

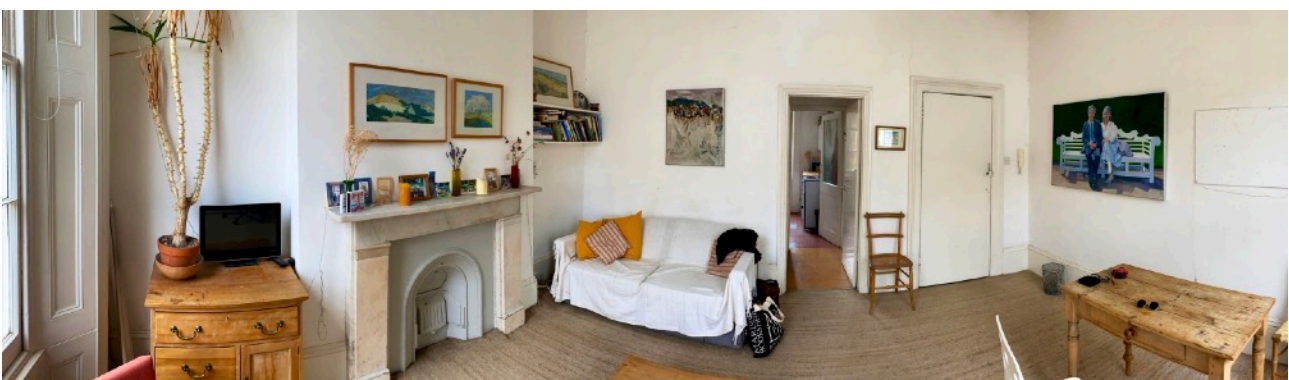
Flat First Floor, 25 Chalcot Crescent, London NW1 8YE

Document 4: Additional Information

22nd February 2022

We have recently inherited a studio flat at the above address comprising one main (reception) room, a small bathroom, a kitchen and a small hallway, situated on the first floor of the house [see Illustration 1]. The house itself comprises four flats in total, two below us (a basement and a ground floor) and one above us, with a common hallway and stairway from the main front door, serving the ground floor flat, our flat and the flat above (the basement flat has its own separate entrance).

My parents bought the flat in 1980 and it has been, and will now continue to be, a much cherished place for my family. The flat is very much as it was when they bought it - the same kitchen and bathroom units that were put in when the flat was converted prior to sale to my parents in October 1980, some 42 years ago, plus a small cupboard that was installed in the reception room. As a family, we have always respected and prized the historical and architectural value of the property.



Photograph 1: (above left) the Kitchen, as installed in 1980. Photo taken about 25 years ago - the units became increasingly dilapidated.

Photograph 2 (above right): The Bathroom, as installed in 1980, comprising mostly of a bath and a large immersion heater, sink and W/C.

Photograph 3 (above): The Reception Room, showing the current entrance to the flat far right (FD1). The entrance to the small Hall is shown in the middle of the far wall, with FD2 just through into the Hall on the rhs, and the Kitchen beyond.

Previous 'Conversion' in 1980

My parents bought the flat in October 1980, just after it had been converted (presumably by the previous owner) sometime between March-October 1980. That conversion comprised (ref to Illustration 2):

- the construction of a "bathroom compartment"
- the removal of a partition down the middle of the reception room
- the blocking-in, and plastering-over, of one of the two front doors (the partition that was removed in the reception room presumably obviated the need to have two separate front door entrances).

This is interesting, as it clearly shows that the bathroom compartment walls date from this time, and also that one of the two front doors (FD2) was blocked in at this time.

Work Proposed Now

My parents weren't in a financial position to update the kitchen and bathroom units and so they have now become somewhat dilapidated. Following the death of my mother in 2008 and of my father in 2020, we now own the flat and would like to redecorate, and to update the kitchen and bathroom. We will keep the same room/wall layout in place and hope that the non-structural, largely decorative alterations that we would like to make will be more sympathetic to the nineteenth century building than those put in when it was last converted back in 1980.

The work we would now like to do is:

1) Electrical re-wiring

We have been advised that the original 1970s wiring needs to be entirely updated to meet current safety standards. The fuse box for our flat is currently situated just inside the main front door to the house itself, within the shared hallway at ground level. The contractor we intend to use has suggested running one main cable from this point to a new fuse box situated within, or just outside, our flat, using existing cable run routes to do so. They could work internally within our flat from that point.

2) New electric combination boiler plus associated plumbing

The 1970's Immersion Heater in the bathroom was enormous, had come loose on its wall fittings, over-heated the water to scalding temperatures and was connected to the old 1970s wiring. As such, we felt that it was dangerous and have removed it, together with the bath that was beneath it (the only safe way to remove the immersion heater was to remove the bath first). We intend to replace it with an energy-efficient, modern, small electric combination boiler, connected to two small radiators, a towel rail and the hot water taps.

3) Bathroom update: replace 1980 units; shower instead of bath, small cupboard, tiling

We would like to replace the 1980s bath with a small shower unit, and the 1980s sink and w/c with units more in-keeping with the nineteenth century building, plus a small built-in cupboard. We would then tile the floor and most of the walls. A small amount of plastering may be needed to 'tidy up'. The 1980 bathroom sink was literally falling off the wall, and therefore dangerous, so that too has been removed. We should stress that the bath, toilet and sink were all late 1970's/1980 units, installed during the 1980 conversion; there were no 'original' (pre 1948) units.

4) Kitchen update: replace 1980 units with modern equivalents

The majority of this work would be to replace the 1980 kitchen units with modern, more-sympathetic, equivalents. Since the old units were dilapidated, being some 42 years old, and had sharp broken corners and some exposed nails, we have now removed them. We should stress that there were no 'original' (pre 1948) units, only units installed during the 1980 conversion.

5) Swap over to re-instate use of the front door which was blocked up in 1980 (FD2).

In the 1980 conversion, one of two 'front' doors (FD2) was blocked-in on the inside [see Illustration 2] and plastered over. In initial exploratory investigations, we 'found' this original (yellow) door beneath a thin layer of plaster, and would now like to restore this original feature, which was 'lost' in 1980. Illustration 1 shows the positions of the current front door, FD1, and the now-uncovered front door, FD2. Photograph 3 below, shows these two doors from the common first floor landing, with FD1 on the left. Photograph 4 shows the same two doors from inside the flat, at "Viewpoint A" [Illustration 1], with FD2 on the left, and FD1 on the right.



Photograph 3 (above left): a view of the 'two front doors' from the common stair well outside the flat, FD1 (left) and FD2 (right).

Photograph 4 (above right): a view of the same two doors from inside the flat, from "Viewpoint A" in Illustration 1. FD2 (left), within the small Hall leading to the Kitchen, and FD1 (right)

We would now like to use the original door FD2 as the main entrance in future and to 'paint-in' the door FD1. From the outside of the flat, on the common landing, things would look the same (see photograph 3), except that the lock would swap to the other door.

Question: Would we be able to renovate this original yellow front door that we have uncovered, and use it 'as is', (our preferred option) or would we be obliged to install a modern, Victorian replica door with a fire rating?

6) Carpet/Decorating

Essentially a painting exercise throughout, perhaps with some plastering 'tidy up' if needed in some places first, and a new carpet in the reception room.

7) Sound/Thermal Insulation

Some of the floorboards will need to be carefully lifted to install the new electrical wiring and plumbing described above. While those boards are carefully raised, we would like to install Rockwool RW3 to fill 70% of the void under the floor. This has excellent sound absorption and thermal insulation properties and would not be visible once the floor-boards had been re-fitted. Although this would be expensive, we feel that this could be an important opportunity, while work is already being undertaken, to improve both the sound and thermal insulation properties of the flat for both current and future generations.

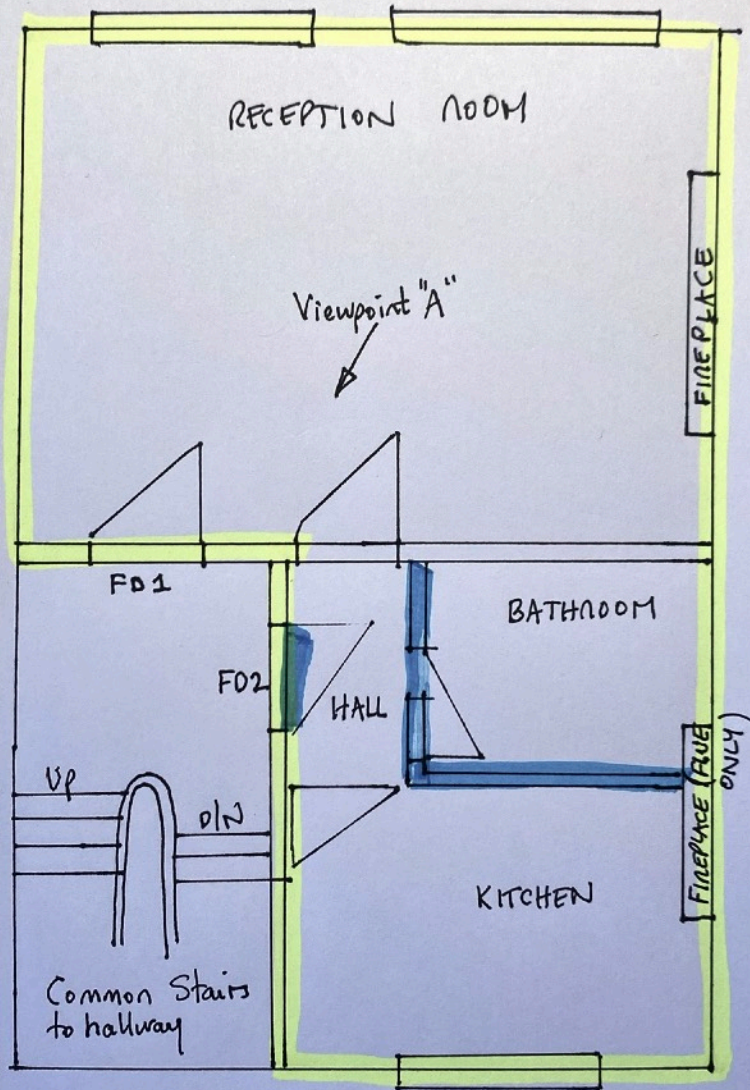
What approvals are needed?

Having looked at your web-site (<https://www.camden.gov.uk/internal-alterations-planning-permission>), we note the phrase: "Planning permission is not required for internal alterations entirely contained within your property". We also do not believe that any of the work we are planning falls within the description: "alteration, extension, demolition or any other works that affect the character of a listed building" But, before we start, we wanted to check with you first, hence we contacted Camden Council for initial advice, and they suggested that we put together this formal application for clarity.

It is important to note that we are fully aware of, and value, the historical characteristics and make-up of our flat which you, rightly, are seeking to protect. We cherish these things and, far from seeking to damage them, we hope that the work will positively enhance these features. Many of the bathroom and kitchen fittings that we will use in the refurbishment are of a similar age to the building itself, as opposed to the somewhat basic and damaged 1980s fittings that we would be replacing. We will ensure that all work would be carried out with great care and have no intention of affecting any original (ie pre-1948) feature in the process.

FLAT B, 25 CHALCOT CRESCENT

FLOOR PLAN AS IT IS TODAY, AND HAS BEEN SINCE 1980.

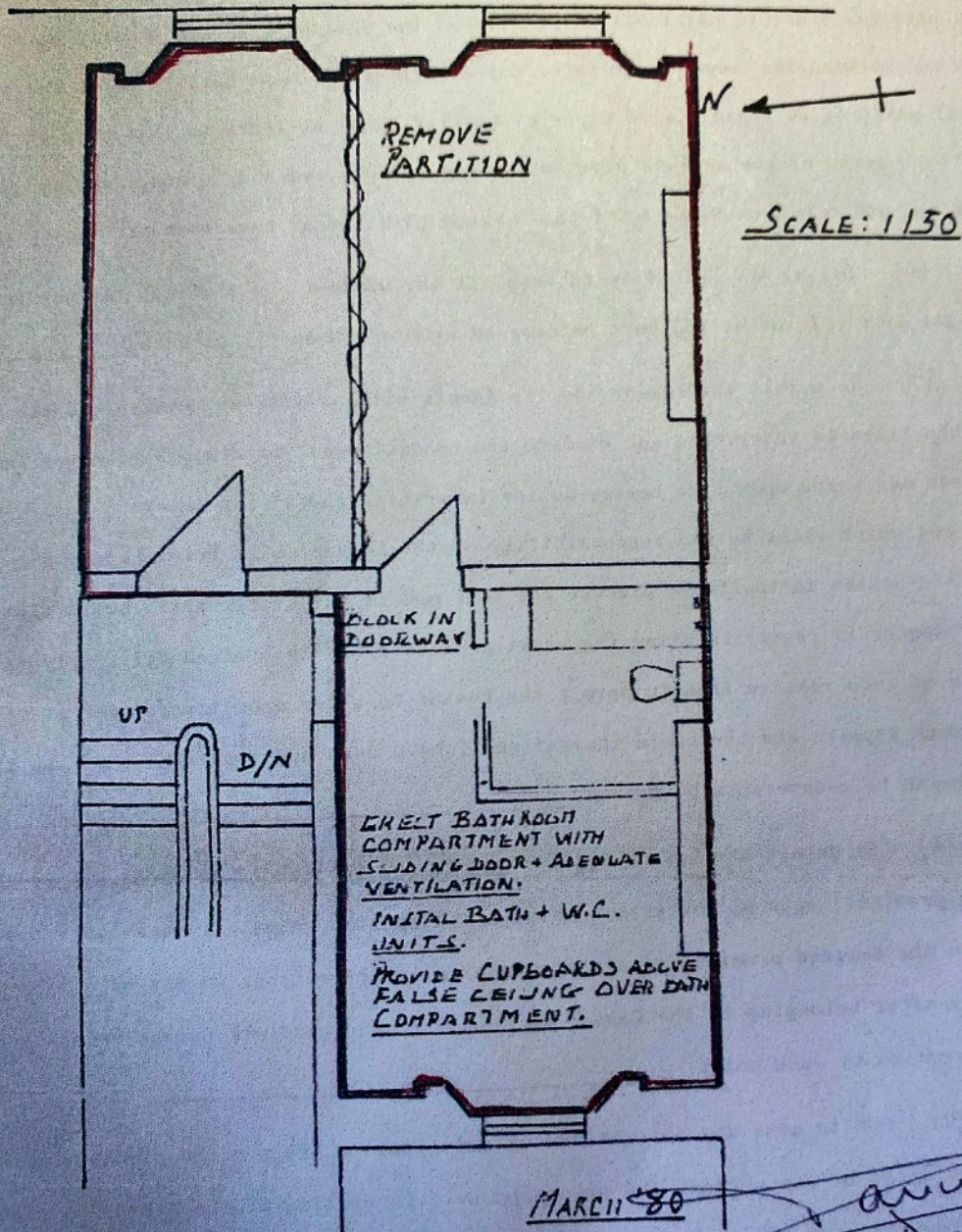


outer walls of our flat
added / changed in 1980 conversion
FD1/2 = Front Door 1/2

Illustration 1: the layout of the flat as it is today, which has remained unchanged since 1980 and which we do not intend to change (not to scale). Note that the 'fireplace' in the kitchen has only comprised of a boarded-up flue since 1980.

25 CHALCOT CRESCENT, N.W.1.

FIRST FLOOR - PROPOSED CONVERSION.



Amis
DIRECTOR

Margaret Jones
SR.

Illustration 2: details of the conversion that took place sometime between March-October 1980, from documents registered at HM Land Registry which reads: "remove partition", "block in doorway" and "erect bathroom compartment with sliding door and adequate ventilation", "install bath and WC units" "provide cupboards above false ceiling over bath compartment".