

Delegated Report		Analysis sheet		Expiry Date:	30/09/2021
(Members Briefing)		N/A / attached		Consultation Expiry Date:	24/10/2021
Officer			Application Number(s)		
Obote Hope			2021/3790/P		
Application Address			Drawing Numbers		
16 Millfield Lane London N6 6JD			Refer to decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Demolition and replacement of boundary treatment adjacent to the highway, new landscaping arrangement including the removal of 9 trees; addition of a new front porch, installation of solar panels and replacement refuse store and minor changes to the front fenestration.					
Recommendation(s):		Grant Full Planning Permission			
Application Type:		Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. electronic	00		
Summary of consultation responses:	Press notice: published on 28/10/2021 Site notice: displayed from 22/10/2021					
CAAC/Local groups* comments: *Please Specify	<p><u>Highgate Conservation Area Advisory Committee</u></p> <p>The Highgate CAAC raised no objection to the works to the house. However, as far as the boundary treatment is concerned we feel it is important that any wall is kept low(no more than 1m,) and the railings on top the wall should be no higher than the existing fence. Also shrubbery etc should be planted along the boundary to soften the effect of the wall etc and maintain open leafy aspect of the road.</p> <p>Officer comment</p> <p><i>The application has been revised to include a lower boundary enclosure. There are no railings being proposed, the existing fencing is timber and it is proposed to install low-level brick wall with timber fencing above to match the height of the neighbouring properties. Please refer to paragraph 3.2 below for further info.</i></p>					

Site Description

The site comprises of a large detached dwelling located at the southern end of Millfield Lane, where it returns east towards Highgate West Hill. The house is located in the northern corner of the bend in the road and is post war property located in generous landscaped gardens behind an electronic gate. The property has been extended and remodelled with accommodation over three floors including a roof garden and several balconies.

The property is located within the Highgate Village Conservation Area and is considered a positive contributor. This is an area designated as a private open space.

Relevant History

2015/1600/P - Erection of a single storey rear extension. **Granted** planning permission 12/05/2015.

2015/5899/P - Creation of a new driveway entrance/exit, including a new vehicle crossover, demolition of existing entrance gate, erection of fencing across the existing entrance and the removal/replacement of trees. **Granted** planning permission subject to S106 legal agreement 15/12/2015.

2012/3876/P - The installation of new balustrades at the 2nd floor rear elevation level to facilitate the use of the existing flat roof as a terrace, in connection to the existing residential dwelling (Class C3). **Refused** planning permission 20/09/2012.

Reason for refusal:

The proposed terrace would result in direct overlooking of the rear windows and private garden space of no. 22 Millfield Lane, resulting in demonstrable harm to the amenity of adjoining occupiers, contrary to policies CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework Development Policies.

2012/2644/P - The installation of new balustrades at the 2nd floor rear elevation level to facilitate the use of the existing flat roof as a terrace, in connection to the existing residential dwelling (Class C3). **Refused** on 19/07/2012.

Reason for refusal:

The proposed terrace would result in direct overlooking of the rear windows and private garden space of no. 22 Millfield Lane, resulting in demonstrable harm to the amenity of adjoining occupiers, contrary to policies CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework Development Policies.

2012/2645/P – Certificate of lawfulness - Reduction in depth of north-facing balcony from 2.7m to 1m following the removal of supporting columns, replacement of glass balustrades with wood/metal balustrades to rear and side elevations and replacement of all existing windows and doors with natural wood-finished fenestration to dwelling house (Class C3) – **Granted** planning permission **19/07/2012**

2006/2174/P - Renewal of planning permission PEX0100964 dated 10th June 2002, for erection of additional storey at roof level. **Granted** planning permission 11/08/2006

PEX0100964 - Renewal of planning permission dated 01/10/1998 and granted by the Secretary of State, for erection of additional storey at roof level. **Granted** planning permission 10/06/02

9003351 - Continued use of roof to existing extension above garage as roof terrace – **granted** planning permission 10/01/91

PE9900385 - Approval of details of materials to be used to clad the external walls and roof of the extension and glazing to be used in windows and roof pursuant to conditions 2 and 3 of planning permission granted 1 October 1998 – **Granted** planning permission 10/08/99

PE9700893 - The erection of an additional storey at roof level. As shown on Drawing Numbers: D1096/199 TO 207 – Refused 16/01/98 – **Granted** planning permission on appeal 01/10/98

Relevant policies

National Planning Policy Framework 2021

The London Plan March 2021

Highgate Neighbourhood Plan 2017

Policy DH2: Development Proposals in Highgate's Conservation Areas
Policy DH6: Front Boundaries

Camden Local Plan 2017

A1 Managing the impact of development
D1 Design
D2 Heritage
CC1 Climate change mitigation
CC2 Adapting to climate change
CC3 Water and Flooding

Camden Planning Guidance

CPG Design (2021)
CPG Amenity (2021)
CPG Trees (2019)

Highgate Village Conservation Area Appraisal and Management Strategy 2007

Assessment

1.0 Proposal

1.1 The application seeks householder consent for alteration to the roof of the main dwelling, the outside space at the front and side of the property, including the following works:

- Demolition and rebuilding of the existing front boundary fence;
- Erection of new front porch;
- alterations to the existing garden shed;
- new refuse store;
- Installation of Solar Panels;
- Removal of 9 Trees;
- Replacement of rooflights and;
- Installation of new glazing to the front elevation.

1.2 Revision

- The height of the boundary wall has been reduced from 3.1 - 3.7m to between 2.8 to 3.1m in height

2.0 Assessment

2.1 The planning considerations material to this application are:

- Design and heritage;
- Tree impact, and;
- Impact on neighbouring amenity.

3.0 Design and heritage:

3.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas.

3.2 There is a section of the front boundary wall that is in disrepair. It is proposed to replace the existing timber fencing with a low rise London yellow brick wall topped with a timber fence. Whilst the new fence and gate would be higher, the boundary treatment matches the height of both of the neighbouring boundaries to the north and east and steps down in height around the corner of Millfield Land to reflect the change in topography and is considered in keeping with the character of the street. The height of the altered boundary wall would match the neighbours and in this instance preserves, or even moderately enhances, the conservation area. Overall, the proposed boundary treatment would be an improvement on the poor condition of the existing boundary wall and the matching brickwork would not detract from the design and appearance of the surrounding area.

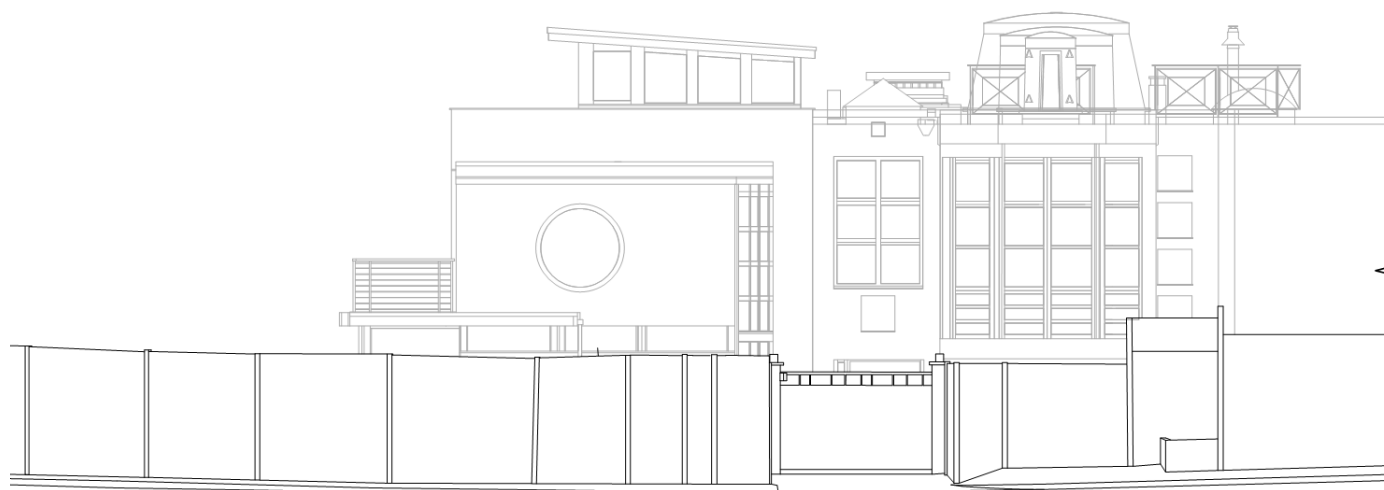


Image 1. Existing front elevation

3.3 The creation of a glazed front porch to the northeast elevation is considered appropriate in this unusual instance. The use of glazing for the porch is considered to be acceptable as it would match the existing glazed doors to the front elevation of this property. The porch would not be immediately prominent from the public domain by virtue of its boundary treatment and distance from the public domain.

3.4 The removal of the two timber sheds and construction of 4 replacements with two sheds of a slightly larger size is considered acceptable in design terms. Whilst, the two additional sheds would have a larger footprint, the additional stores would not add excessive bulk to this part of the site. The proposed work would not detract from the character and appearance of the conservation area and on balance would be acceptable in design terms. Moreover, the proposed concrete structure of the proposed external stores would be set below the side boundary walls, therefore the works would be screened from immediate public views.

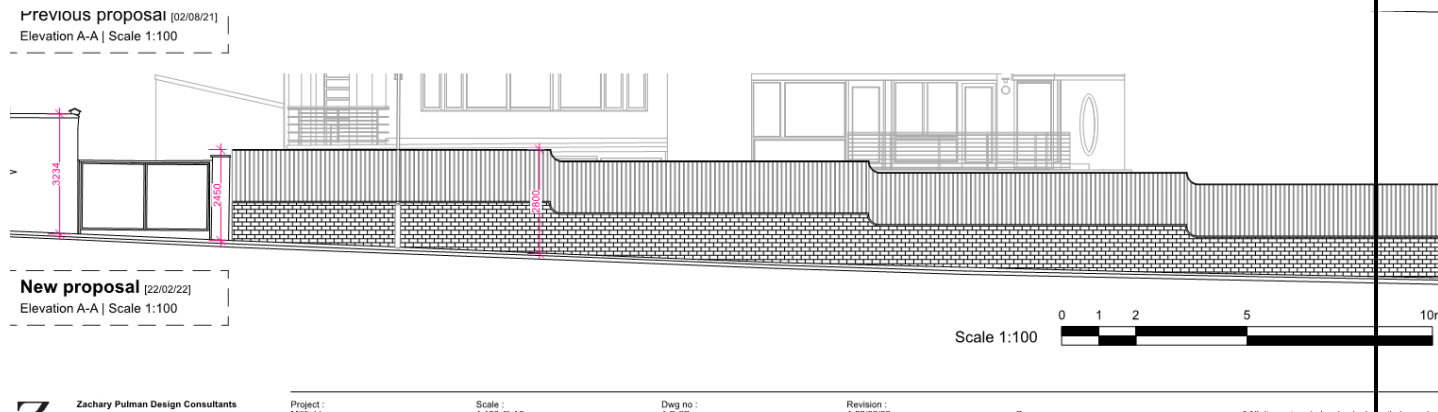


Image 2. Revised proposed front elevation.

3.5 The proposed refuse storage would be located adjacent to the flank elevation and is acceptable given its discreet location. The brick and timber material palette proposed is suited to the nature of the development and the new refuse storage will enable wheelie bins to be stored properly out of the way of the path and secured behind new timber doors.

3.6 All new and replacement windows would match the existing fenestration and any window detailing surrounding would be replicated as necessary. The new solar panels would be contained to the main rear roof slope, masked from view by given its limited projection, and as such would not be a visually obtrusive feature within the wider conservation area.

3.7 The proposed rooflights would be a vast improvement to the existing which would be subordinate features which are relatively flushed, when look at in context to the existing. Multiple rooflights are typically found on properties along this road and are considered acceptable in terms of design, size, number and location.

3.8 Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character and appearance of the conservation area under s.72 of The Planning (Listed and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Act (ERR) 2013.

4.0 Trees

4.1 Policy A3 states that the Council will resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees and vegetation. The Council will also require trees and vegetation which are to be retained to be satisfactorily protected during the demolition and construction phase of development in line with BS5837:2012 'Trees in relation to Design, Demolition and Construction' and positively integrated as part of the site layout.

4.2 The application is accompanied by a tree survey and arboricultural report justifying the removal of 9 trees. The trees proposed for removal are visible from the public realm but are, all low/poor

quality. Of the 9 trees, 2 are dead and 2 have major defects, the remaining 5 are of limited value in the long term. The loss of amenity and canopy cover could be mitigated against through replacement planting.

4.3 The proposed replacement planting comprises 8 trees of 2 species, field Maple and Rowan. While both are native and are of biodiversity value, this is considered a missed opportunity to diversify the species on site and more species should be incorporated in a future proposal. The replacement trees should also be afforded more space than as proposed to ensure they achieve their growth potential. Therefore condition 4 includes a requirement for details of at least 8 replacement trees to be submitted and approved. This would ensure that a diverse selection of trees with suitable space to achieve maximum growth form part of this scheme.

4.4 The tree protection details are considered sufficient to demonstrate that the trees will be adequately protected throughout development and condition 4 requires compliance with this condition.

5.0 Amenity

5.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission for development that would not harm the amenity of residents.

5.2 Given the nature of the work and the distance away from neighbouring properties, the proposal is not considered harmful with factors such as privacy, outlook, implications to natural light, artificial light spill, as well as impacts caused from the construction phase of development.

5 Recommendation:

5.2 Grant Conditional Planning Permission.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 28th February 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'