

PARTY WALL ACT 1996
OWNER/S MUST ENSURE ALL
PARTY WALL AGREEMENTS ARE
IN PLACE BEFORE ANY BUILDING
WORKS ARE TO COMMENCE

IMPORTANT GENERAL NOTE
The specification is to be read in conjunction with the plans/section details, and other associated Structural details as may be provided.

All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Slandards as necessary.

All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person's immediately.

The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions.

The Client/Building Owner must othain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site. Please note that construction must only commence once planning, building control and any other approvals have Legend 1:100 been received. It is the responsibility of the owner/contractor to commence prior to these approvals. Walls Removed 3 4 10m 67 New Walls 1st Existing Walls to Remain Mar-22 39a Priory Terrace, London, NW6 4DG Proposed Boundary Wall Plans Sound Separating Walls NE AP PT39A-01-1003 Planning Issue Proposed Extensions

