# Flat 1 - NO. 26 PANDORA ROAD

Design & Access Statement & Photographs

05<sup>th</sup> April 2022



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# **Site Location**

Aerial & contextual view



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Section one

# Introduction

### **Site Location**

### Location & Site Description

### Site Description

The site, No. 26 Pandora Road (Flat No. 1, at Ground Floor level), is located in West Hampstead, NW6 1TT, in London Borough of Camden.

The property consists of a three-bedroom flat situated in an end-terrace maisonette. The flat is split across two levels (ground floor and a lower ground floor level), with a rear sunken garden, which can be accessed from Narcissus Road too, through a timber gate.

At the rear of the property, there is a mature Pear tree, but the garden has no other vegetation present.

### **Location**

The site is situated in West Hampstead, in London Borough of Camden, in a residential area. The site is located on a corner of Pandora Road and Narcissus Road. The site is not Listed, nor situated in any Conservation Area.

### Summary of Proposed Works

This application seeks permission for the following proposed works, specifically:

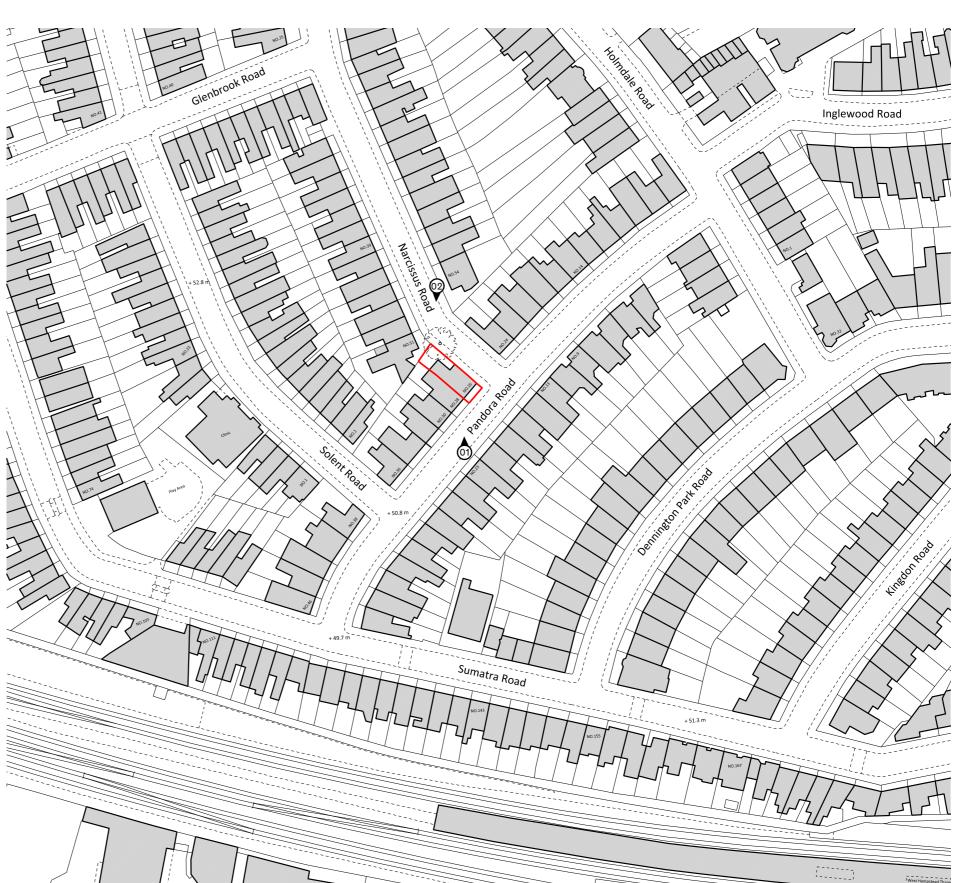
- Proposed new rear & infill side extension.
- Proposed new external brick boundary wall.
- Proposed new side window on the flank wall.



01) Aerial View 01









Site Location Map (Sc. 1: 1250 @A3)



Historic Map - cc. 1890

# **Site History**

### Evolution & Age

### Site History

An area, known as "le Rudyng" (indicating a woodland clearing) in the mid-13th century, had by 1534 come to be called West End. It was then a freehold estate belonging to Kilburn Priory, and was so called because it was at the west end of another, larger estate.

[1] West End Lane (named as such by 1644), the main road through the area, is still bent at a right-angle at the north and south ends where it connects to Finchley Road and Edgware Road respectively. This is because the lane used to form the boundary between a number of different estates.[1]

By the early 17th century several houses were present, and by the middle of that century London merchants were building larger houses in the area. By 1800 West End was a hamlet of two to three dozen houses and cottages located in parkland, mostly on the west side of West End Lane and Fortune Green Lane, and north of the present-day railway lines. West End Lane had been rerouted, making it straighter and lying further to the west than previously.

In 1851 residents were mainly agricultural labourers, gardeners, craftsmen and tradespeople, with an innkeeper, two beershop keepers, a schoolmistress and a few gentry.

### West Hampstead

Transformation of the area started with the construction of three railway lines across West End Lane: Hampstead Junction Railway, built by 1857; Midland line, opened in 1868; and Metropolitan & St. John's Wood line, opened in 1879. West Hampstead was the name adopted by Metropolitan & St. John's Wood for its station on West End Lane.

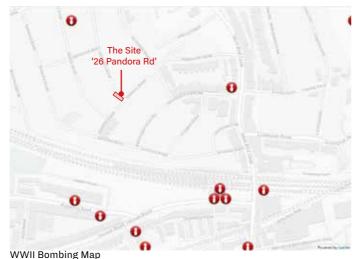
The period of greatest development for the area was the 15 years from the opening of that station, with estates on the west side of West End Lane being turned from farmland and parkland into housing estates. (\*)

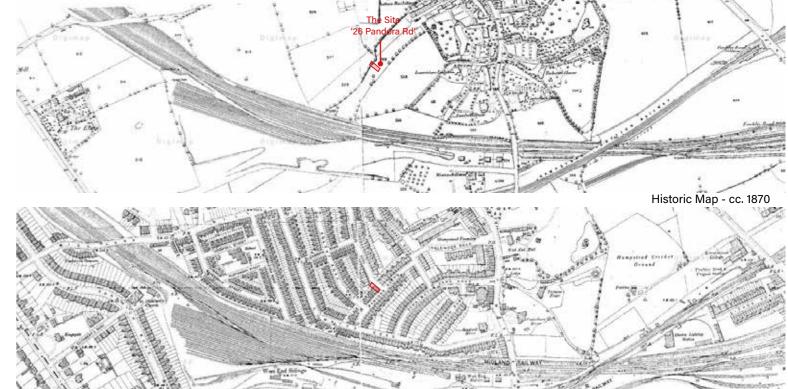
### Pandora Road

Pandora Road was constructed in the late 1870s and 345 houses were built between 1882 and 1894 in Sumatra, Solent, Holmdale, Glenbrook, Pandora and Narcissus Roads, moastly by J.I.Champman of Solent Road, G.W. Cossens of Mill Lane, Jabez Reynolds of Holmdale Road and James Gibb of Dennington Park Road. (\*\*)



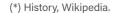












(\*\*) Hampstead: West End, A History of the County of Middlesex: Volume 9, Hampstead, Paddington. www.british-history.ac.uk

### Legend:

Approximate location of the site (Pandora Road)



Historic Map - cc. 1950

# **External Site Photos**

Front & Rear Views







© View from No. 24 Pandora Road looking at the property.



B View from top of the timber fence, downwards, into the sunken garden.



D View from Pandora Road, looking into Narcissus Road.



## **External Site Photos**

Front & Rear Views







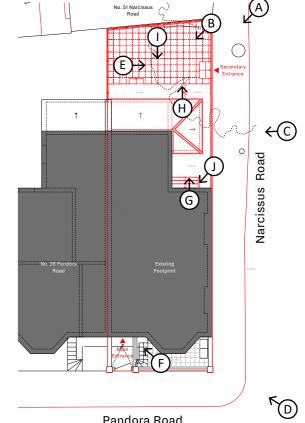


E) View from the sunken garden, looking at the secondary entrance.

G View from Bedroom II, looking at existing extension. H View from Kitchen window towards No. 51 Narcissus Road







Pandora Road

1 View from the sunken garden, looking at the existing extension.

J View from the street into the existing doors.



# **Internal Site Photos**

Main spaces proposed to change







N Existing Window in Bedroom II.



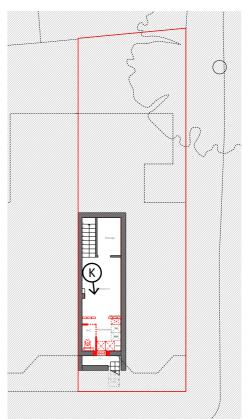
(L) Existing Ground floor (\*wall to be demolished).



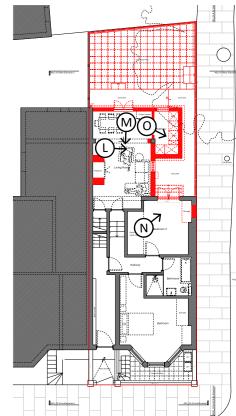
Existing Kitchen extension.



M Existing Ground floor (\*left wall to be demolished).



Existing Lower Ground Floor Plan



Existing Ground Floor Plan



# **Site Opportunities**

### Contextual analysis & orientation

### Site Characteristics & Response

The rear garden and existing extension are sunken, not being at the same level as the street, Narcissus Road.

The current extension has poor light conditions as the site only receives good light levels in the evenings.

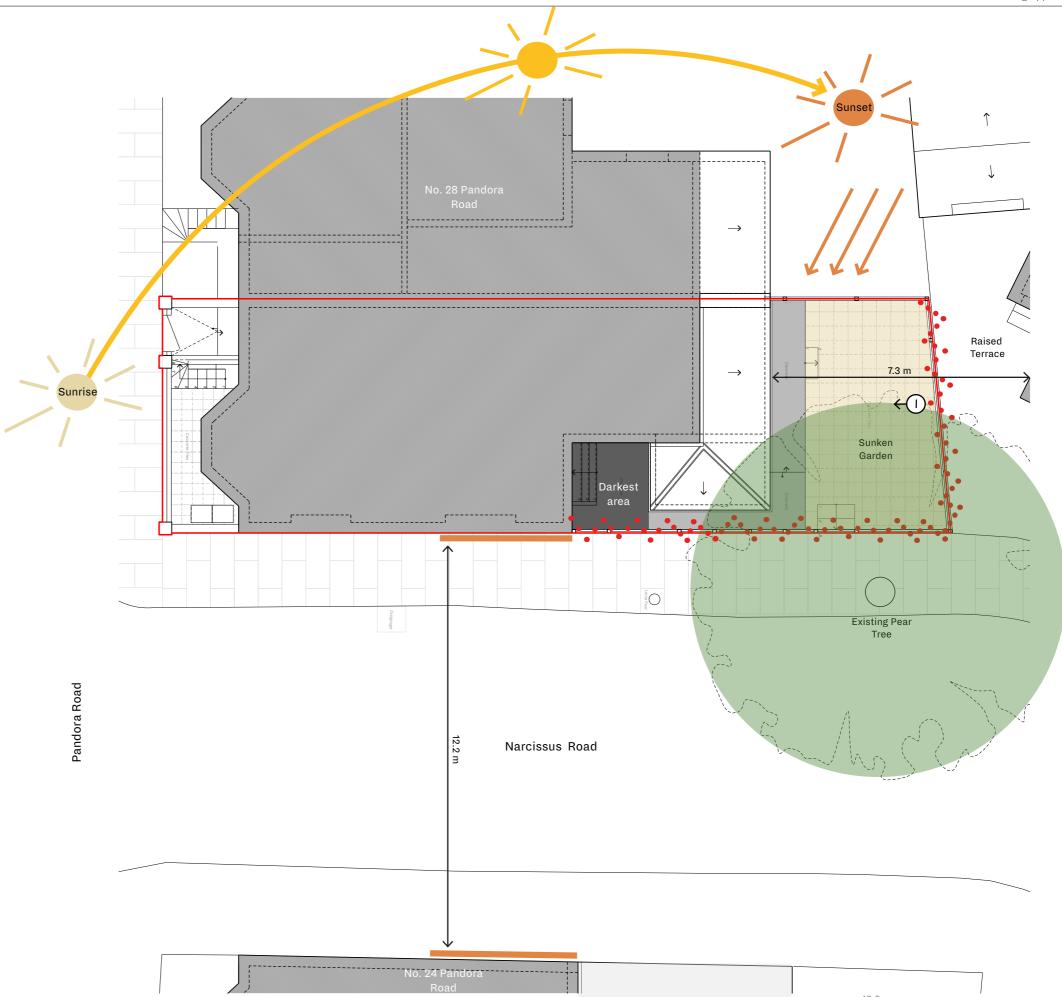
- The proposal is seeking to add skylights on the roof of the new extension, as well as glazing doors to the rear elevation to maximise natural daylight. Overlooking will be minimised with proposed new planting & curtains.

The current sunken garden is fully covered in concrete or concrete paving/tiles, representing very poor external amenity space.

- The proposals are seeking to improve the amenity space, by removing the concrete top and adding new areas of green landscape (small shrubs or grazing).

The current timber fence is old and weathered. This type of fence/ boundary wall is not in line with the current context, as the majority of the properties in the area have brick fences.

- The proposal is seeking to remove the timber fence and replace the Narcissus Rd side edges with brick walls (to match brick colour and type with existing one). A new, relocated entrance gate will be proposed at the edge of the garden.



### Legend:





Fence to be replaced



Existing Trees



Section two

# Planning History & Policy

# **Planning Policy**

### **Main Documents**

### Planning Policy & Site Specifics

The site is not located in any Conservation area. (it is located in proximity of West End Green Conservation Area).

The property is not Listed, nor Locally Listed.

### Camden Local Plan

The Council requires all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- character, setting and the form and scale of neighbouring buildings;
- the character and proportions of the existing building, where alterations and extensions are proposed;
- the impact on existing rhythms, symmetries and uniformities in the townscape;
- composition of elevations;

Policy 2: Design & Character, mentions that all developments shall be of high quality design, which complement and enhance the district local character and identity of West Hampstead.

### This is achieved by:

VI. New [...] extensions that respect and are sensitive to the height of existing buildings in their vicinity and setting.

VII. Extensions - and infill development - being in character and proportion with its context and setting, including the relationship to any adjoining properties.

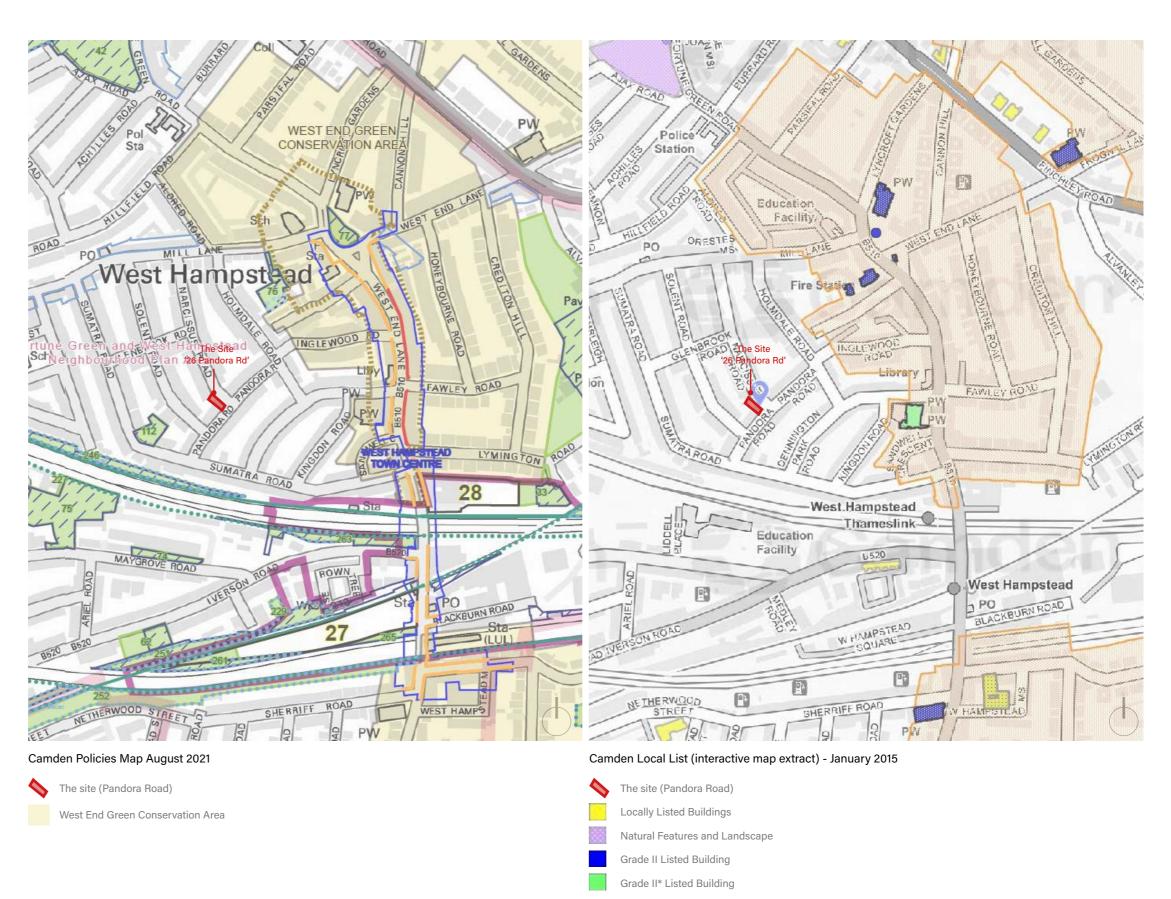


Main Planning Policy Documents



Black glazed ceramic tile street sign with white lettering stating 'Solent Road NW6' embedded in the garden wall brickwork at the eastern end of Solent Road. Significant for its quality of design and the contribution it makes to the detail and historic character of the local page.





### The site

### **Property History & Building Control History**

The property has limited planning history. The original house was built around 1870s as a single dwelling. In 1990, through an appeal, the property was subdivided into three self-contained flats.

The following information was publicly available on the Council's Planning search:

### Planning Applications

A Conversion of existing part divided three storey property into three self-contained flats as shown on drawings numbered 9081-01A and 02. Appeal received against refusal.

Application date: 26.04.1989; Decision date: 06.12.1989; (Ref.: PL/8905357/);

Appeal Decision: 28.11.1990.

### **Building Control Applications**

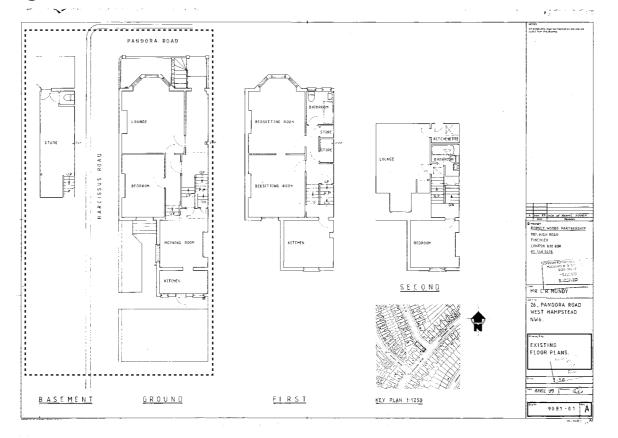
B Resubmitted as 93/2/0078A Conversion to 3 flats. (Ref.:93/2/0078; completion date: April 1993)
Documents not available.

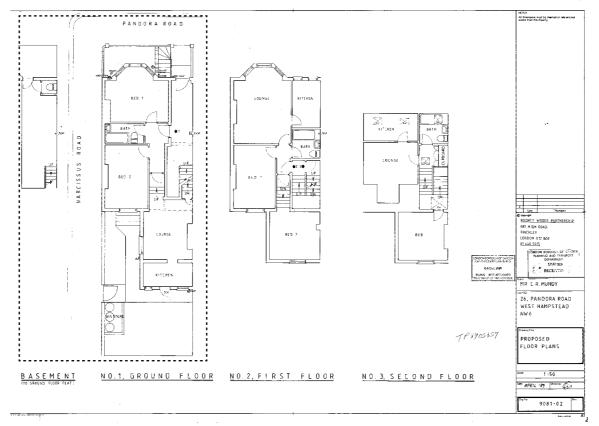
Single storey side extension at rear (Ref.:94/1/0027; completion date: June 1994) Documents not available.

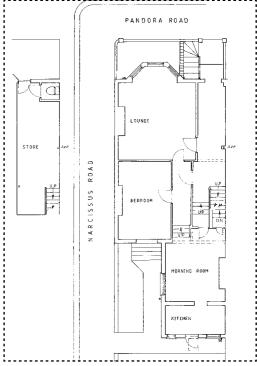
### Install a replacement consumer unit

(Ref.:20/CP/08969; completion date: November 2020) Documents not available.

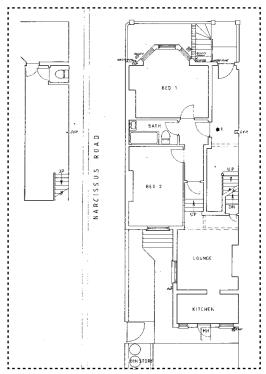
A Conversion into three self-contained flats.







Zoomed Area (Existing Floor Plans)



Zoomed Area (Proposed Floor Plans)



# **Planning Precedents**

### Rear Extensions & Flank wall Window precedents

Around the immediate surroundings of No. 26 Pandora Road, there are a few recent planning applications approvals for extensions and window additions to the side of the flank wall. Please see

A No. 2 Pandora Rd, NW6 (Ref.: 26333)

The installation of two new windows in the flank elevation.

Approved on 08.06.1978

The application documents (on the side, marked as A)

B No. 11 Holmdale Road, NW6 1BE (Ref.: 2015/6485/P)

External alterations including replacement of existing ground and lower ground floor rear elevation and demolition of garages to the rear. Approved on 15.01.2016

The application documents (on the side, marked as B).

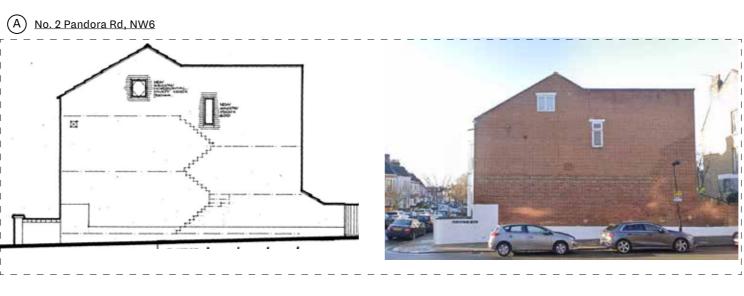
<u>No. 54 Narcissus Road, NW6 1TL</u> (Ref.: 2009/5173/P)

Erection of a single storey side extension at ground floor level to existing house (C3) following demolition of existing garage and garden shed.

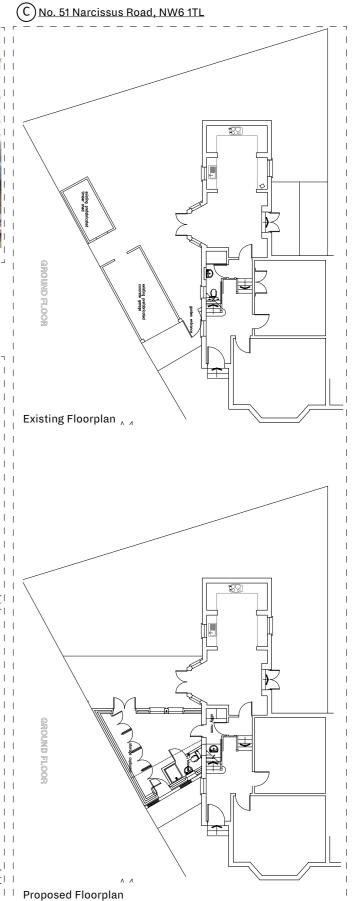
The application documents (on the side, marked as C).

### Key Plan (in red - Pandora Road):











# **Planning Precedents**

Rear Extensions & Flank wall Window precedents

Around the immediate surroundings of No. 26 Pandora Road, there are a few examples of various changes done to the flank wall.

### These include:

- Insertions of various glazing; (either at eye level or higher);
- Larger glazing proposal (No. 62 Holmdale Road);
- New Brick wall fence proposal; (No. 11 Holmdale Road);













No. 40 Solent Road

No. 62 Holmdale Road

No. 33 Glenbrook Road







No. 46 Dennington Park Road

No. 11 Holmdale Road - June 2008

No. 11 Holmdale Road - December 2020

### Planning History (Previous feedback)

### 2021/ 5807/PRE (Pre-Planning Application)

The client received the following Pre Application Advice (dated 17th February 2022) of the old scheme.

The items highlighted in yellow define some of the main conclusions and items which were addressed as part of this new application:

(1) Size - In this planning application, the side of the extension has been reduced, to align with the existing extension and neighbouring

(2) Roof shape - In this planning application, the roof has been amended to include a gable roof (similar to the existing roof);

3 Side windows - In this planning application, the side windows have been removed:

(4) Infill Extension - In this planning application, the new proposed ayout include an infill extension which runs until the boundary/ pavement; please see drawing nr. 500\_03;

(5) Window at Ground floor (flank wall) - We are proposing a small traditional-style (750 x 1100 mm) window to bedroom II.

We consider that this window is key to providing a high quality indoor space, with natural light, natural ventilation, necessary for any room. Neither the Camden Local Plan, nor the West Hampstead Neighbourhood plan mention these flank walls as being of specific interest (there are neither listed, nor part of any protected view).

In the immediate context of the site, there are several precedents of recently granted applications that include various window sizes installed within the flank walls. For example No. 11 Holmdale Road, No. 46 Dennington Park Road, No. 40 Solent Rd and other examples on the previous page etc.

(6) Boundary Brick wall - In this planning application, the fence will be replaced by a brick wall only to one side (Narcissus Road);

(7) Rooflights - In this planning application, the number and size of the rooflights has been reduced in number and scale (there are of similar scale to a neighbouring property - No. 24 Pandora Rd.;

Date: 17/02/2022 Our ref: 2021/5807/PRE Contact: Fergus Wong Direct line: 020 7974 2968

Email: fergus.wong@camden.gov.uk

Camden **Planning Solutions Team** Planning and Regeneration Culture & Environment London Borough of Camden 2nd Floor 5 Pancras Square

London N1C 4AG

www.camden.gov.uk/planning

Dear Ms. Nica

### Re: Flat 1, 26 Pandora Road, London NW6 1TT

Thank you for submitting a pre-planning application enquiry for the above property which was received with payment of £460.00 on 26th November 2021. This advice is given on the basis of the information provided by the applicant and a desktop-based assessment through aerial views and the Council's planning records. I apologise for the delay in responding to this enquiry.

#### <u>Development Description</u>

Pre-application advice is sought for the replacement of the existing rear extension and side boundary wall to Narcissus Road, and insertion of a new window to the flank wall.

### Site description

The application site is an end-of-terrace, two-storey property located on the corner of Pandora Road and Narcissus Road. The property is not listed and does not lie within a designated conservation area; however, it falls within the boundaries for Fortune Green and West Hampstead Neighborhood Plan. This application relates specifically to the flat situated over lower ground and ground floor levels.

### Assessment Design and Conservation Rear extension

As existing, there is a half-width single storey rear extension with a pitched roof. It

occupies approximately 27% of the garden space and is viewed as a subservient addition to the property. (1) The proposed full-width extension is overly large and would occupy an excessive

proportion of the rear garden space. Compared to the existing extension, the proposed extension occupies approximately 59% of the rear garden. This is excessive and would detract from the perception of openness and appearance of the property as a whole. This is particularly considering that the rear garden of this end-of-terrace property can be readily viewed from Narcissus Road, and therefore such a large rear extension would not be read as a subservient addition to the host property.

It is observed that neighbouring properties nos. 28 and 32 Pandora Road also have rear extensions to the same depth as the existing extension, and therefore any replacement extension should not protrude any deeper than this prevalent building line. In terms of its detailed design, the valley roof form with high boundary walls is considered inappropriate and does not reflect according to the considered inappropriate according to the considered inappropriate according to the considered inappropriate according to the considered

nsidered inappropriate and does not reflect any prevalent roof form in the area. Given the height of the roof to the boundaries, the extension would be highly visible above the side boundary wall along Narcissus Road. In conjunction with the windows that are proposed to the side and the dark timber cladding, this would result in an incongruous

and alien addition to the rear to an otherwise attractive period property. Overall, the rear extension as proposed is excessively large in both footprint and height and the roof form is incongruous and inappropriate; it would be readily visible in public views and would therefore harm the appearance of both the host property as well as the surrounding area. The applicant should instead consider an infill extension alongside the existing extension, no greater in depth than the existing extension and sloping down to the boundary walls.

Insertion of new window to flank wall

The flank wall to the property (facing onto Narcissus Road) is an attractive blank flank wall. It must be noted that the flank wall to no. 24 Pandora Road, on the other side of Narcissus Road, is also blank and forms an attractive pair with the application site.

(5) It is considered that inserting a window at ground floor level would detract from the attractive nature of this blank flank wall, and the demarcation of the end of the terrace. The insertion of the window would therefore be unacceptable in design terms

Replacement of side boundary wall

The replacement of the existing timber fence to the side boundary with a brick wall of the same height is uncontentious in design terms.

#### Residential Amenity

Rear extension

Although the extension is tall at approximately 3.1m at the boundary, it is noted that there is a high boundary wall as existing, and therefore there would not be any material increase in overshadowing or sense of enclosure. However, the large expanse of

glazing from the rooflights to the extension may lead to unacceptable light spill and loss of privacy to the upstairs flats. The extent of glazing should be reduced and blinds be

Given that the new window would face onto the blank flank wall of no. 24 Pandora Road, there would be no loss of privacy as a result.

<u>Conclusion</u>
- The proposed rear extension is excessively large, and its detailed appearance and roof form would have a negative impact on the appearance of the host property and the surrounding area.

The insertion of a window into the flank wall would detract from the attractive nature of this blank flank wall, and is therefore unacceptable in design terms.

The proposed extension is unlikely to lead to any unacceptable sense of enclosure of overshadowing; however the rooflights may lead to unacceptable light spillage and loss of privacy affecting the flats above

Any replacement extension should not protrude any deeper into the rear garden than the existing extension, and slope down to the side boundary wall so as to reduce its visual impact when view

Please see Appendix 1 for supplementary information and relevant policies

Thank you for using Camden's pre-application advice service; I trust this is of assistance in

Please Note: This document represents an initial informal officer view of your proposal based on the information available to us at this stage and would not be binding upon the Council, nor prejudice any future planning application decisions made by the Council.

Yours sincerely

Feraus Wona

Planning Officer Planning Solutions Team

Relevant Constraints

Relevant History: Relevant planning history at application site:

8905357 – Planning permission granted 29 November 1989
Conversion of existing part divided three storey property into three self-contained flats as shown on drawings numbered 9081-014 and 02. Appeal received against refusal.

Relevant planning history at neighbouring properties: 2014/1924/P - Certificate of lawfulness granted 21 May 2014

Relevant Policies and Guidance: National Planning Policy Framework (2021) The London Plan (2021)

Camden Local Plan (2017)

A1 - Managing the impact of development D1 - Design

Camden Planning Guidance (2021) CPG - Design CPG - Amenity CPG - Home Improvements

Fortune Green and West Hampstead Neighbourhood Plan (2015)

Planning application information: The following documents should be included with the submission of a full planning

Completed householder planning application form

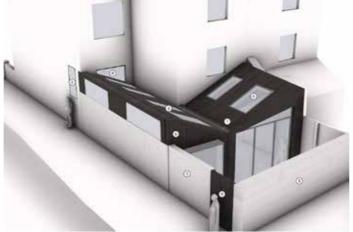
Completed nousenoider planning application form
The appropriate fee
Location Plan (scale 1:1250)
Site Plan (scale 1:200)
Floor plans and roof plan (scale 1:50) labelled 'existing' and 'proposed'
Elevations and sections (scale 1:50) labelled 'existing' and 'proposed'
Decision and Assess Extraordia.

Please see the following link to supporting information for planning applications: ent/planning-applications/making-an-application/suppo

We are legally required to consult on applications with individuals who may be affected we are regainly required to consists on applications with individuals with they be artiscued by the proposals. We notify neighbours by displaying a notice on or near the site and placing an advert in the local press. We must allow 21 days from the consultation start date for responses to be received. We encourage you to engage with the residents of adjoining

Non-major applications are typically determined under delegated powers. However, if we receive three or more objections from neighbours, or an objection from a local amenity group, the application will be referred to the Members Briefing Panel if officers recommend it for

Extracts from the Advice received, following Pre-Application request - pages 1 to 4









Extracts from the Pre-Application document - previously proposed scheme (from left to right: 3D aerial view, proposed rear elevation, proposed side elevation, proposed ground floor plan, proposed roof plan)

Section three

# Design & Views

# **Street View 01**

Existing & Proposed Views from Narcisuss Road



Existing Street View from Narcissus Road (Eye level)



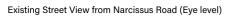
Proposed Street View from Narcissus Road (Eye level)



# Street View 02

Existing & Proposed Views from corner of the site







Proposed Street View from Narcissus Road (Eye level)



# **Proposed Rear Extension**

Artistic View



**Existing Rear Elevation** 







Proposed Rear Elevation



Section four

# Area Schedule

# Area Schedule

Existing & Proposed Area

Site Area: 109 m<sup>2</sup>

Existing GIA: 91.3 m<sup>2</sup>

Proposed GIA: 99.6 m<sup>2</sup>





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