

Location Plan 1 Patshull Place Ref. 2021/3612/P



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Site photos



Arial View



FRONT ELEVATION OF 1 PATSULL PLACE WITH GARAGE TO LEFT HAND SIDE



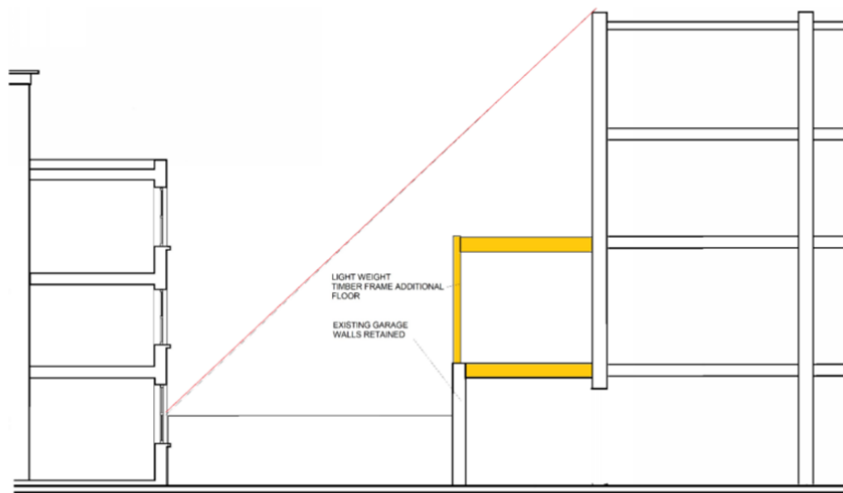
END ELEVATION



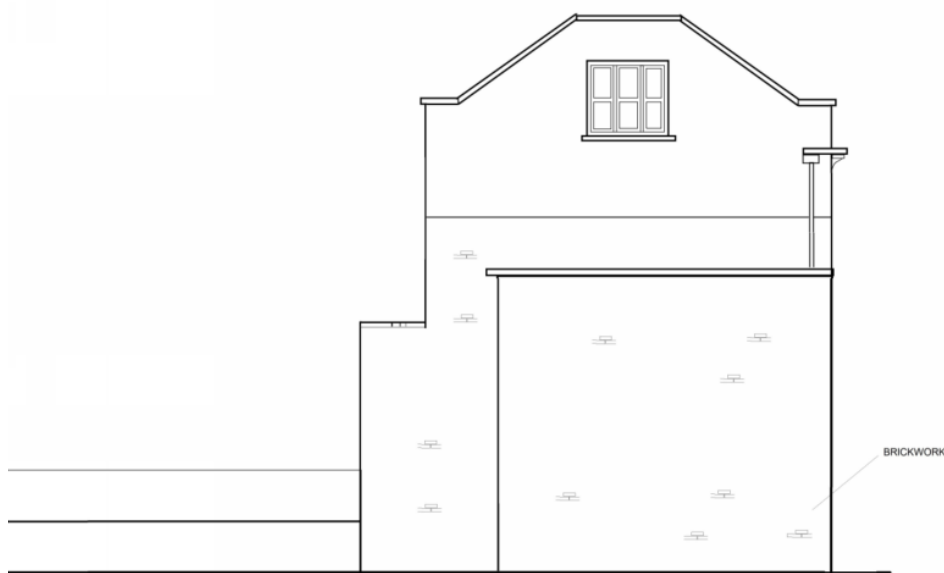
REAR ELEVATION FROM GARDEN



PROPOSED FRONT ELEVATION



SECTION THROUGH 1 PATSHULL PLACE AND 25 LAWFORD ROAD



PROPOSED SIDE ELEVATION

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	20/09/2021
		N/A		Consultation Expiry Date:	19/09/2021
Officer			Application Number(s)		
Josh Lawlor			2021/3612/P		
Application Address			Drawing Numbers		
1 Patshull Place London NW5 2LA			See decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of first floor extension over existing garage in association with the conversion of garage to provide additional residential accommodation.					
Recommendation(s):		Grant Conditional Planning Permission subject to a S106 agreement			
Application Type:		Householder Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:			No. of responses	4	No. of objections	4
Summary of consultation responses:	Site notices displayed on Lawford Road and Patshull Place 25/08/2021 to 18/09/2021					
	Press advert 26/08/2021 to 19/09/2021					
	Four separate addresses objected to the application:					
	25A Lawford Road, 25D Lawford Road, 25B Lawford Road, 25 Lawford Road					
	1. One address objected on the grounds that there are incorrect drawings , stating that the line drawn as the lowest window of 25 Lawford Road to the top of extension has missed the window at the back of 25 Lawford Road lower ground floor flat.					
	Officer response: The Section AA drawing shows the nearest windows accurately					
	2. Three addresses objected on grounds of heritage harm - the proposed extension will be visible from the street and would change the symmetry/look and feel of the road which is in a conservation area					
	Officer response: See Design and Heritage section of this report					
	3. Four addresses objected on the grounds that the extension will overshadow the garden of 21 & 23 Lawford Road					
	4. Two addresses objected due to overlooking - the proposed front window will overlook part of the garden of 25 Lawford Road and 27 Lawford Road					
	5. On address objected on grounds that there would be an overbearing impact / sense of enclosure to the garden of 25 Lawford Road					
	Officer Response: See Amenity section of report for response					
	6. One address objected on the grounds that there might be future planning applications for either a window, balcony or roof terrace within or on top of the proposed extension, and any of these would have a significant impact on our privacy.					
	Officer Response: The application is assessed on what is currently proposed.					
	7. One address questioned the ownership of the wall at the boundary of 25 Lawford Road and the garage next to 1 Patshull Place been established i.e. is it a party wall.					

	<p><i>Officer Response: this is a Party Wall matter which is not material to the assessment of the application</i></p> <p>8. One address questioned the structural stability of the wall and garage foundations can safely accommodate the extension.</p> <p>9. One address states it is not clear how the applicants propose to maintain the structure.</p> <p><i>Officer Response: these points would be assessed under Building Control regulations.</i></p> <p>10. One address states there will be disruption to the neighbours.</p> <p><i>Officer response: Noise nuisance from construction works is controlled by Section 60 and Section 61 Control of Pollution Act 1974.</i></p> <p>11. Will the council be raising the curb and extend the permit parking bay.</p> <p><i>Officer response: See Transport section of report</i></p> <p>12. Two address states the application will devalue adjacent properties in particular the flats comprising 25 Lawford Road</p> <p>13. One address states there may be covenants preventing the building on top of this garage</p> <p>14. The proposed structure will increase the amount of rainwater the garden of 25 Lawford Road would need to soak away</p> <p><i>Officer response: The above points are not material planning issues and are therefore not relevant to the assessment of the application.</i></p>
CAAC comments	<p>A letter was sent to the Bartholomew Estate & Kentish Town CAAC</p> <p>No comments received</p>
Kentish Town Neighbourhood Forum	<p>A letter was sent to the Kentish Town Neighbourhood Forum</p> <p>No comments received</p>

Site Description

The building is a three storey semi-detached villa with a narrow plot width and shallow front garden. There is an attached garage to the south with timber doors. The rear garden of 25 Lawford Road backs onto the garage. The site is within the Bartholomew Estate Conservation Area and is identified as making a positive contribution to the character and appearance of the conservation area.

Relevant History

None relevant

Relevant policies

National Planning Policy Framework 2021

The London Plan 2021

Camden Local Plan (2017)

A1 Managing the Impact of Development

D1 Design

D2 Heritage

Kentish Town Neighbourhood Plan 2016

D3 Design principles

Camden Planning Guidance (CPG):

Amenity - January 2021

Design - January 2021

Home improvements - January 2021

[Bartholomew Estate conservation area statement](#) (PDF)

Assessment

1. The proposal

1.1. The proposal is for the erection of a first floor extension over the existing garage in association with the conversion of the garage to provide additional residential accommodation. The existing timber garage doors would be replaced with similar timber doors with glazed upper panels. The first floor would be of exposed brick with two traditional sash windows. The enlarged garage building would be 6.1 in height and extend 6.7m back from the front building line. It would be made of brick to match the existing.

2. Assessment

2.1. The principal considerations material to the determination of this application are as follows:

- The effects upon the character and appearance of the host property, and surrounding conservation area (Design and Heritage)

- The effects on the residential amenities of neighbouring occupiers (Residential Amenity)
- Transport

3. Revisions

3.1. The following revisions were sought in order to create a less top heavy extension which appears more subordinate and symmetrical with the main building:

- The proportions of the extension were revised so that the ground floor brickwork is 2/3 with the top 1/3 being render, and lining through with the main house.
- The height of the converted garage doors have been increased.
- There are now two smaller windows rather than one large window

4. Design and Heritage

4.1. Policy D1 requires development to be of the highest architectural and urban design quality, which improves the function, appearance and character of the area. Policy D2 requires development to preserve and, where appropriate, enhance the character and setting of Camden's conservation areas. Policy D3 of the Kentish Town Neighbourhood Plan requires that proposals must be well integrated into their surroundings and reinforce and enhance local character.

4.2. Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area when considering applications relating to land or buildings within that Area.

4.3. The effect of this section of the 1990 Act is that there is a statutory presumption in favour of the preservation of the character and appearance of Conservation Area. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption. The NPPF provides guidance on the weight that should be accorded to such harm and in what circumstances such harm might be justified (paras. 199-208). Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

4.4. The extension would be a subordinate extension which is sympathetic to the age and character of the existing building. It would be made of traditional materials and the massing would be secondary to the host building. The extension spans the same width as the existing garage and therefore would not lead to a significant reduction in views into the rear gardens of Lawford Road from the Patshull Place. It would preserve the existing gap between the buildings on Lawford Road and is acceptable in terms of townscape.

4.5. The ground floor timber doors with glazed top panels would have the character of a converted garage. The window details show a traditional box sash window, recessed 100mm back from the face of brickwork to show appropriate depth and relief. High resolution photographs of a brick sample panel have been provided to show appropriate colour, texture and pointing with the host building. The details show that the extension would not appear out of place within the street or harm the visual amenity of the surrounding area.

4.6. As such, the proposal is considered acceptable in terms of its detailed design, height and massing, and would be in accordance with policies D1 and D2 and policy 3 of the Kentish Town Neighbourhood Plan.

5. Residential Amenity

- 5.1. Policy A1 of the Camden Local Plan seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, as well as impacts caused from the construction phase of development.
- 5.2. The existing building is three storey with a roof extension. The proposed extension to the garage element would be 5.4m below the highest point of the existing building. As a result the overbearing impact to the rear garden of 25 Lawford Road would not be significant or warrant refusal. The garden area would retain an open aspect to the north and south as existing. The garden would still continue to provide a high quality external amenity area for its occupants. The Section AA shows that the extension would comfortably pass the 25 degree test when measured against the ground floor window of 25 Lawford Road. As a result the extension would not obstruct light to neighbouring windows.
- 5.3. There is no window proposed on the side flank of the extension. The windows to the front would have the same separation distance as the existing windows on the host building. The extension would not give rise to overlooking concerns.
- 5.4. In terms of the impacts from construction, the scale of development would not necessitate the requirement for a construction management plan.
- 5.5. Overall, the proposal would not give rise to adverse impact on neighbouring residential amenity in accordance with policy A1, and the development is acceptable in this regard.

6. Transport

- 6.1. A Transport Officer has confirmed that the redundant crossover would need to be replaced with a new curb. A highways contribution is being produced to cost this work. The application would be granted subject to a S106 agreement for this work to be costed at the applicant's expense. The works would be carried out by the councils' contractors.

7. Section 106 Agreement heads of terms:

- Highways contribution – to be assessed

8. Conclusion

- 8.1. The proposed development is considered acceptable in terms of design, transport, heritage and impact on neighbouring residential amenity. The development is deemed consistent with the objectives and policies identified above and it is recommended that planning permission is granted.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th December 2021, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/3612/P
Contact:
Tel: 020 7974
Date: 26 November 2021

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Archplan
1 Millfield Place
London
N6 6JP

Dear Sir/Madam

FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
1 Patshull Place
London
NW5 2LA

Proposal:
Erection of first floor extension over existing garage in association with the conversion of garage to provide additional residential accommodation
Drawing Nos: PP10, PP11-A, PP12, PP13, PP14-A, PP15-A, PP16-A, PP21, Boxframe window section, Brick details received 23/11/2021 .

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017 and policy 2 of the Kentish Town Neighbourhood Plan 2016.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: PP10, PP11-A, PP12, PP13, PP14-A, PP15-A, PP16-A, PP21, Boxframe window section.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing

Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate