



DESIGN & ACCESS STATEMENT

**CAMDEN STABLES MARKET
LONDON NW1**

PATALAB Architecture

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RIBA 
Chartered Practice

INTRODUCTION



This Design & Access statement is submitted in support of the planning application and advertisement consent application for the works to the upper basement level of the Atrium building in Stables Market, located within the London borough of Camden.

On 5th August 2021, planning application (ref. 2020/5876/P) received resolution for approval at planning committee subject to S106 Agreement. The planning permission was for the change of use of the site for interactive entertainment use which included a combination of immersive theatre and team challenges (sui generis). This application seeks external works to contribute to the permitted change of use.

The proposals include the installation of metal glazed windows and doors along the basement entrance and the addition of louvres and a fire escape door.

The application site covers an area of approximately 0.19 hectares and is located within Stables Market, which fronts Chalk Farm Road and is bounded by Camden Lock Place to the east and Regent's Canal to the south. Stables Market is located within the Regent's Canal Conservation Area and includes a number of listed buildings and structures, including the Grade II* Listed Horse Hospital directly in front of the site, as well as buildings which make a positive contribution to the character and appearance of the Conservation Area.

This Design and Access Statement should be read in conjunction with the application drawings.

Site and Context

The proposed works are located in the upper basement level of Camden Stables Market. The frontage is situated down steps which lead on to the basement levels. The site formally consisted of open shop-fronts (with shutters) and currently has hoardings to block access for the unoccupied space as shown in the photographs presented within this document.

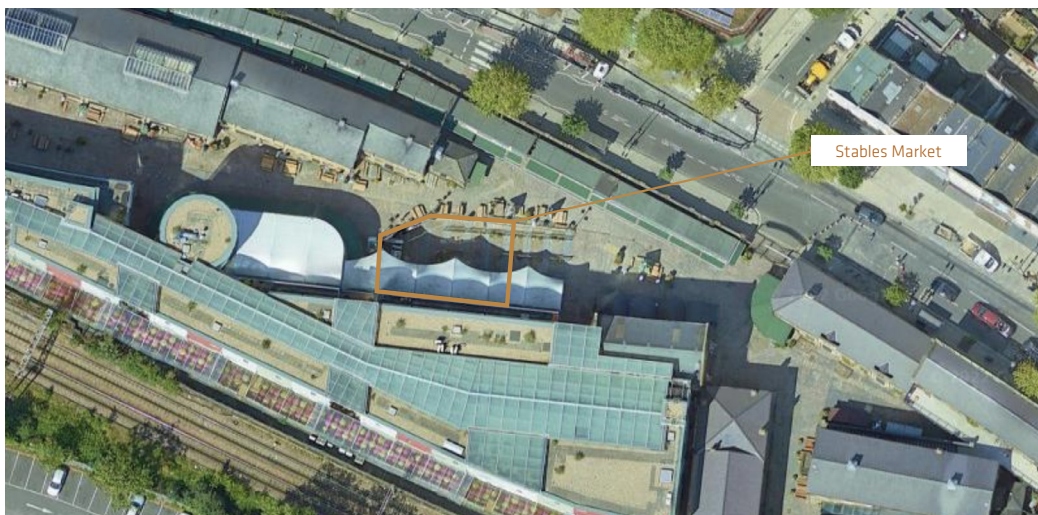


FIG. 01 - Aerial view (Image courtesy of Google Maps)

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EXISTING CONDITION OF THE SITE



FIG. 02 - View from the internal hoarding



FIG. 03 - View of existing walls to be altered



FIG. 04 - View of adjacent wall



FIG. 05 - View of existing hoarding

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PROPOSAL

Proposed Frontage

The proposals seek to replace the hoardings situated on site with glazed doors and windows that will sit under the existing brick fascia, whilst proposing a continuation of the brick fascia (same profile and material as existing) across the north side elevation. The columns and mullion profiles of the metal framing for the glazing will replicate the spacing of the ground floor level to remain consistent and align the columns with the levels above. The frames will be painted black to match those within the wider current market.

Proposed In-filled steps

The steps which meet the west elevation frontage line will be in-filled to match the upper basement finish floor level and achieve a level threshold.

Proposed Signage

The signage proposed reflects the signage around Camden market in terms of size and design as we will be proposing a black metal signage matching the context. It will be located on the three sides of the brick fascia and will be halo lit with the luminance level being a maximum of 450 cd/m2.

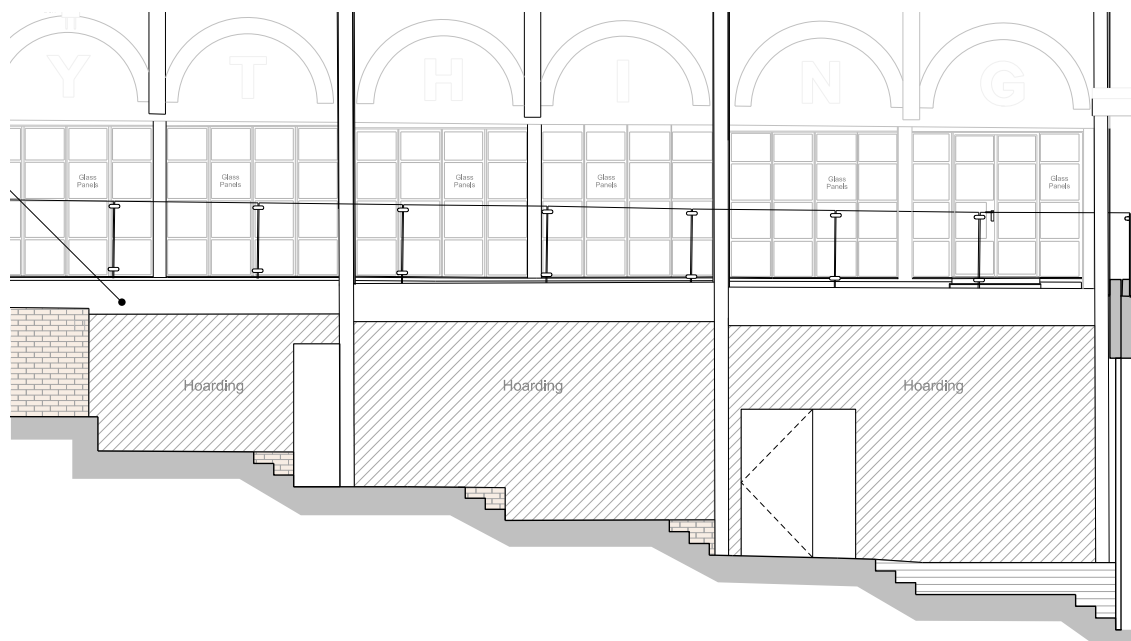


FIG. 8 - Existing North Elevation

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FIG. 9 - Exterior Sketch - View from top of stairs



FIG. 10 - Exterior Sketch - Remodelling of landing

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FIG. 11 - Exterior Sketch - Front Glazing



FIG. 12 - Exterior Sketch - Section

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PROPOSAL - SIGNAGE

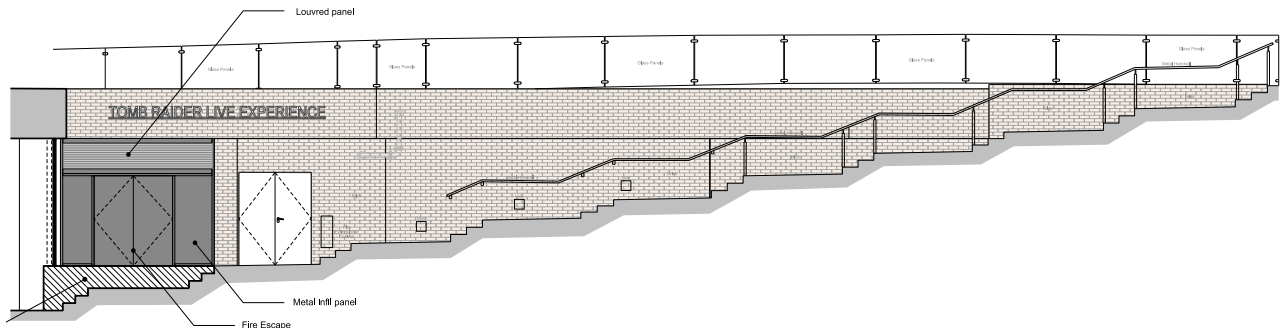


FIG. 13 - Proposed South Elevation - Signage

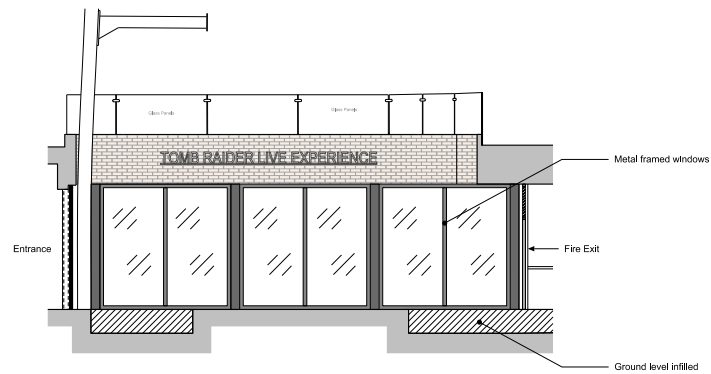


FIG. 14 - Proposed West Elevation - Signage

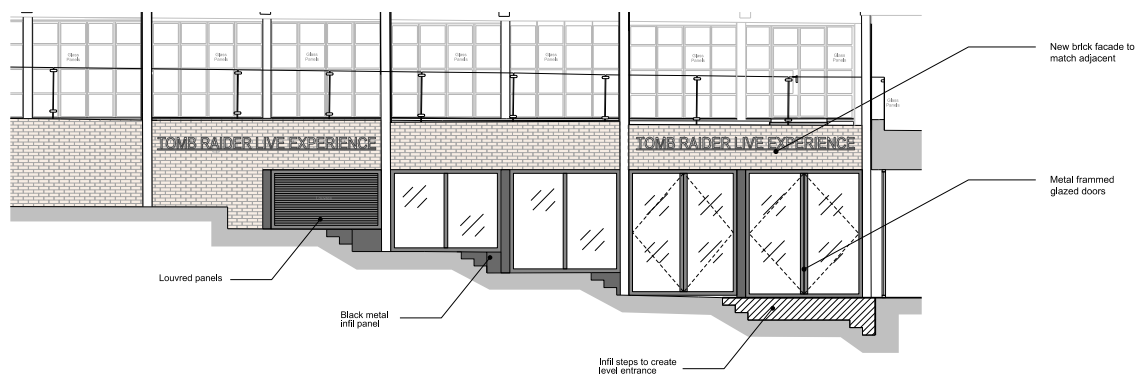


FIG. 15 - Proposed North Elevation - Signage

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ACCESS STATEMENT



The proposed entrance will have a flush threshold. No other amendments are proposed and the approach remains as existing.

The principal access to the site will be via the existing stepped access from the North Yard into the basement. Level access is also available via an existing lift from Saddle Row, a short distance to the south.

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CONCLUSION

The proposed elevations are a further step towards the provision of a vibrant new leisure use within the Lower Basement and Upper Basement of the Atrium Building, Stables Market, Camden, London, NW1 (the 'Site').

The activation of the proposed frontage will provide benefits within the Stables Market, allowing visitors to use the space and circulate around. The materials proposed are sympathetic towards the market and to the conservation area.

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