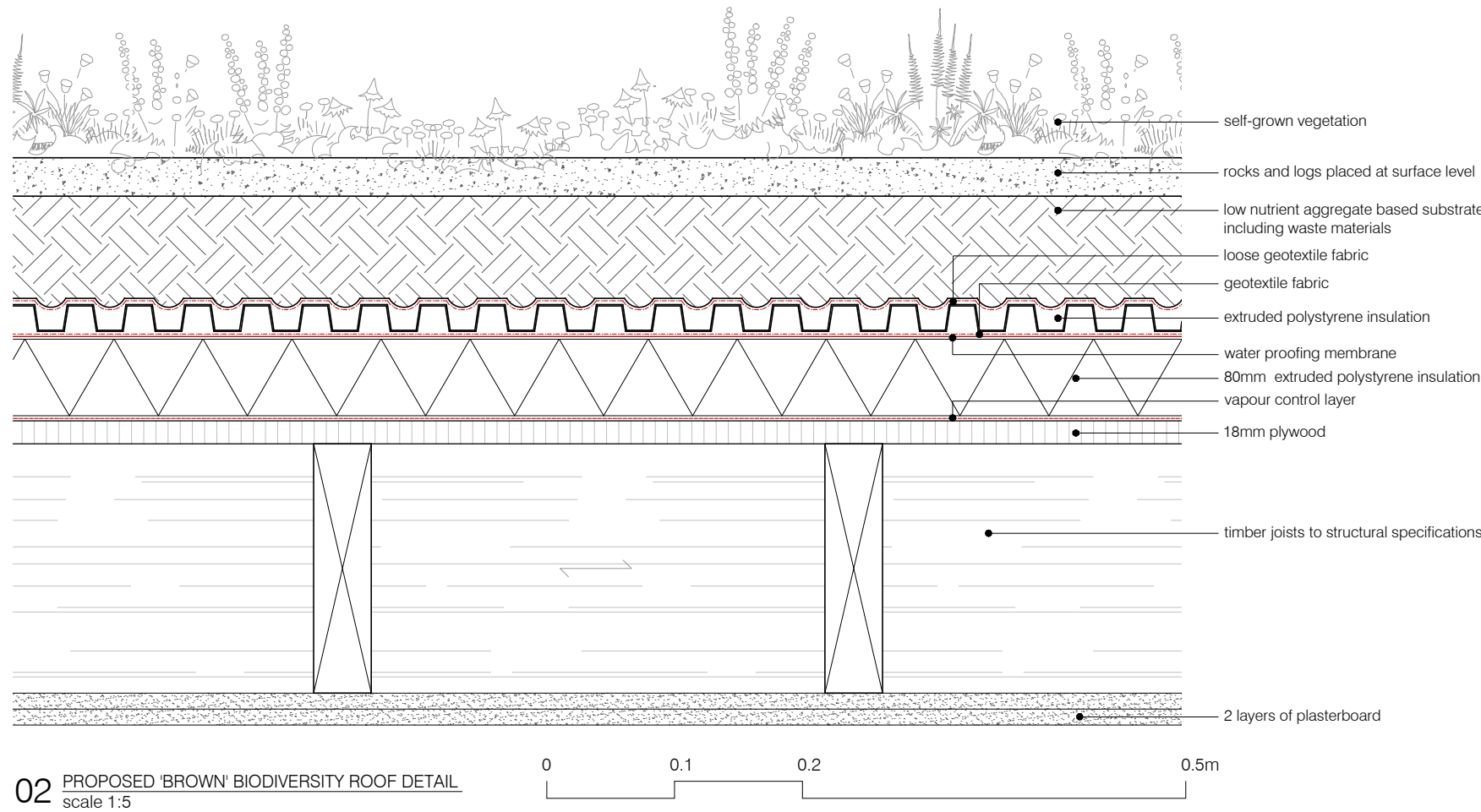
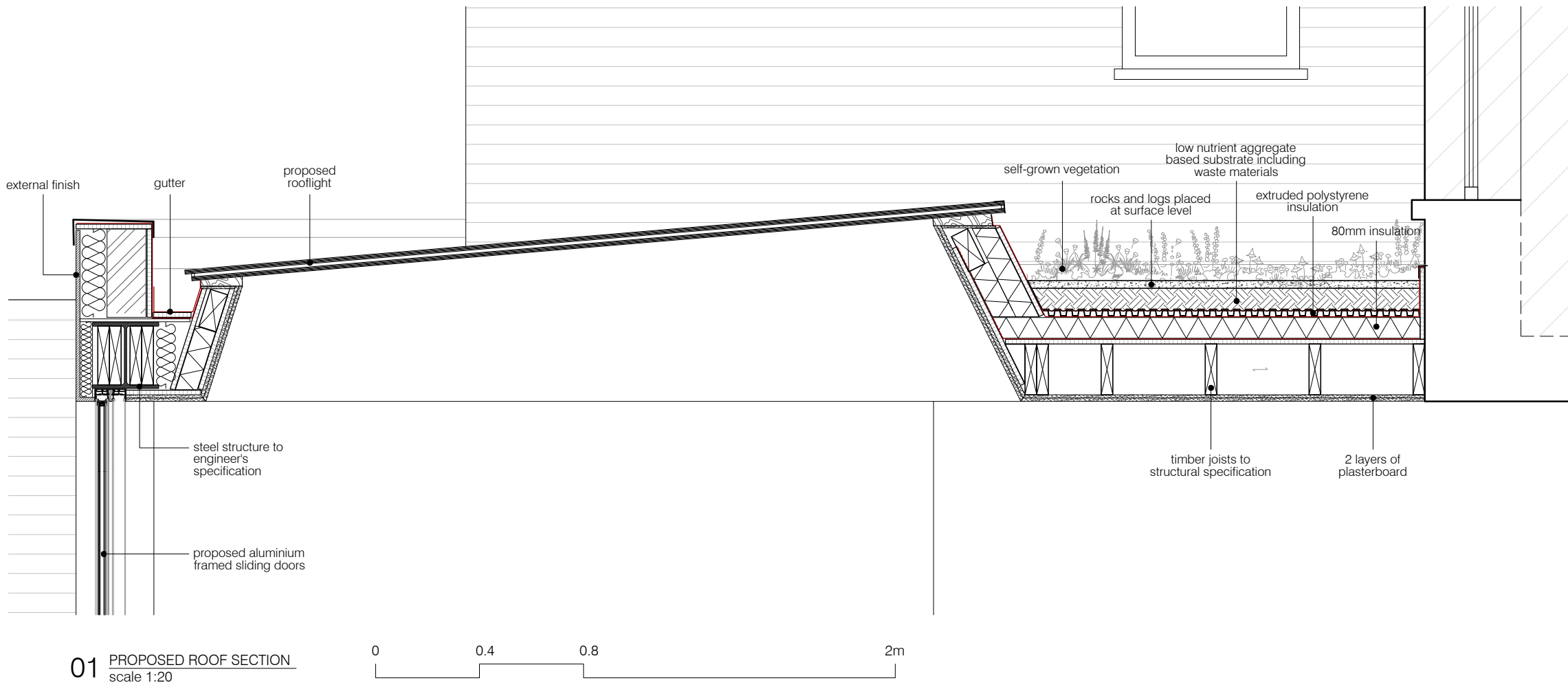
03 PROPOSED SLIDING DOORS SECTION YY
scale 1:20



04 PROPOSED SECTION ZZ (PLAN)
scale 1:20

0 0.4 0.8 2m

project	REV. A - gen. amendments	11.11.2021
39A FITZROY ROAD, LONDON NW1 8TP	status / number	scale
	PROPOSED/524-500-P	1:20 @ A2
BRIAN O'REILLY ARCHITECTS	drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184	PROPOSED DOORS & WINDOWS DETAILS	06.07.2021
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Statement of design objectives for brown roof FLAT A, 39 Fitzroy Road, London, NW1 8TP

GENERAL / DEFINITION

The term 'Brown Roof' originated in the UK to highlight the failings of some extensive green roof installations. As part of the Kyoto agreement, support for biodiversity within the built environment was a key objective. 'Brown' roofs are essentially substrate based green roofs with an emphasis on design aimed at reinstating the ecology that was present prior to development.

DESIGN OBJECTIVES

- 'Brown' roofs are natural and urban feature. They can offer and a greater diversity of species as well as prolonged foraging for insects. The design aim to enhance the local biodiversity.
- They also act to improve surrounding air quality, reduce the visual impact of the building and assist in the run-off and management of rainwater.
- Brown roofs are very low maintenance and no irrigation is required.
- They offer sound acoustic and temperature insulation properties to the roof helping to reduce the thickness of the proposed insulation.
- The proposal aims to recycle the waste building materials, such as cleaned rubble, can be introduced into the substrate, adding to a sense of recycling elements of the project (note: avoid contaminated materials or sharp objects).
- The substrate level is normally up to 150mm, which offers a medium weight build-up, usually no heavier than 120kg per m². This one is less than the standard 'green' roof height and weight

project	REV. A - gen. amendments	11.11.2021
39A FITZROY ROAD, LONDON NW1 8TP	status / number	scale
	PROPOSED/524-501-P	1:20-1:5 @ A2
BRIAN O'REILLY ARCHITECTS	drawing	date
31 Oval Road, London, NW1 7EA +44 (0)20 7267 1184 www.brianoreillyarchitects.com mail@brianoreillyarchitects.com	PROPOSED BROWN ROOF DETAILS	06.07.2021