

## Design & Access Statement + Heritage Impact Assessment

Flat 1, 20 Rosecroft Avenue  
London NW3 7QB

### **Internal Refurbishment + Window & Door renewal**

02<sup>nd</sup> March 2022

#### **1. Introduction**

This Design & Access Statement (DAS) & Heritage Assessment is to accompany a Planning Application with regard to the internal refurbishment and the repair and renewal of external windows and doors, at Flat 1, 20 Rosecroft Avenue, London NW3 7QB.

It is to be read in conjunction with Daniel Koo Architects drawings "008\_00-LP" and "008\_00-100", "008\_00-101", "008\_01-100", "008\_01-101" & "008\_01-102" submitted with the Household and Listed Building Consent application to Camden Council.



Aerial view of 20 Rosecroft Avenue

#### **2. Context and Building History**

The subject property is a Grade II listed Victorian detached house located within the Redington/Frognaal conservation area of Camden. The house was converted into flats in the 1970s (Application no. 12183), with the upper ground floor is the main level of access with flat 1 and 2 located on entrance level, whilst flat 3 & 4 on first and second floor. The property was subsequently listed as a grade II property on 11<sup>th</sup> January 1999 (List Entry Number: 1330377).

**Daniel Koo Architects**

### 3. Proposed Alterations

The proposed alteration consists of,

a Replacement of existing sash windows to Flat 1

The existing timber sash windows are in poor condition with peeling paint work and signs of timber rot on the external frame and sash bars between glazing panels. A second layer of glazing exists internally to reduce heat loss. However, the overall performance of the window is still poor, causing inefficient thermal performance and condensation and related issues.

New double glazed sash windows with a higher thermal performance are proposed to replace the existing windows. The proposed glazing thickness is 14mm instead of the current single pane glazing. Other than the glazing thickness the design and appearance of the new sash windows will match the existing windows. Refer to documents "008\_01-100", "008\_01-101" and "Heritage - BSW - 140 - TL - 4-6-4 - 6 over 6" for proposed drawings and proposed window technical data. See photos 01-08 for examples of the existing conditions.

b Enlargement of internal wall opening between existing kitchen and living room

Enlargement of the existing wall opening connecting the kitchen area to the living room to enhance the connection and interior relationship between the two areas. It is expected that new structure would be required to form the enlarged opening, in the form of steel beams and columns that would be integrated and concealed within the plaster walls. Refer to drawings "008\_01-100", "008\_01-101" & photo 09.

c Replace existing (non-original) side access door and window with new door/window system

The existing side door and window located on the south elevation, connecting the kitchen to an external communal area is intended to be replaced by new metal frame double glazed door and window systems. The existing door and window are clearly not part of the original fabric of the property and could have been introduced during the 1970s conversion. The new proposed design would improve the thermal performance of the door and window, whilst help enhance and establish glazing proportions and frames that would be more sympathetic to the proportion of the original fenestration of the property. Refer to drawings "008\_01-100", "008\_01-101" & photos 10-13.

d Replace rear door and window with new door/window system

New crittall double glazed window and door are proposed to replace the existing window and door to the rear (East elevation) of the flat. The existing door and window are in poor condition and has poor thermal performance. The proposed replacement would upgrade and improve the thermal performance of the flat. The panelised glazing a subdivided into panes that have a sympathetic proportion and scale to the sub-division of existing window sub-divisions and scale. Refer to drawings 008\_01-100, 008\_01-101 for proposed design and photos 14-17 for existing door and window.



Photo 01: External peeling paint works to rear garden door



Photo 02: External peeling paint works to rear garden door

#### 4. Heritage Impact Assessment

##### 4.1 Existing Significance

20 Rosecroft Avenue is situated within the Redington/Frognal conservation area. The guidelines in the Conservation area statement for Redington/Frognal of particular relevance to the proposal are "Listed Buildings" (RF10 – RF12) and "Material and maintenance" (RF13 – RF17). The proposal takes into account these particular points within the conservation area statements, when considering the scope and nature of the refurbishment works.

With regard to the significance of 20 Rosecroft Avenue, Historic England's Statutory List includes the following entry, although it omits any mention of the interior:

*Listed entry number: 1330377*

*Grade: II*

*Detached house. 1898. By CHB Quennell for Horace Regnart; built by Boddy & Chapman. Red brick with brick quoins to angles of central bay and plain brick 1st floor band. Slated hipped roofs, each bay with a dormer, tall slab chimney-stacks and overhanging bracketed eaves with moulded cornice. Symmetrical design. 2 storeys and attics. 5 windows. Recessed central entrance bay the ground floor forming a porch with 2 columns carrying an entablature with blocking course; panelled door with ladder-glazed sidelights and overlight. 1st floor flush framed sash with exposed boxing and gauged brick head. Flanking projecting bays with similar sashes; ground floor with keystones. INTERIOR: not inspected.*

There is limited drawing record of the property in the planning record, prior to the modifications in 1971-72 in the planning archive. However, the proposed floor plans from the 1971 conversion application (Ref no: 12183) shows substantial changes and modifications to the original floor plan during the conversion. (See Appendix A for historic drawings from 1971 application).



## 4.2 Impact of proposed alterations on existing significance

### a Replacement of existing sash windows to Flat 1

It is unclear if the external windows belonging to flat 1 are dated back to the 1898 original building. However, the details and features on the sash windows are consistent and coherent with the rest of the property. Most of the windows have signs of deterioration from weathering in the form of peeling paint work and signs of rotting, and perform much worse both thermally and acoustically, compared to modern standards.

Furthermore, all the windows have existing second layer of glazing added (date unknown), intended to improve the thermal performance of the single glazed windows. Despite the existing second layer of glazing, the thermal performance is still poor, resulting in heat loss and condensation related issues and rendering the windows impractical to use. (See photos 01-08)

The proposed replacement sash windows are intended to replicate the exact design and details of the existing windows, except for a 14mm double glazed glass applied instead of the single glazing, in order to upgrade the thermal performance. This would allow the removal of the existing second layer of glazing, which would improve the character and integrity of the windows. The impact to the external character and appearance of the property and the area would be negligible, whilst it would also enhance and restore some of the original character of the windows when view from the inside by removing the unsightly second layer of glazing.

The proposal aims to limit the impact of the proposed works and would ensure the special architectural or historic interest of the building be protected and takes into account the guidelines RF10, RF11 and RF12 of the conservation area statement, whilst upgrading the windows to modern energy standards and performance.



Photo 03: External frame and glazing bar condition



Photo 04: External frame and glazing bar condition



Photo 05: Existing second layer of internal glazing



Photo 06: Deteriorating timber sill with early sign of rot



Photo 07: Internal view with secondary glazing with condensation on the inner side of primary glazing



Photo 08: Consistent condensation with sign of mould



b Enlargement of internal wall opening between existing kitchen and living room.

The proposal to enlarge the internal wall opening between kitchen and living area to enhance and internal connection and relationship between the two rooms is illustrated in the drawings "008\_01-100" & "008\_01-102"

Despite having not having the ground level recorded plan of the pre-1970s modifications to the property's internal layout, it would be reasonable to assume the internal wall affected is an original part of the building judging by the architectural layout. However, judging by the nature of the floor plans, it might be reasonable to assume that the current opening between the two rooms might have been created during the 1970s modifications.

The proposed enlargement of the opening proposed to further widen the opening by approximately 1.1m to the right, 0.25m to the left (viewed from living room side) and approximate 0.5m higher than the current opening. (See photo 09).

The proposal intends to retain sufficient area of the overall wall to retain the definition and hierarchy of the two rooms, including the retention of the cornicing details of the wall, whilst improving the connection and create the desired openness for its current user/owner.

Whilst it is acknowledged that there will be a minor loss of historic material resulting in the enlargement of the internal wall, the scope and proportion would not impinge on the Grade II listed building's hierarchy of space and definition of the rooms. Therefore, the impact to the building is assessed to be very low.

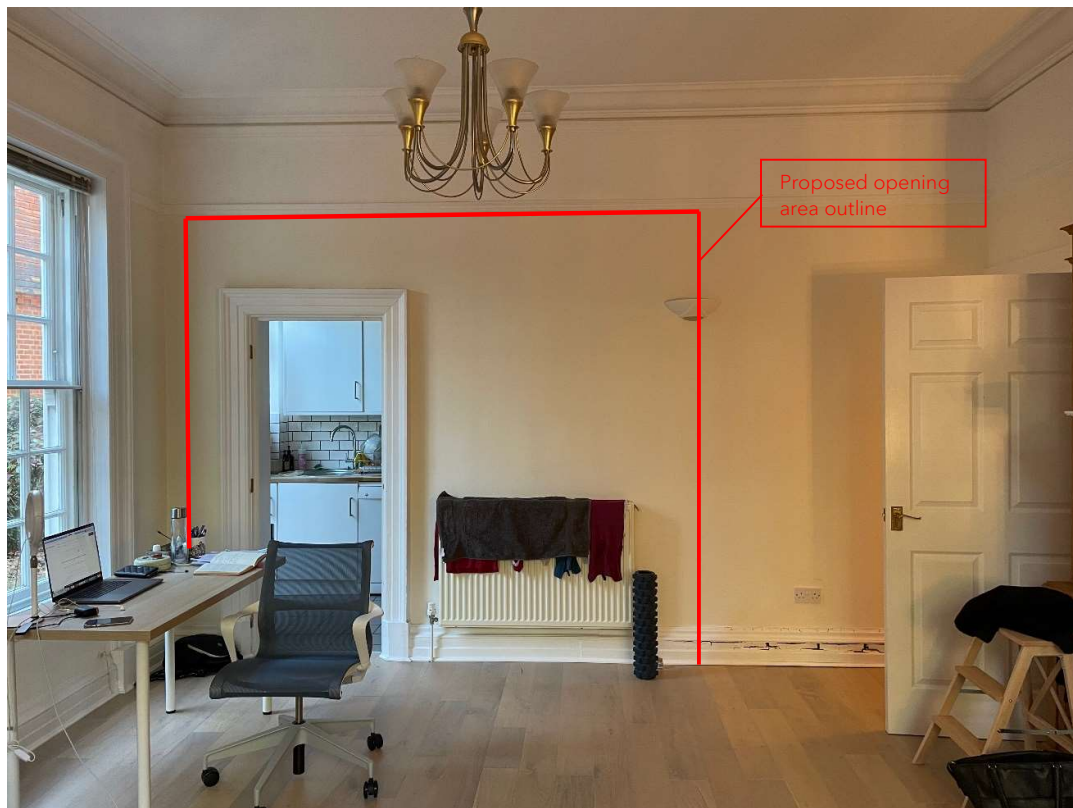


Photo 09: Internal view of wall between kitchen and living room

c Replace existing (non-original) side access door and window with new door/window system

Despite having no historical records or drawings of the south elevation, it is clear judging by the glazing style and details, the existing side door and window is not part of the historic material of the building. (See photos 10-13)

Furthermore, the current condition of the door and window is in poor condition and does not meet the performance of modern standards. It is also worth noting that the south elevation has very limited visibility from Rosecroft Avenue, due to angle and level difference the side elevation is at from the main street.

The proposal intends to replace the existing door and window with new metal frame double glazed systems, with colour to match the colour of the other windows on the building. The design aims to introduce proportions of the glazing sub-divisions that would be more sympathetic with the original sash windows on the side facade. It would also enhance the thermal performance of the door and window, making the building more energy efficient.

Considering the limited visibility of the side door and window from Rosecroft Avenue, the current door/window not being part of the original fabric of the building and the sympathetic design of the proposed door and window, the impact resulting from the proposal to the character and interest of the listed building and character of the area is assessed as very low.



Photo 10: View from Rosecroft Avenue



Photo 11: External view of approach to side door and window on the south façade (Highlighted)



Photo 12: External view of side door and windows



Photo 13: Internal view of side door and windows

d Replace rear door and window with new door/window system

The proposal replaces the existing rear window and door with new metal frame double glazing system. The glazing is subdivided into smaller panels in a grid pattern which is sympathetic to the proportions and scale of the existing windows divided by sub-glazing bars in a grided design.

There is no record to confirm if the rear window and door connecting to the garden area is original dating back to 1898. The position of the rear door and window is located at the garden end of the flat, with the façade stepping back into a niche space between the coach house and the adjacent rear end of Flat 2. (See plan no. 008\_01-100), this result in no visibility from any public area or common areas to the front. The only views from external areas are the rear shared garden and through the windows of the adjacent flat 6 located inside the coach house, thus the impact of the proposed new window and door to the character area is negligible.

The existing door and windows to the rear of the flat is proposed to be replaced with new crittall style doors. The existing windows has been modified internally with a second layer of glazing and an internal window pelmet with architectural features that are not consistent with the style and period of the original architecture (See photos 14-15), whilst the external condition of the window and door is in a poor condition.

Furthermore, there are precedents of new modern windows installed at the rear of the property. For example, full height modern glazing of flat 6 at the same level as flat 1 (See image 20 for the extracted drawing from the planning record for the application in 2011. Application ref: 2011/0409/P & 2011/0410/L) and the pvc windows on the first floor of the building wing at the rear. See photos 18 & 19. Thus, the original character of the rear of the property is no longer consistent to the original design, therefore the proposed new replacement door and window would not significantly compromise the character of the rear façade.





Photo 14: Flat 1 rear windows and door to rear garden



Photo 15: Internal view of rear door and windows





Photo 16: External condition of rear garden door



Photo 17: External condition of rear garden door

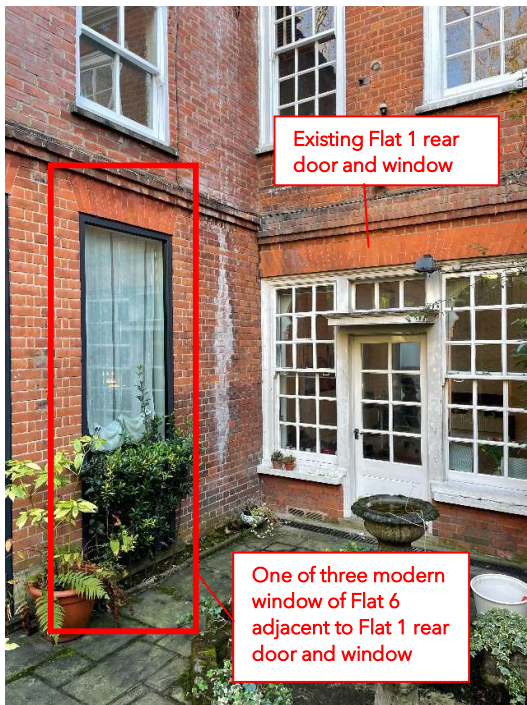


Photo 18: View of rear garden door and adjacent flat 6 modern glazing



Photo 19: View of first floor flat with PVC windows

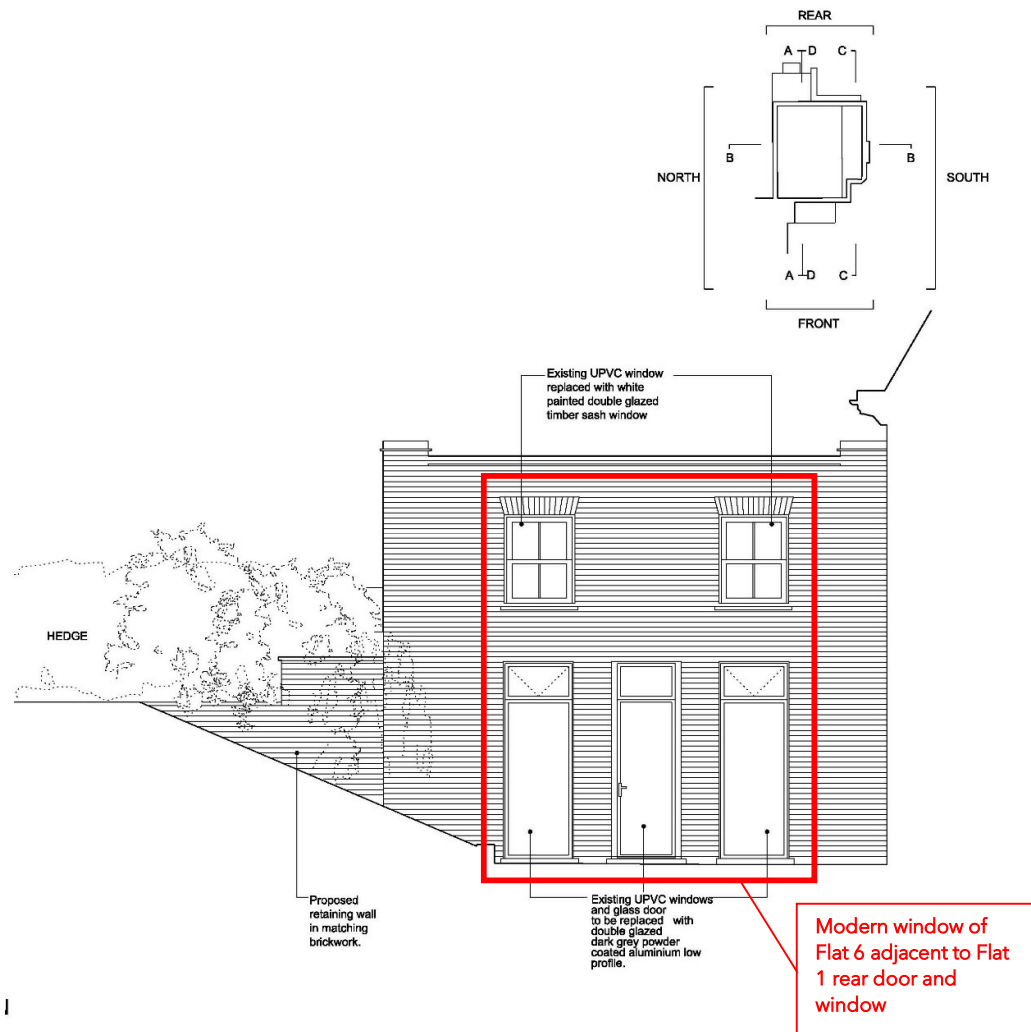


Image 20: Extract of Side elevation of Flat 6 from planning application ref: 2011/0409/P & 2011/0410/L



## 5. Conclusions

The assessment concludes that,

- The impact to the exterior of the Grade II listed building for the proposed renewal and upgrade of the external windows to be low;
- The impact to the hierarchy of space and layout within the building and loss of historic fabric, resulting from the enlargement of internal wall opening is assessed to be very low;
- The impact to the exterior of the Grade II listed building from the proposed renewal of the side door/window to the kitchen is assessed to be very low and;
- The impact of the new rear window and door proposal to be low.

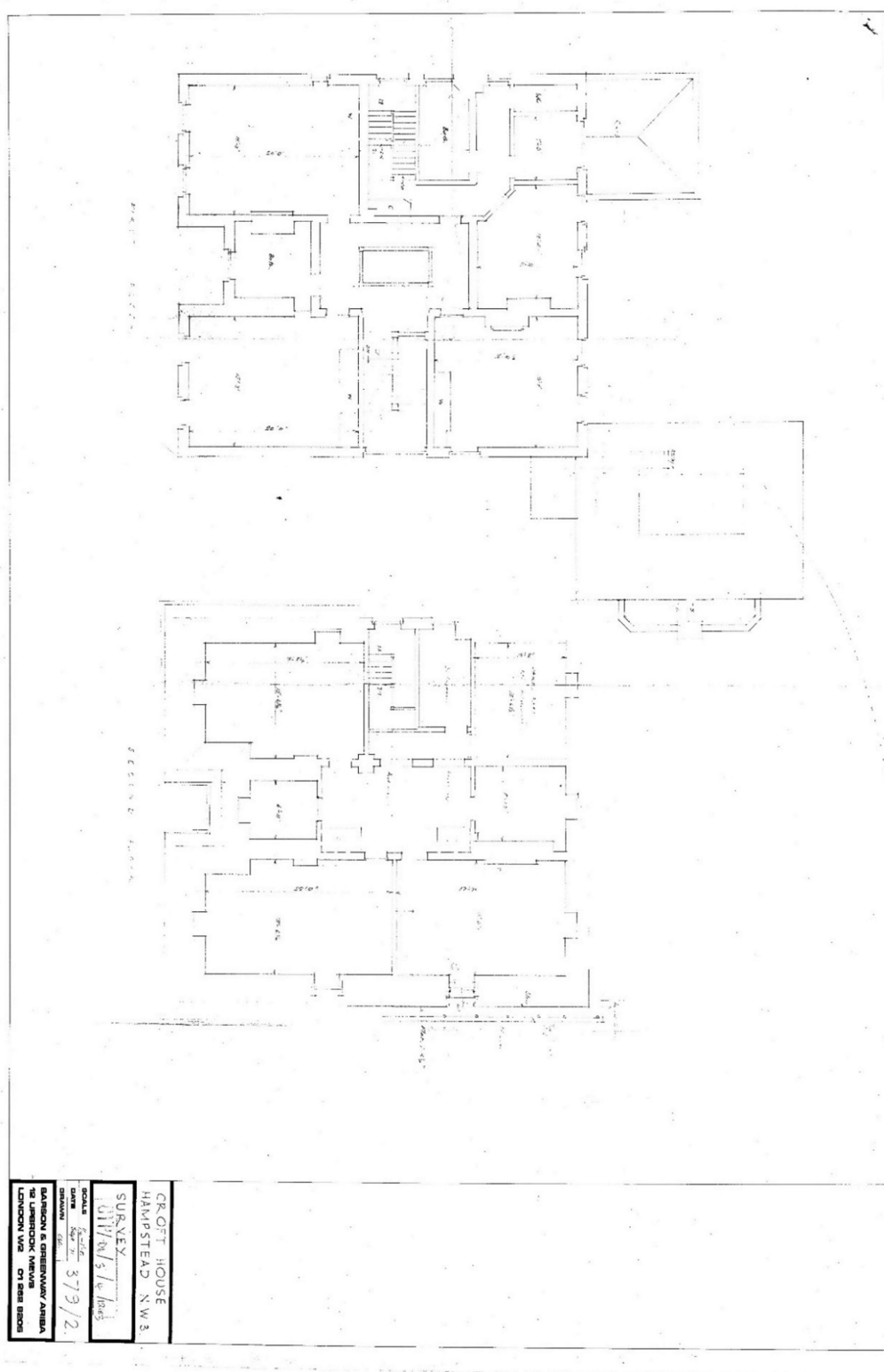
Apart from the proposed works and changes to the windows and doors mentioned above, no other external works to the property are proposed. Access to the property remains unchanged. The proposal includes no on site parking.

The overall the impact on the Grade II listed building is assessed as low or less than substantial and that any harm would be offset by the benefits that would result from bringing most of the windows and doors up to modern standards and sensitive enhancement to parts of the building that either requires repair and maintenance of Grade II listed building with distinct character and interest.

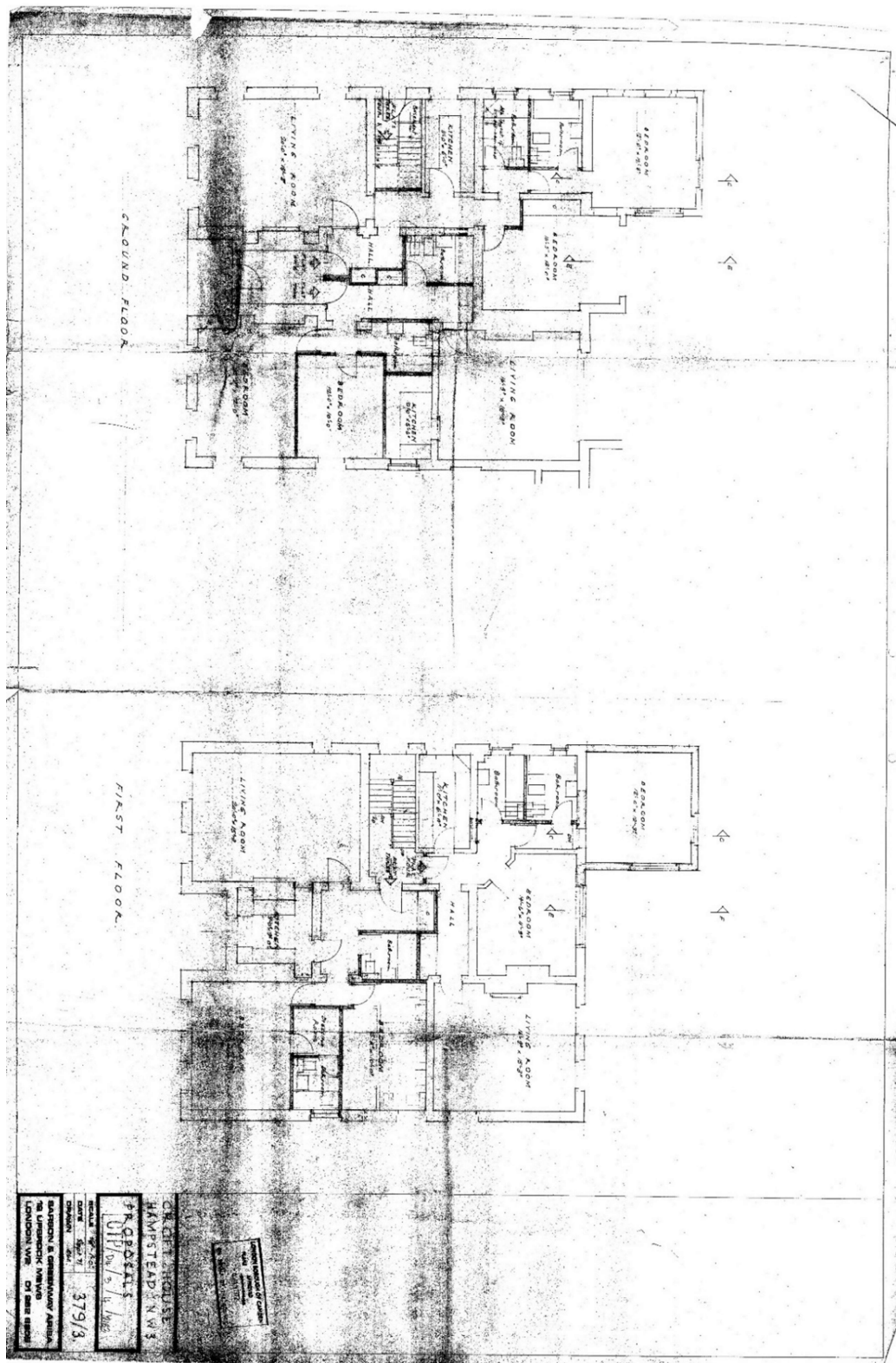
Consequently, the proposal is considered to accord with the requirements set out in paragraph 195 of the 2021 NPPF, Guidelines RF10, RF11, RF12 and RF13 of the Conservation area statement – Redington/Frognaal and policies EN39 to EN40 of (March 2000) UDP Camden, and Listed Building Consent should be granted.

Daniel Koo Architects would be pleased to discuss this further with Camden Council officers in due course.

Appendix A - Drawings from 1971 Application for conversion of house into flats. (No. 12183)



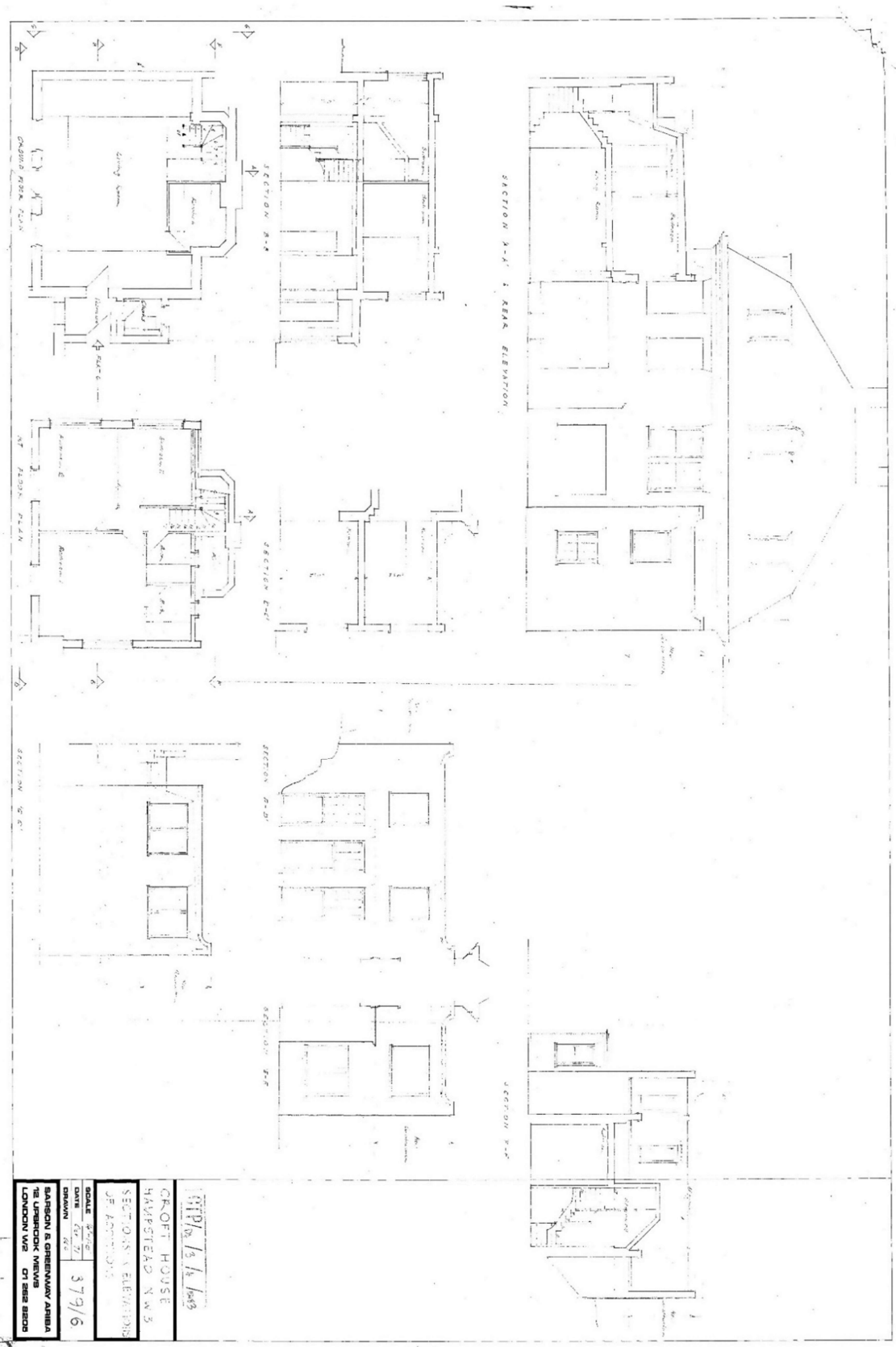
Pre-1971 first and second floor plans



Proposed ground and first floor plan in 1971







1971 Proposed sections and plans for adjacent coach house

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