

TECHNICAL NOTE

RE: 41 Greville Street, London, EC1N 8PJ

1. This Technical Note has been prepared to support an application for prior approval submitted pursuant to Schedule 2, Part 3, Class MA of the Town & Country Planning (General Permitted Development) (England) Order 2015 (as amended) and the Town & Country Planning (General Permitted Development etc) (England) (Amendment) Order 2021.
2. Class MA covers development consisting of a change of use of a building and any land within its curtilage from a use falling within Class E (commercial, business and service) of Schedule 2 to the Use Classes Order to a use falling within Class C3 (dwellinghouses) of Schedule 1 to that Order subject to the prior approval of the local authority under the terms of Paragraph W, Part 3 of Schedule 2 of the 2015 Order.
3. Attached is an assessment of the requirements of Class MA to confirm compliance. This Technical Note addresses the specific requirements of Class MA.2 which requires that the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to the:
 - (a) transport impacts of the development, particularly to ensure safe site access.
 - (b) contamination risks in relation to the building.
 - (c) flooding risks in relation to the building.
 - (d) impacts of noise from commercial premises on the intended occupiers of the development.
 - (e) where—
 - (i) the building is located in a conservation area, and
 - (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area.
 - (f) the provision of adequate natural light in all habitable rooms of the dwellinghouses.
 - (g) the impact on intended occupiers of the development of the introduction of residential use in an area the authority considers to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses; and
 - (h) where the development involves the loss of services provided by—
 - (i) a registered nursery, or

(ii) a health centre maintained under section 2 or 3 of the National Health Service Act 2006(2), the impact on the local provision of the type of services lost.

a) Transport impacts

4. The property has a PTAL rating of 6B – the highest level of access to public transport. A copy of the PTAL report is attached. Safe site access to the property is available from street level (the grey doors marked in the following google street image)



5. The property can provide cycle parking in the basement, which is secure, dry and accessible. A car club is showing as available at 20 Greville Street and the Santander bike docking stations are available in New Fetter Lane, Farringdon Street, Holborn Circus and Hatton Wall which are all readily accessible locations from the property.

b) Contamination

6. The property has been used in the past as jewellery workshops over basement, 1st, 2nd and 3rd floors. No contamination has been noted against the property during the processing of previous proposals for the property and none is anticipated given the type of commercial uses previously carried out.

c) Flood Risk

7. The property is located in flood zone 1 and has a low probability of flooding. A copy of the Environment Agency Flood Report is attached.

d) Noise

8. The ground floor of the property comprises a café / restaurant with daytime opening hours. No adverse noise impacts are likely to arise from this business and generally the area confirms that the co-existence of commercial uses at ground floor with residential uses on the upper floors can occur without detriment to residential occupants.

e) Conservation Area

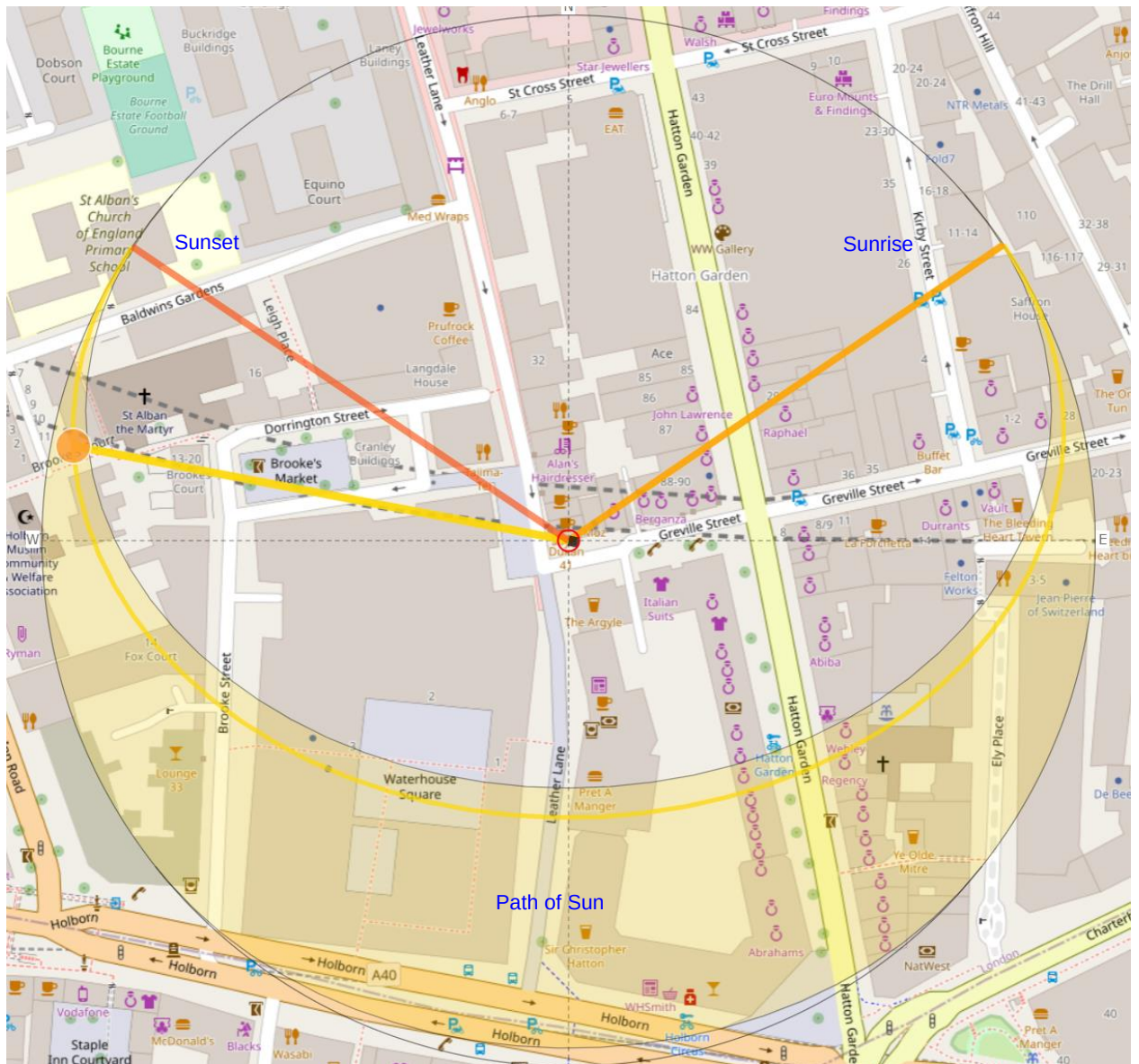
9. The proposal does not involve any change to the ground floor of the property and therefore this section of the GPDO is not engaged.

f) Natural light

10. The following two google images confirm that the property has windows on the Leather Lane and Greville Street elevations. No changes are proposed or required to these external elevations thereby ensuring that the proposed residential units over 3 floors will have maximum access to natural light.



11. The following extract from SunCalc.org confirms that the property is orientated in a position which optimises access to natural daylight.



g) Impact on industry

12. The property is not located in area that the Council considers and has identified to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses in their adopted Core Strategy and Development Policies.

h) Loss of registered nursery or health centre

13. The property is not an existing registered nursery or health centre and this part of the GDPO is not engaged.

Conclusion

14. In conclusion this assessment of the GPDO has confirmed that the impacts are such that the prior approval of the authority will not be required.

Application documents & drawings

15. This application for prior approval comprises the following documents and drawings:
 - a. Application Form
 - b. Technical Note (this document)
 - c. Site Location Plan
 - d. Drawing 20: Proposed plans
 - e. Drawing 21: Existing elevations (no changes proposed)
 - f. Annotated extract from the 2021 GDO Regulations
16. If further information or clarification is required, please contact the undersigned.

Alan Gunne-Jones MRTPI

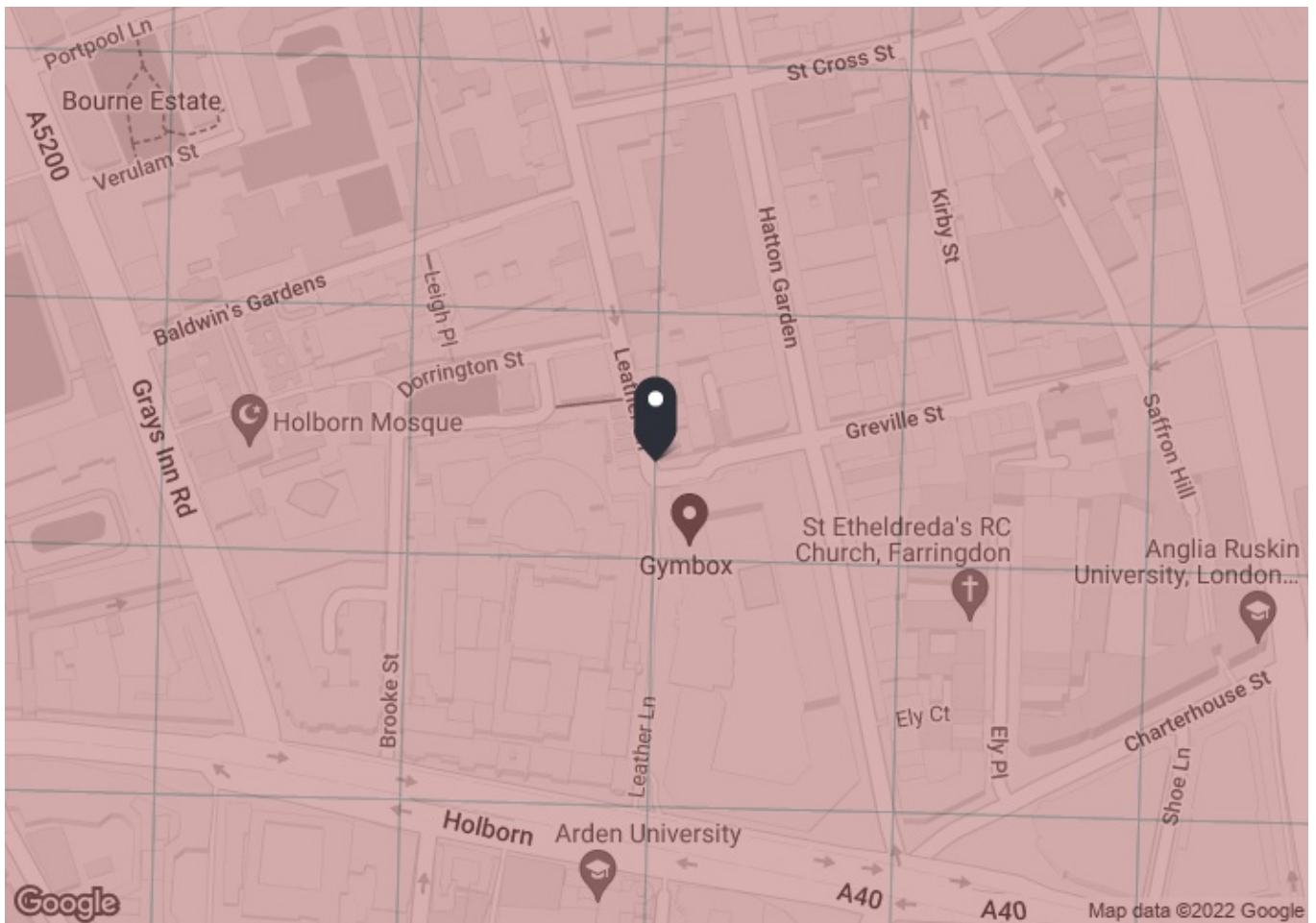
Managing Director

14 March 2022

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ATTACHMENTS

- 1. PTAL Report**
- 2. Flood Risk Report**



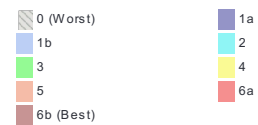
PTAL output for Base Year 6b

41 Greville St, London EC1N 8PJ, UK
Easting: 531297, Northing: 181734

Grid Cell: 86875

Report generated: 14/03/2022

Map key - PTAL



Map layers

 PTAL (cell size: 100m)

Calculation Parameters

Day of Week	M-F
Time Period	AM Peak
Walk Speed	4.8 kph
Bus Node Max. Walk Access Time (mins)	8
Bus Reliability Factor	2.0
LU Station Max. Walk Access Time (mins)	12
LU Reliability Factor	0.75
National Rail Station Max. Walk Access Time (mins)	12
National Rail Reliability Factor	0.75

Calculation data

Mode	Stop	Route	Distance (metres)	Frequency(vph)	Walk Time (mins)	SWT (mins)	TAT (mins)	EDF	Weight	AI
Bus	HOLBORN CIRCUS	341	320.62	6	4.01	7	11.01	2.73	0.5	1.36
Bus	CHARTERHOUSE STREET	17	272.03	7.5	3.4	6	9.4	3.19	0.5	1.6
Bus	CHARTERHOUSE STREET	45	272.03	7	3.4	6.29	9.69	3.1	0.5	1.55
Bus	HOLBORN CIRCUS EAST	8	304.97	10	3.81	5	8.81	3.4	0.5	1.7
Bus	HOLBORN CIRCUS EAST	521	304.97	27	3.81	3.11	6.92	4.33	1	4.33
Bus	HOLBORN CIRCUS EAST	242	304.97	6.5	3.81	6.62	10.43	2.88	0.5	1.44
Bus	HOLBORN CIRCUS EAST	46	304.97	6	3.81	7	10.81	2.77	0.5	1.39
Bus	HOLBORN CIRCUS EAST	25	304.97	8	3.81	5.75	9.56	3.14	0.5	1.57
Bus	HATTON GARDEN	243	350.29	11	4.38	4.73	9.11	3.29	0.5	1.65
Bus	HATTON GARDEN	55	350.29	10	4.38	5	9.38	3.2	0.5	1.6
Bus	FARRINGDON STATION	63	247.06	12	3.09	4.5	7.59	3.95	0.5	1.98
Bus	ROSEBERRY SQUARE	38	558.22	10	6.98	5	11.98	2.5	0.5	1.25
Bus	ROSEBERRY SQUARE	19	558.22	8	6.98	5.75	12.73	2.36	0.5	1.18
Rail	Farringdon	'BEDFDM-SVNOAKS 1E62'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BROMLYS 1E83'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-ORPNGTN 1L60'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-SUTTON 1O13'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-KENTHOS 1S85'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BRGHTN 1T11'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BRGHTN 1T15'	269.89	0.67	3.37	45.53	48.9	0.61	0.5	0.31
Rail	Farringdon	'BRGHTN-BEDFDM 1T83'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-SUTTON 1V23'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-SUTTON 1V82'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 1W06'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 1W81'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BRGHTN 1W84'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BRGHTN 1W86'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'STALBCY-SVNOAKS 2E11'	269.89	1	3.37	30.75	34.12	0.88	1	0.88
Rail	Farringdon	'BEDFDM-SVNOAKS 2E19'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'LUTON-SVNOAKS 2E21'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'STALBCY-SVNOAKS 2E95'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-LUTON 2O00'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-BEDFDM 2O04'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-STALBCY 2O06'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-LUTON 2O10'	269.89	1	3.37	30.75	34.12	0.88	0.5	0.44
Rail	Farringdon	'LUTON-SUTTON 2O17'	269.89	0.67	3.37	45.53	48.9	0.61	0.5	0.31
Rail	Farringdon	'STALBCY-SUTTON 2O21'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'STALBCY-SUTTON 2O29'	269.89	0.67	3.37	45.53	48.9	0.61	0.5	0.31
Rail	Farringdon	'LUTON-BCKNHMJ 2S91'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'STALBCY-BROMLYS 2S93'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 2T02'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 2T04'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-BRGHTN 2T15'	269.89	1	3.37	30.75	34.12	0.88	0.5	0.44
Rail	Farringdon	'BEDFDM-BRGHTN 2T25'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-LUTON 2T99'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-STALBCY 2V02'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-STALBCY 2V08'	269.89	0.67	3.37	45.53	48.9	0.61	0.5	0.31
Rail	Farringdon	'BEDFDM-SUTTON 2V15'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-BEDFDM 2V16'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'LUTON-SUTTON 2V19'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SUTTON-KNTSHTN 2V20'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'STALBCY-SUTTON 2V27'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'LUTON-SUTTON 2V31'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 2W08'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 2W12'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BRGHTN-BEDFDM 2W16'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ASHFKY-BEDFDM 1E61'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ASHFKY-BEDFDM 1E63'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16

Mode	Stop	Route	Distance (metres)	Frequency(vph)	Walk Time (mins)	SWT (mins)	TAT (mins)	EDF	Weight	AI
Rail	Farringdon	'RCHT-BEDFDM 1E67 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SVNOAKS-BEDFDM 1E69 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BROMLYS-BEDFDM 1E82 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BCKNHMJ-BEDFDM 1G65 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'KENTHOS-BEDFDM 1G71 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ORPNGTN-STALBCY 2D93'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ORPNGTN-LUTON 2D95'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SVNOAKS-STALBCY 2E59'	269.89	0.67	3.37	45.53	48.9	0.61	0.5	0.31
Rail	Farringdon	'SVNOAKS-LUTON 2E61 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SVNOAKS-WHIMPSTM 2E63'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SVNOAKS-KNTSHTN 2E65'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'SVNOAKS-KNTSHTN 2E67'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BROMLYS-LUTON 2E93 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ORPNGTN-LUTON 2L59'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'ORPNGTN-KNTSHTN 2L65'	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-ELPHNAC 1J87 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
Rail	Farringdon	'BEDFDM-ELPHNAC 1J88 '	269.89	0.33	3.37	91.66	95.03	0.32	0.5	0.16
LUL	Farringdon	'Edgware-Hammersmith '	269.89	6	3.37	5.75	9.12	3.29	0.5	1.64
LUL	Farringdon	'Barking-Hammersmith '	269.89	6.34	3.37	5.48	8.86	3.39	1	3.39
LUL	Farringdon	'Hammersmith-Plaistow'	269.89	1	3.37	30.75	34.12	0.88	0.5	0.44
LUL	Farringdon	'Aldgate-AmerFast '	269.89	1	3.37	30.75	34.12	0.88	0.5	0.44
LUL	Farringdon	'Ches-AldgateFast '	269.89	2	3.37	15.75	19.12	1.57	0.5	0.78
LUL	Farringdon	'Uxbridge-AldSlow'	269.89	5.33	3.37	6.38	9.75	3.08	0.5	1.54
LUL	Farringdon	'Watford-AldFast '	269.89	3.67	3.37	8.92	12.3	2.44	0.5	1.22
LUL	Farringdon	'Aldg-WatfordSlow'	269.89	3.67	3.37	8.92	12.3	2.44	0.5	1.22
LUL	Farringdon	'Ald-HarrowHill '	269.89	1.33	3.37	23.31	26.68	1.12	0.5	0.56
LUL	Chancery Lane	'Epping-Ealing '	472.12	3	5.9	10.75	16.65	1.8	0.5	0.9
LUL	Chancery Lane	'WRuislip-Epping '	472.12	3	5.9	10.75	16.65	1.8	0.5	0.9
LUL	Chancery Lane	'RuislipGar-Epping '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'WhiteCity-Epping '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Epping-NActon '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'Northolt-Epping '	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'Debden-WRuislip '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'WhiteCity-Debden '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Debden-Northolt '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'RuislipGdns-Debden '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Loughton-WRuislip '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'NActon-Loughton '	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'RuislipGdns-Loughton'	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'WhiteCity-Loughton '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Loughton-Northolt '	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Ealing-Loughton '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'Ealing-NewburyPark'	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'WRuislip-NewburyPark'	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'NActon-NewburyPark'	472.12	0.33	5.9	91.66	97.56	0.31	0.5	0.15
LUL	Chancery Lane	'Hainault-Ealing '	472.12	5.33	5.9	6.38	12.28	2.44	0.5	1.22
LUL	Chancery Lane	'Hainault-Nacton '	472.12	1.33	5.9	23.31	29.21	1.03	0.5	0.51
LUL	Chancery Lane	'Hainault-WRuislip '	472.12	3.33	5.9	9.76	15.66	1.92	0.5	0.96
LUL	Chancery Lane	'RuislipGdns-NP-Hain '	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'WhiteCity-Hainault '	472.12	1.67	5.9	18.71	24.62	1.22	0.5	0.61
LUL	Chancery Lane	'Hainault-NP-Northolt'	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'GrangeHill-WD-Eal '	472.12	1	5.9	30.75	36.65	0.82	0.5	0.41
LUL	Chancery Lane	'GrangeHill-Wdld-Whit'	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
LUL	Chancery Lane	'GrangeHill-Wdld-WRsp'	472.12	0.67	5.9	45.53	51.43	0.58	0.5	0.29
Total Grid Cell AI:										56.97

Flood map for planning

Your reference
41 Greville

Location (easting/northing)
531311/181747

Created
14 Mar 2022 7:09

Your selected location is in flood zone 1, an area with a low probability of flooding.

This means:

- you don't need to do a flood risk assessment if your development is smaller than 1 hectare and not affected by other sources of flooding
- you may need to do a flood risk assessment if your development is larger than 1 hectare or affected by other sources of flooding or in an area with critical drainage problems

Notes

The flood map for planning shows river and sea flooding data only. It doesn't include other sources of flooding. It is for use in development planning and flood risk assessments.

This information relates to the selected location and is not specific to any property within it. The map is updated regularly and is correct at the time of printing.

Flood risk data is covered by the Open Government Licence which sets out the terms and conditions for using government data. <https://www.nationalarchives.gov.uk/doc/open-government-licence/version/3/>

Use of the address and mapping data is subject to Ordnance Survey public viewing terms under Crown copyright and database rights 2021 OS 100024198. <https://flood-map-for-planning.service.gov.uk/os-terms>

Flood map for planning

Your reference
41 Greville

Location (easting/northing)
531311/181747

Scale
1:2500

Created
14 Mar 2022 7:09

-  Selected point
-  Flood zone 3
-  Flood zone 3: areas benefitting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Flood storage area

0 20 40 60m

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