

# Flat 1 - NO. 26 PANDORA ROAD

---

Design & Access Statement & Photographs

05<sup>th</sup> April 2022



Laura Nica Studio

---

Architecture | Fabrication | Digital Art

Document Author:

**Laura Nica Studio**

93 Elm Park Gardens  
London  
SW10 9QW

+44 (0) 20 741 3176 181  
a.laura.nica@gmail.com

\* Copyright Laura Nica Studio. No implied license exists. These drawings and documentation should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings.

# Site Location

Aerial & contextual view



# Contents

Section One	Introduction	page 6
	Location & Description	
	Site History	
	External & Internal Photographs	
	Site Opportunities	
Section Two	Planning History & Policy	page 12
	Policy	
	Planning History	
	Context - Planning Precedents	
	Pre-Application Feedback	
Section Three	Design & Views	page 18
	Proposed Street view 01	
	Proposed Street view 02	
	Proposed Rear extension	
Section Four	Area Schedule	page 22

Section one

# *Introduction*

# Site Location

## Location & Site Description

**Site Description**

The site, No. 26 Pandora Road (Flat No.1, at Ground Floor level), is located in West Hampstead, NW6 1TT, in London Borough of Camden.

The property consists of a three-bedroom flat situated in an end-terrace maisonette. The flat is split across two levels (ground floor and a lower ground floor level), with a rear sunken garden, which can be accessed from Narcissus Road too, through a timber gate.

At the rear of the property, there is a mature Pear tree, but the garden has no other vegetation present.

**Location**

The site is situated in West Hampstead, in London Borough of Camden, in a residential area. The site is located on a corner of Pandora Road and Narcissus Road. The site is not Listed, nor situated in any Conservation Area.

**Summary of Proposed Works**

This application seeks permission for the following proposed works, specifically:

- Proposed new rear & infill side extension.
- Proposed new external brick boundary wall.
- Proposed new side window on the flank wall.



01 Aerial View 01



02 Aerial View 02

Site Location Map (Sc. 1: 1250 @A3)





# Site History

## Evolution & Age

### Site History

An area, known as “le Rudyng” (indicating a woodland clearing) in the mid-13th century, had by 1534 come to be called West End. It was then a freehold estate belonging to Kilburn Priory, and was so called because it was at the west end of another, larger estate.

[1] West End Lane (named as such by 1644), the main road through the area, is still bent at a right-angle at the north and south ends where it connects to Finchley Road and Edgware Road respectively. This is because the lane used to form the boundary between a number of different estates.[1]

By the early 17th century several houses were present, and by the middle of that century London merchants were building larger houses in the area. By 1800 West End was a hamlet of two to three dozen houses and cottages located in parkland, mostly on the west side of West End Lane and Fortune Green Lane, and north of the present-day railway lines. West End Lane had been rerouted, making it straighter and lying further to the west than previously.

In 1851 residents were mainly agricultural labourers, gardeners, craftsmen and tradespeople, with an innkeeper, two beershop keepers, a schoolmistress and a few gentry.

### West Hampstead

Transformation of the area started with the construction of three railway lines across West End Lane: Hampstead Junction Railway, built by 1857; Midland line, opened in 1868; and Metropolitan & St. John's Wood line, opened in 1879. West Hampstead was the name adopted by Metropolitan & St. John's Wood for its station on West End Lane.

The period of greatest development for the area was the 15 years from the opening of that station, with estates on the west side of West End Lane being turned from farmland and parkland into housing estates. (\*)

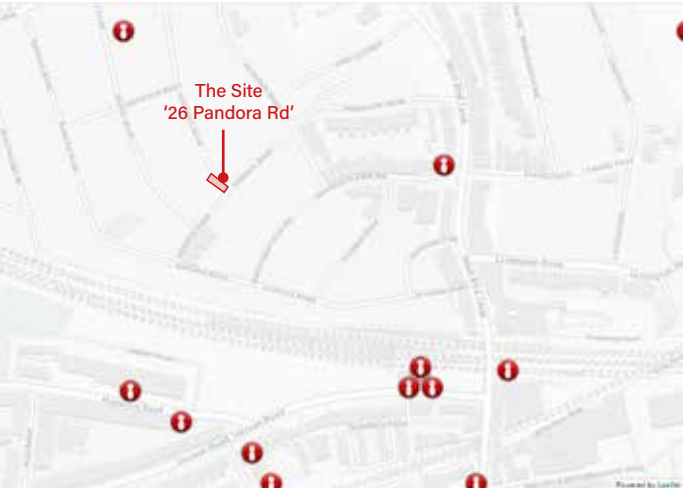
### Pandora Road

Pandora Road was constructed in the late 1870s and 345 houses were built between 1882 and 1894 in Sumatra, Solent, Holmdale, Glenbrook, Pandora and Narcissus Roads, moastly by J.I.Champman of Solent Road, G.W. Cossens of Mill Lane, Jabez Reynolds of Holmdale Road and James Gibb of Dennington Park Road. (\*\*)

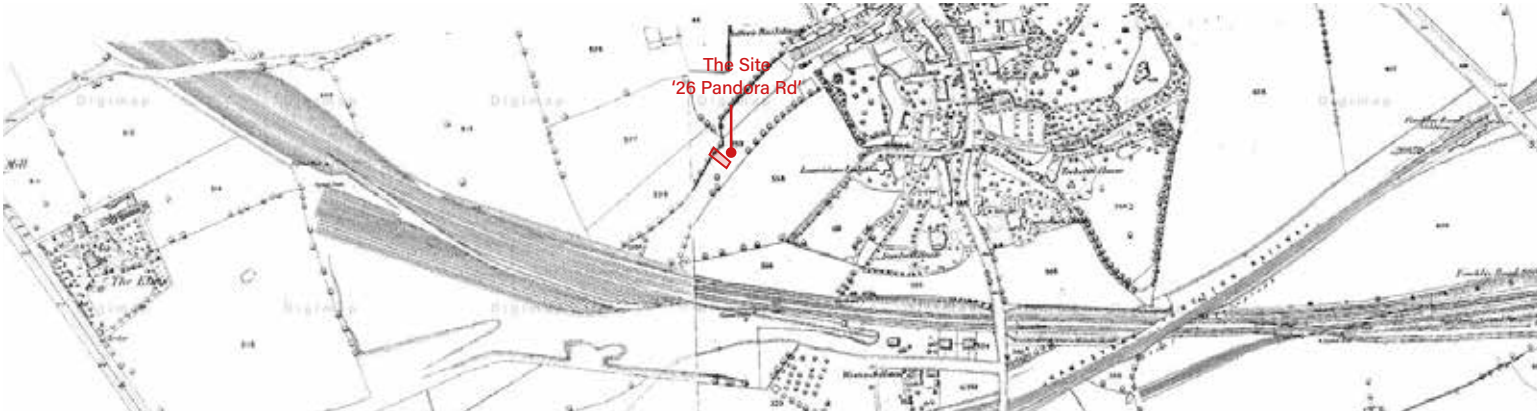
(\*) History, Wikipedia.  
(\*\*) Hampstead: West End, A History of the County of Middlesex: Volume 9, Hampstead, Paddington. www.british-history.ac.uk

### Legend :

— Approximate location of the site (Pandora Road)



WWII Bombing Map



Historic Map - cc. 1870



Historic Map - cc. 1890



Historic Map - cc. 1910



Historic Map - cc. 1950



# External Site Photos

## Front & Rear Views



(A) View from Narcissus Road looking at the existing rear extension.



(B) View from top of the timber fence, downwards, into the sunken garden.



(C) View from No. 24 Pandora Road looking at the property.



(D) View from Pandora Road, looking into Narcissus Road.



# External Site Photos

## Front & Rear Views



(E) View from the sunken garden, looking at the secondary entrance.

(F) Front elevation Lower GF window.

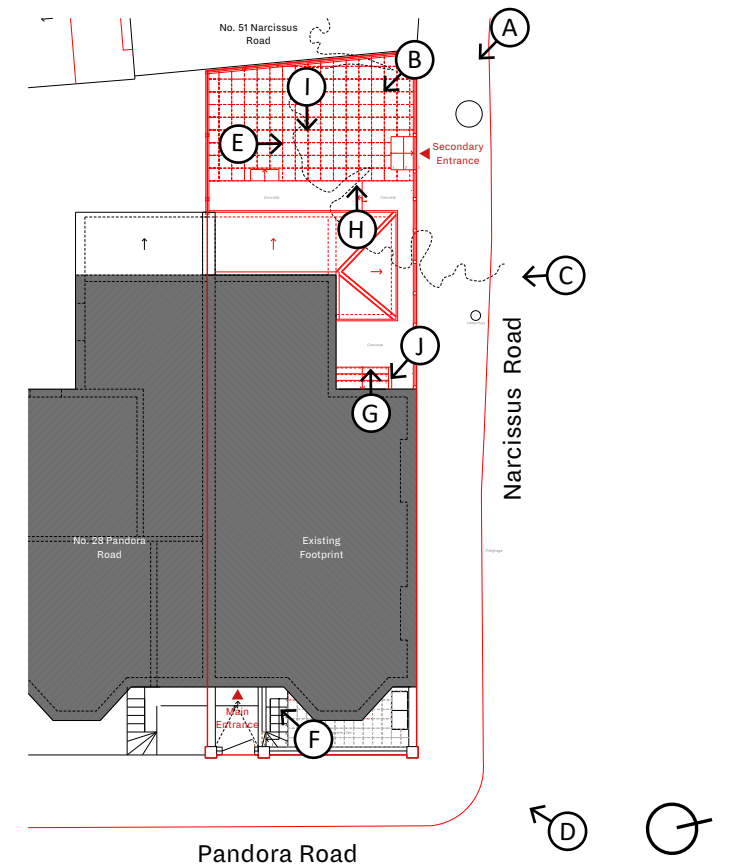
(G) View from Bedroom II, looking at existing extension.

(H) View from Kitchen window towards No. 51 Narcissus Road



(I) View from the sunken garden, looking at the existing extension.

(J) View from the street into the existing doors.





# Internal Site Photos

Main spaces proposed to change



(K) Existing glass wall (\*to be demolished) at lower ground floor level.



(L) Existing Ground floor (\*wall to be demolished).



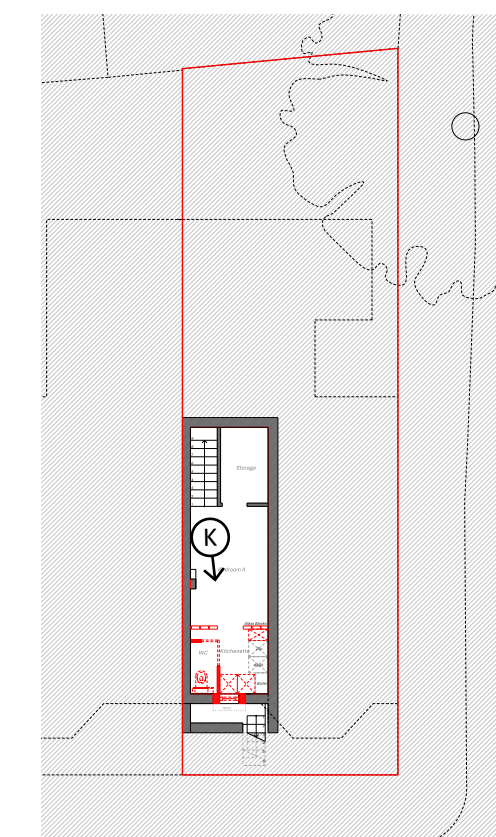
(M) Existing Ground floor (\*left wall to be demolished).



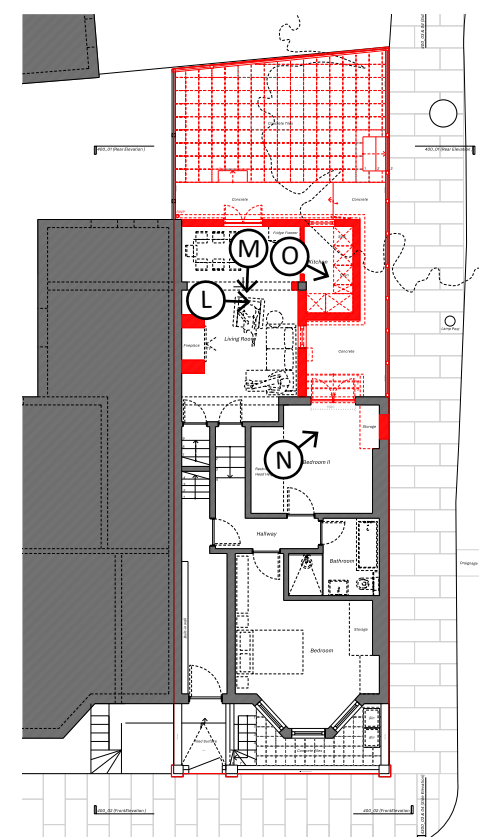
(N) Existing Window in Bedroom II.



(O) Existing Kitchen extension.



Existing Lower Ground Floor Plan



Existing Ground Floor Plan



# Site Opportunities

## Contextual analysis & orientation

### Site Characteristics & Response

The rear garden and existing extension are sunken, not being at the same level as the street, Narcissus Road.

The current extension has poor light conditions as the site only receives good light levels in the evenings.

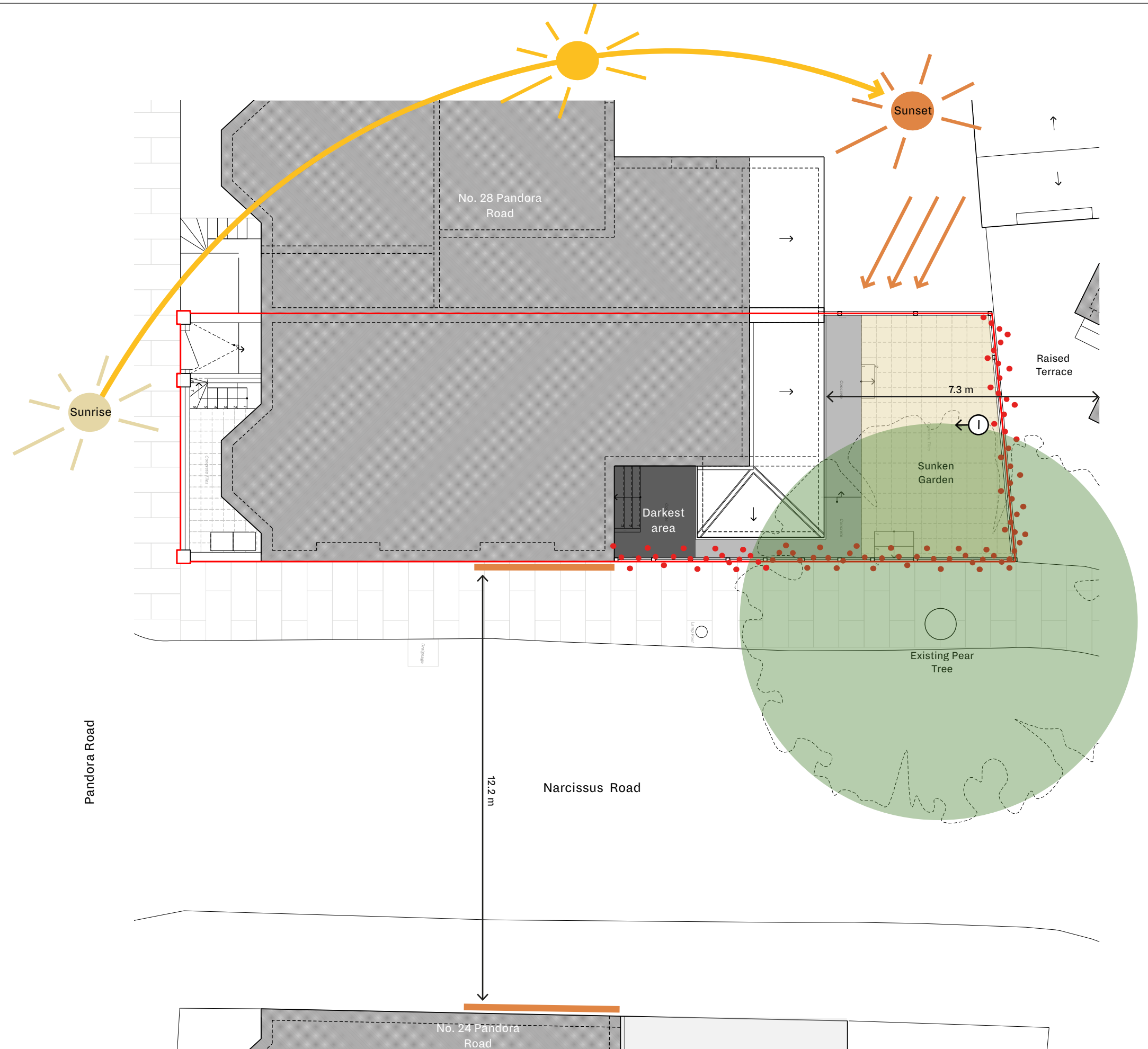
- The proposal is seeking to add skylights on the roof of the new extension, as well as glazing doors to the rear elevation to maximise natural daylight. Overlooking will be minimised with proposed new planting & curtains.

The current sunken garden is fully covered in concrete or concrete paving/tiles, representing very poor external amenity space.

- The proposals are seeking to improve the amenity space, by removing the concrete top and adding new areas of green landscape (small shrubs or grazing).

The current timber fence is old and weathered. This type of fence/ boundary wall is not in line with the current context, as the majority of the properties in the area have brick fences.

- The proposal is seeking to remove the timber fence and replace the Narcissus Rd side edges with brick walls (to match brick colour and type with existing one). A new, relocated entrance gate will be proposed at the edge of the garden.



### Legend :

- Sun Path
- Fence to be replaced
- Existing Trees

Section two

# *Planning History & Policy*



# Planning Policy

## Main Documents

### Planning Policy & Site Specifics

The site is not located in any Conservation area.  
(it is located in proximity of West End Green Conservation Area).

The property is not Listed, nor Locally Listed.

### Camden Local Plan

The Council requires all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- character, setting and the form and scale of neighbouring buildings;
- the character and proportions of the existing building, where alterations and extensions are proposed;
- the impact on existing rhythms, symmetries and uniformities in the townscape;
- composition of elevations;

Policy 2: Design & Character, mentions that all developments shall be of high quality design, which complement and enhance the district local character and identity of West Hampstead.

This is achieved by:

- VI. New [...] extensions that respect and are sensitive to the height of existing buildings in their vicinity and setting.
- VII. Extensions - and infill development - being in character and proportion with its context and setting, including the relationship to any adjoining properties.

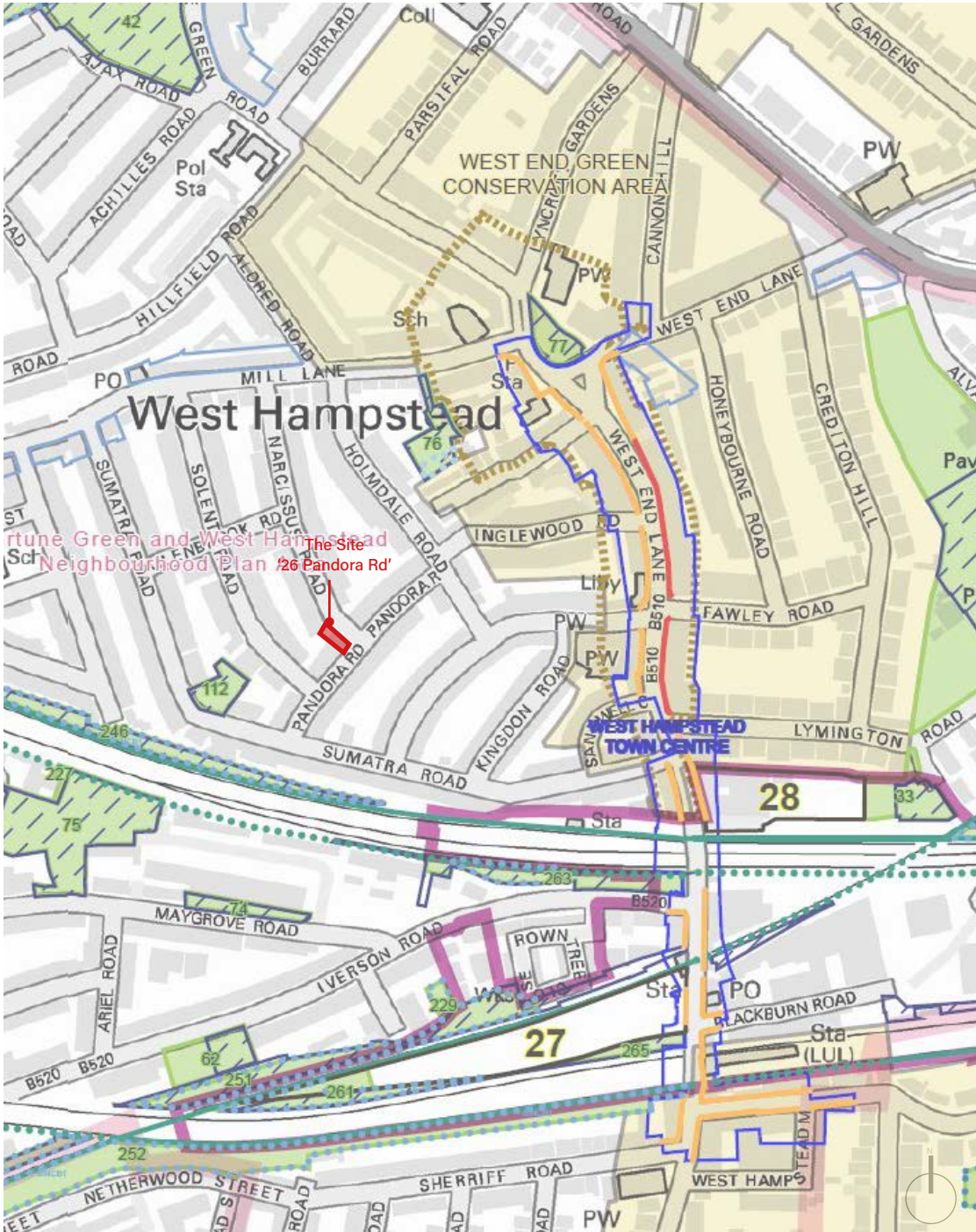


Main Planning Policy Documents



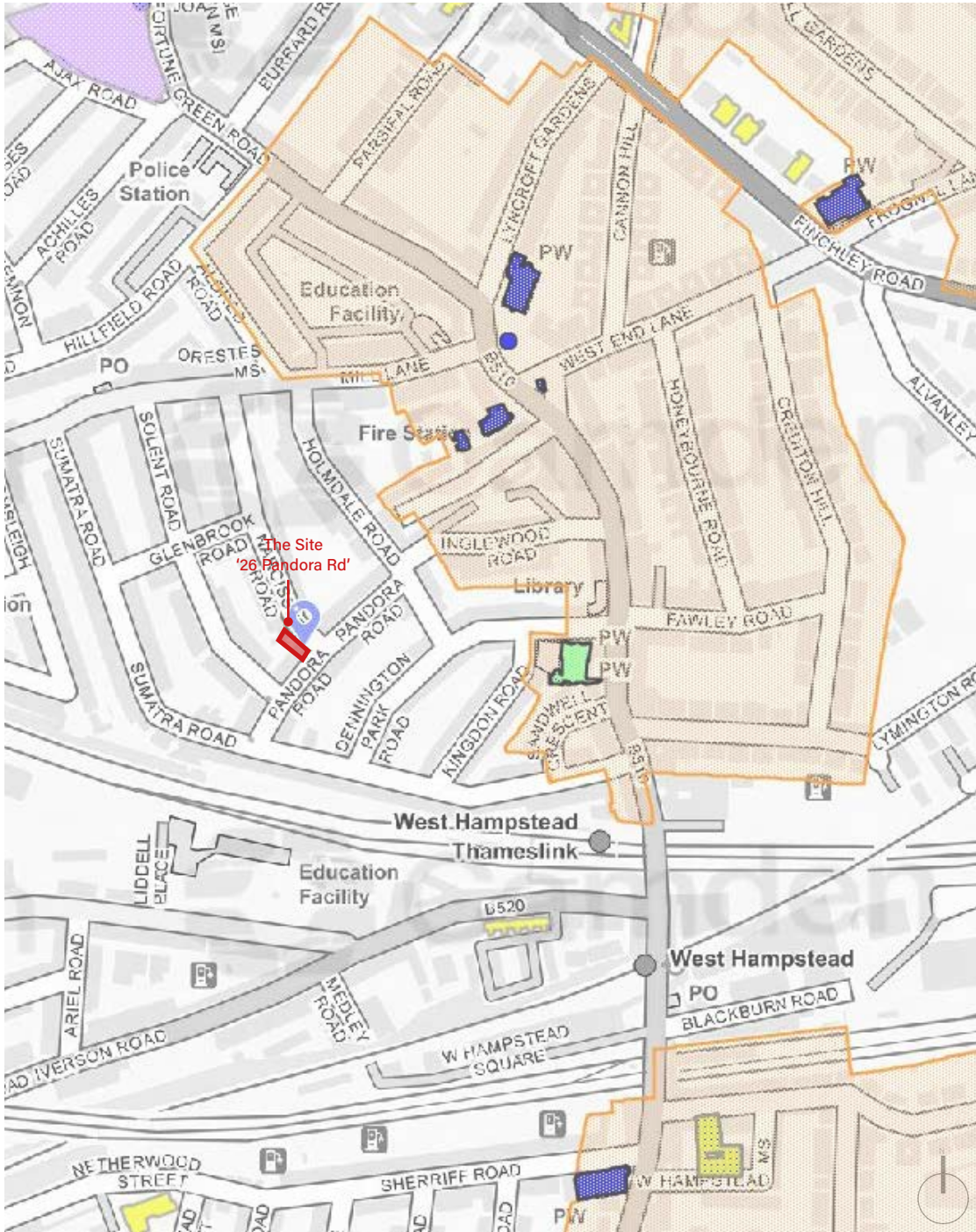
Black glazed ceramic tile street sign with white lettering stating 'Solent Road NW6' embedded in the garden wall brickwork at the eastern end of Solent Road. Significant for its quality of design and the contribution it makes to the detail and historic character of the local area.

Locally Listed Feature (street sign)



Camden Policies Map August 2021

- The site (Pandora Road)
- West End Green Conservation Area



Camden Local List (interactive map extract) - January 2015

- The site (Pandora Road)
- Locally Listed Buildings
- Natural Features and Landscape
- Grade II Listed Building
- Grade II\* Listed Building



# The site

## Property History & Building Control History

The property has limited planning history. The original house was built around 1870s as a single dwelling. In 1990, through an appeal, the property was subdivided into three self-contained flats.

The following information was publicly available on the Council's Planning search:

### Planning Applications

- A** Conversion of existing part divided three storey property into three self-contained flats as shown on drawings numbered 9081-01A and 02. Appeal received against refusal. Application date: 26.04.1989; Decision date: 06.12.1989; (Ref.: PL/8905357/);

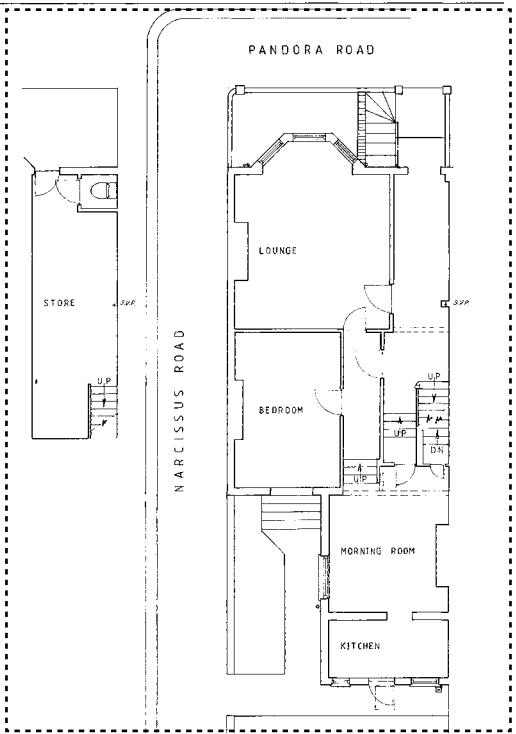
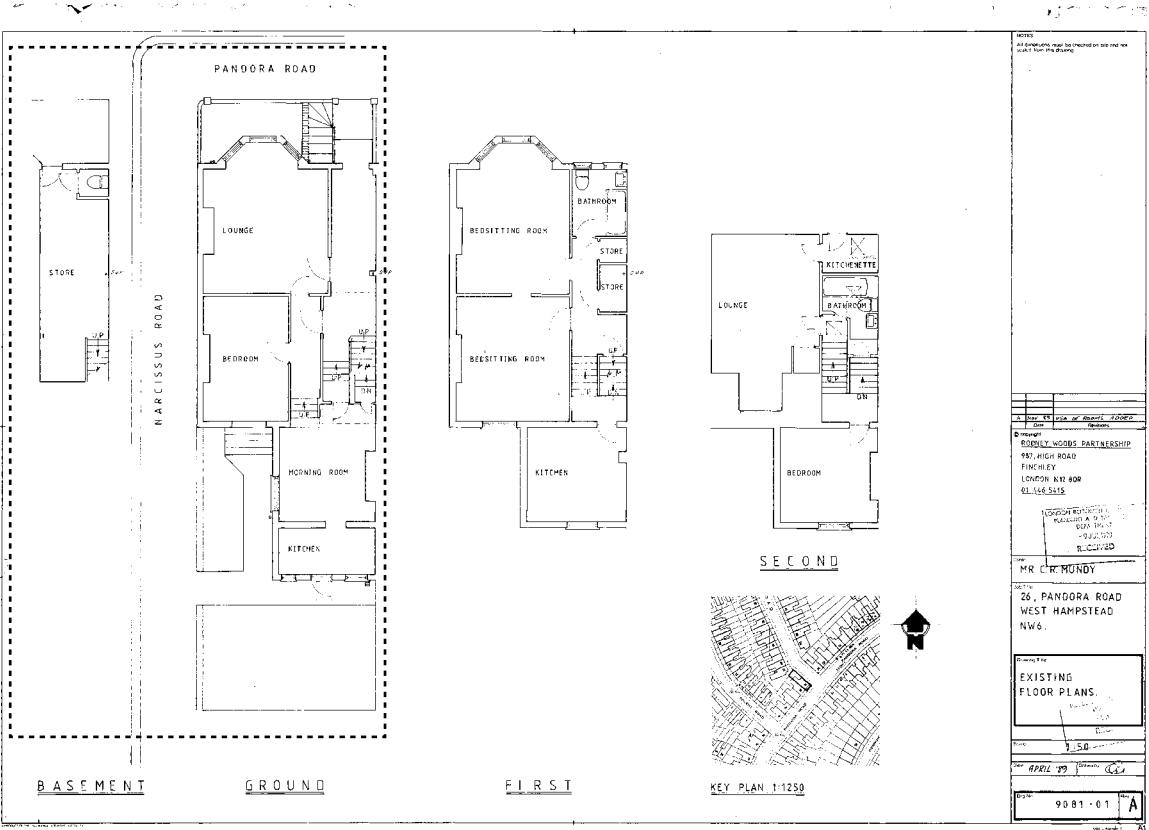
Appeal Decision: 28.11.1990.

### Building Control Applications

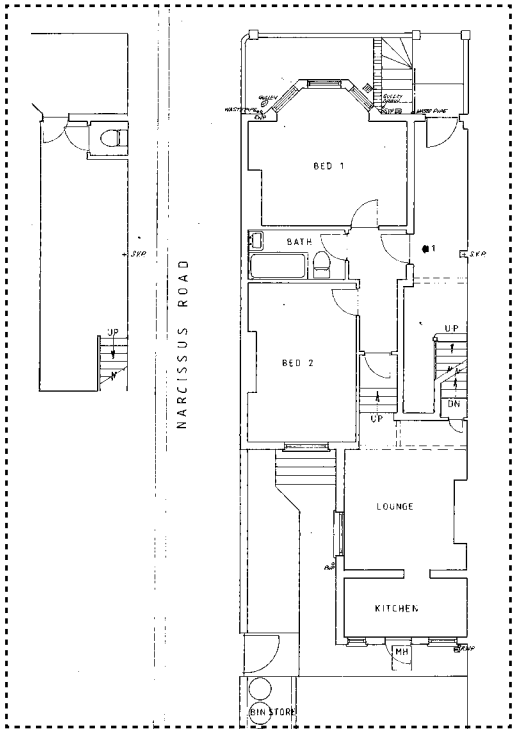
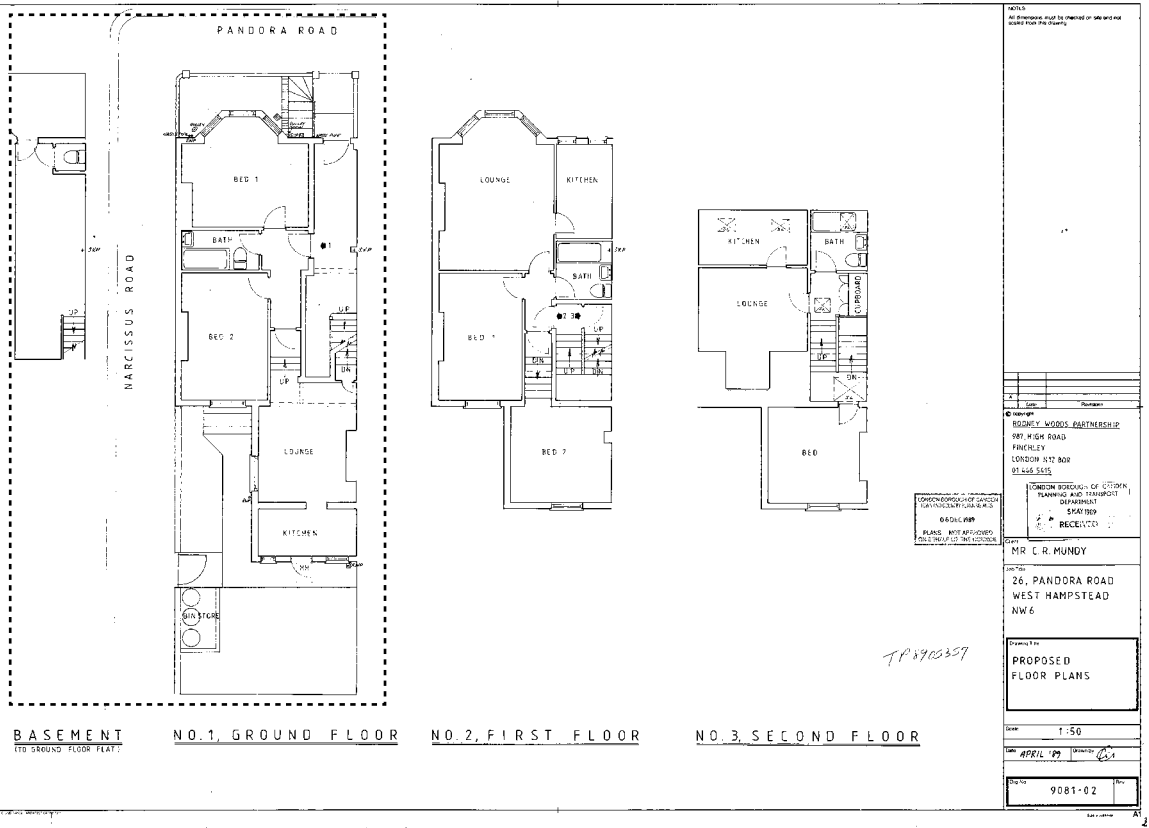
- B** Resubmitted as 93/2/0078A Conversion to 3 flats. (Ref.:93/2/0078; completion date: April 1993) Documents not available.
- C** Single storey side extension at rear (Ref.:94/1/0027; completion date: June 1994) Documents not available.

Install a replacement consumer unit (Ref.:20/CP/08969; completion date: November 2020) Documents not available.

### A Conversion into three self-contained flats.



Zoomed Area (Existing Floor Plans)



Zoomed Area (Proposed Floor Plans)



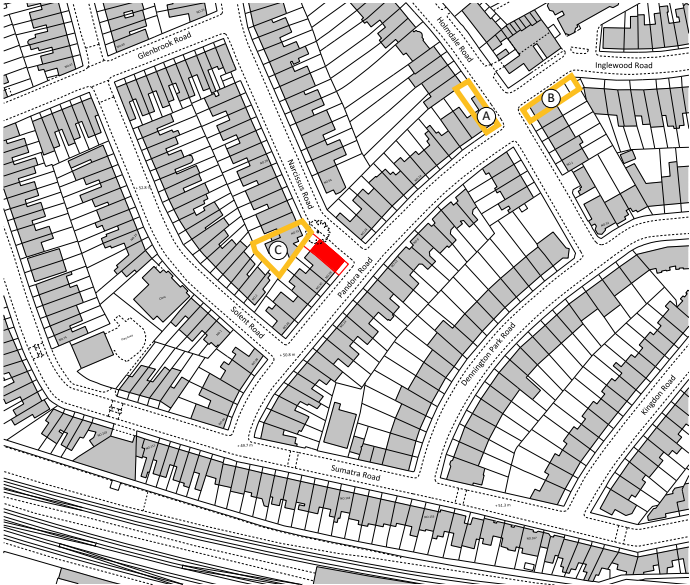
# Planning Precedents

## Rear Extensions & Flank wall Window precedents

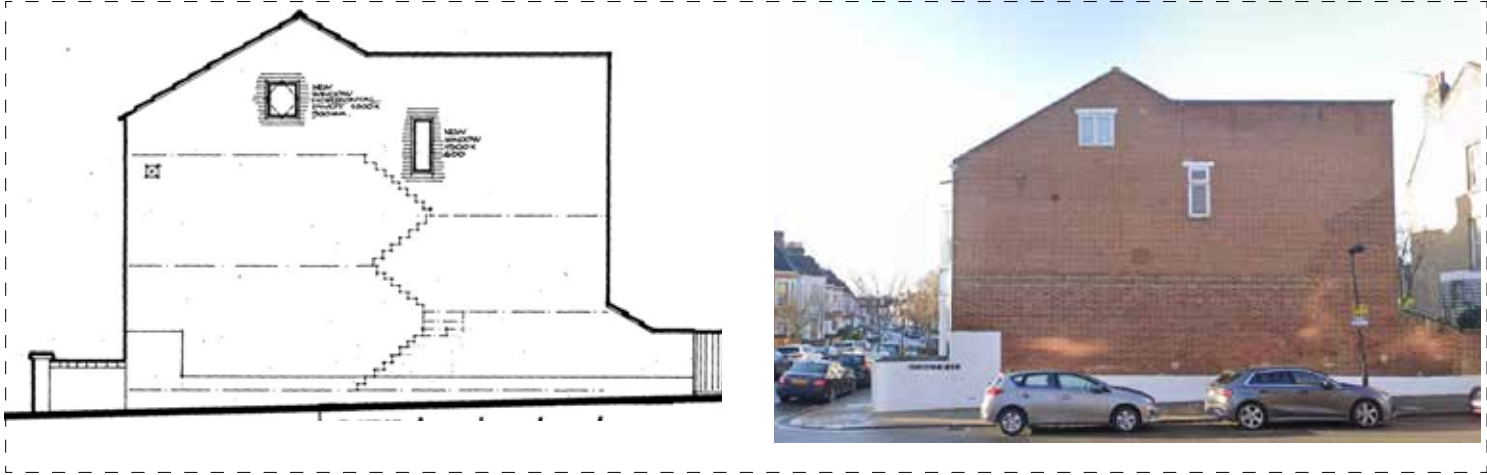
Around the immediate surroundings of No. 26 Pandora Road, there are a few recent planning applications approvals for extensions and window additions to the side of the flank wall. Please see below.

- A** No. 2 Pandora Rd, NW6  
(Ref.: 26333)  
The installation of two new windows in the flank elevation.  
Approved on 08.06.1978  
The application documents (on the side, marked as A)
- B** No. 11 Holmdale Road, NW6 1BE  
(Ref.: 2015/6485/P)  
External alterations including replacement of existing ground and lower ground floor rear elevation and demolition of garages to the rear.  
Approved on 15.01.2016  
The application documents (on the side, marked as B).
- C** No. 54 Narcissus Road, NW6 1TL  
(Ref.: 2009/5173/P)  
Erection of a single storey side extension at ground floor level to existing house (C3) following demolition of existing garage and garden shed.  
Approved on 15.12.2009  
The application documents (on the side, marked as C).

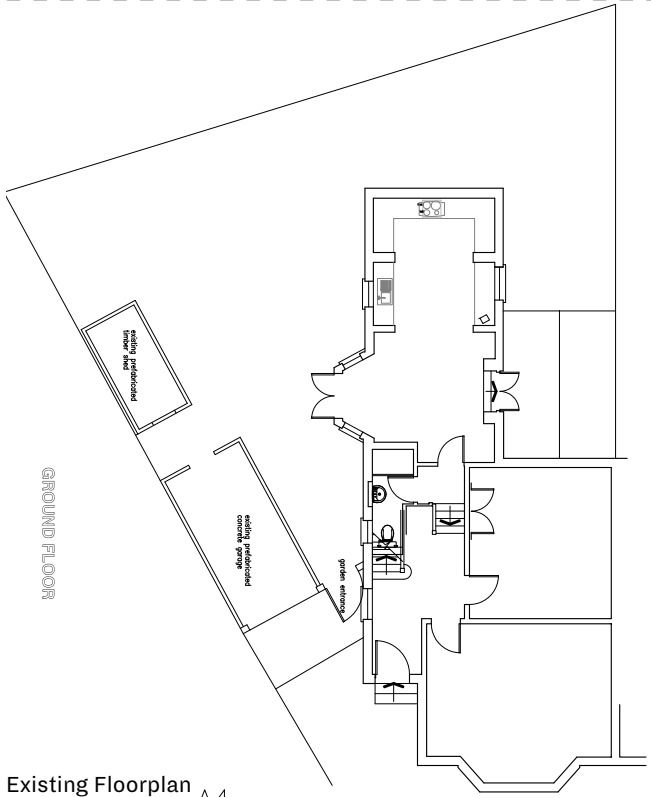
Key Plan (in red - Pandora Road):



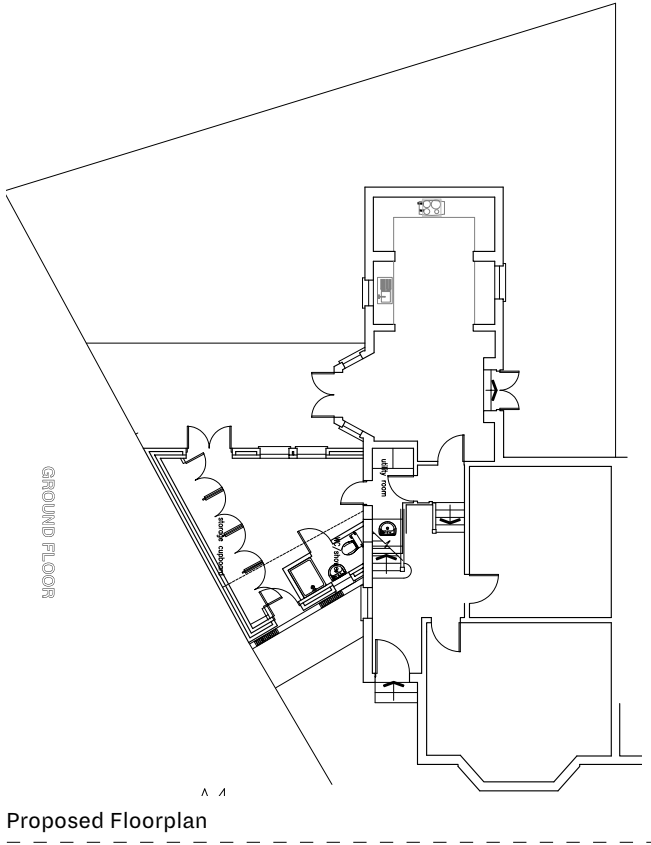
**A** No. 2 Pandora Rd, NW6



**C** No. 51 Narcissus Road, NW6 1TL



**B** No. 11 Holmdale Road, NW6 1BE





# Planning Precedents

## Rear Extensions & Flank wall Window precedents

Around the immediate surroundings of No. 26 Pandora Road, there are a few examples of various changes done to the flank wall.

- These include:
- Insertions of various glazing; (either at eye level or higher);
  - Larger glazing proposal (No. 62 Holmdale Road);
  - New Brick wall fence proposal; (No. 11 Holmdale Road);



No. 40 Solent Road



No. 62 Holmdale Road



No. 33 Glenbrook Road



No. 46 Dennington Park Road



No. 11 Holmdale Road - June 2008



No. 11 Holmdale Road - December 2020





Section three

# *Design & Views*



# Street View 01

Existing & Proposed Views from Narcissus Road



Existing Street View from Narcissus Road (Eye level)



Proposed Street View from Narcissus Road (Eye level)



# Street View 02

Existing & Proposed Views from corner of the site



Existing Street View from Narcissus Road (Eye level)



Proposed Street View from Narcissus Road (Eye level)



# Proposed Rear Extension

Artistic View



Existing Rear Elevation



Proposed Materiality



Proposed Rear Elevation

Section four

# *Area Schedule*



# Area Schedule

Existing & Proposed Area

Site Area :	109 m <sup>2</sup>
Existing GIA:	91.3 m <sup>2</sup>
Proposed GIA:	99.6 m <sup>2</sup>



Laura Nica Studio

---

Architecture | Fabrication | Digital Art

93 Elm Park Gardens  
London  
SW10 9QW

+44 (0) 20 741 3176 181  
[a.laura.nica@gmail.com](mailto:a.laura.nica@gmail.com)