

Outline of no.81-88
Langbourne Mansions

Zinc clad rear dormer with
aluminium framed glazing

Proposed rear ground floor rear
extension constructed from light, fair
faced visual concrete with aluminium
framed glazing & aluminium roof
trim/coping

Dotted lines denote outlines of
projecting balconies to no.81-88
Langbourne Avenue

Existing timber garden
fence with 81-88
Langbourne Mansions

Metal railings to ground floor
rear terrace

height
at section

WC

Bedroom 4

Bathroom

Bedroom 3

Hallway

Kitchen

Roof terrace

Media room

Rear terrace

Shed

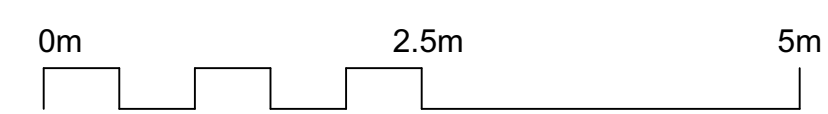
32 LANGBOURNE AVENUE

Powder coated aluminium framed
glazing

Dotted line denotes approximate
ground line/grass bank on side of
no.81 Langbourne Mansions

Proposed painted render retaining
wall adjacent to lower ground floor
terrace. Wall to be 2600mm high
from FFL of no.32

SECTION A - PROPOSED
1:50 @ A1 / 1:100 @ A3



--- Denotes site boundary

Notes

Revisions

Site Address **32 LANGBOURNE AVENUE, HIGHGATE, LONDON, N6 6PX**
Client **MARY & JONNY PROTHEROE**

PROPOSED SECTION A
Drawing no. **21-1134-130**
Rev. A

Status **PLANNING**
Date **FEB 21**
Scale **1:50 @ A1**
1:100 @ A3

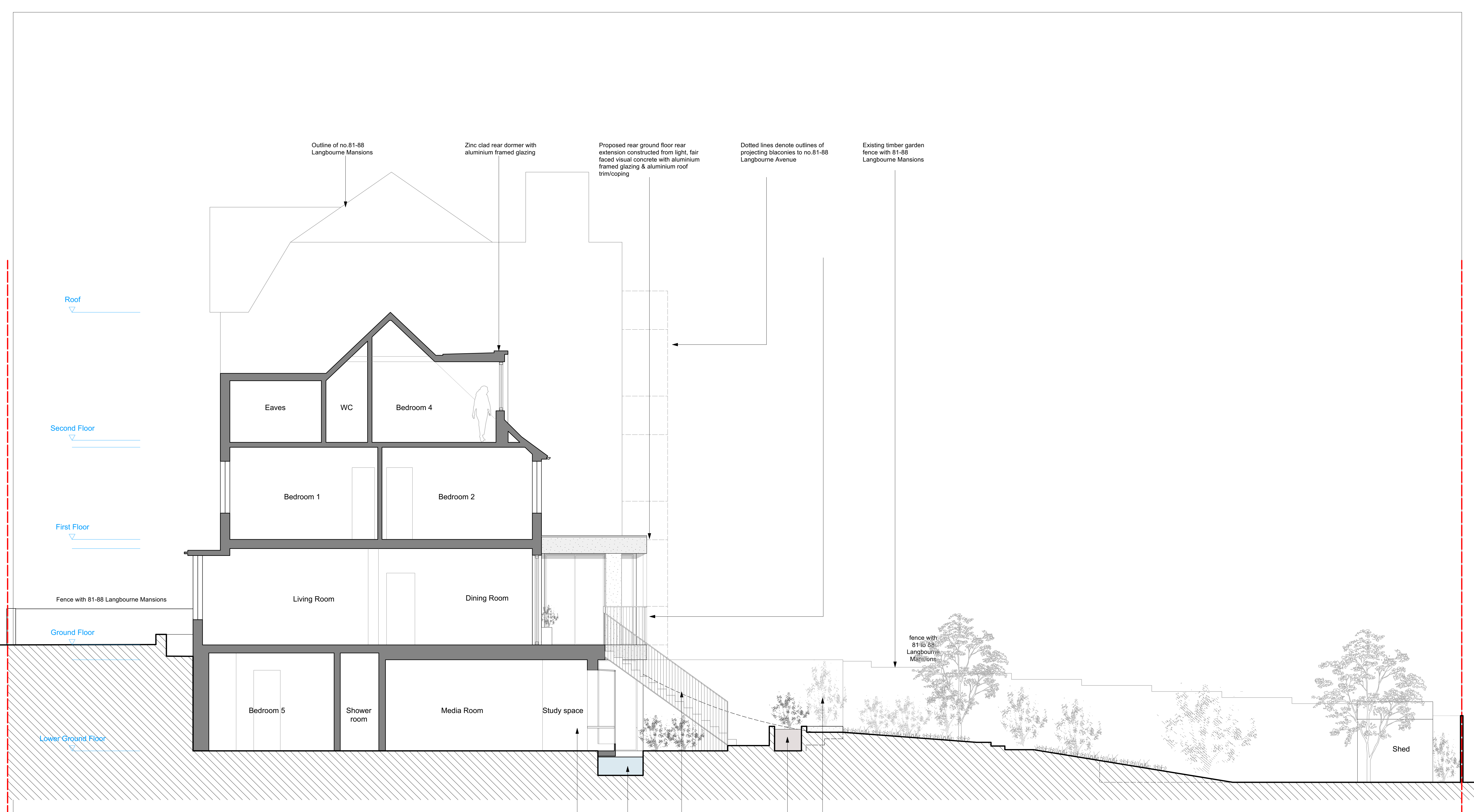
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Matthew Giles Ltd

Unit G11, Edinburgh House, 170 Kennington Lane, London, SE11 5DP

www.matthewgilesarchitects.com Tel 020 3076 0750



Outline of no.81-88 Langbourne Mansions

Zinc clad rear dormer with aluminium framed glazing

Proposed rear ground floor rear extension constructed from light, fair faced visual concrete with aluminium framed glazing & aluminium roof trim/coping

Dotted lines denote outlines of projecting balconies to no.81-88 Langbourne Avenue

Existing timber garden fence with 81-88 Langbourne Mansions

Roof

Second Floor

First Floor

Ground Floor

Lower Ground Floor

Fence with 81-88 Langbourne Mansions

fence with 81-88 Langbourne Mansions

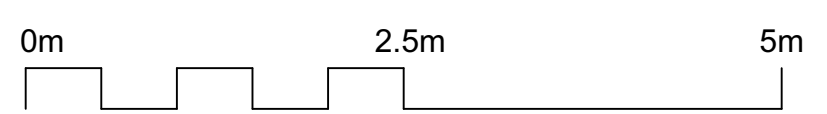
Shed

32 LANGBOURNE AVENUE

Water feature

Raised planter

SECTION B - PROPOSED



--- Denotes site boundary

Study space within pop out window

Dotted line denotes approximate ground line/grass bank on side of no.81 Langbourne Mansions

Proposed painted render retaining wall adjacent to lower ground floor terrace. Wall to be 2600mm high from FFL of no.32

Notes

Revisions

Site Address **32 LANGBOURNE AVENUE, HIGHGATE, LONDON, N6 6PX**
 Client **MARY & JONNY PROTHEROE**

PROPOSED SECTION B
 Drawing no. **21-1134-131**
 Rev. A

Status **PLANNING**
 Date **FEB 21**
 Scale **1:50 @ A1**
1:100 @ A3

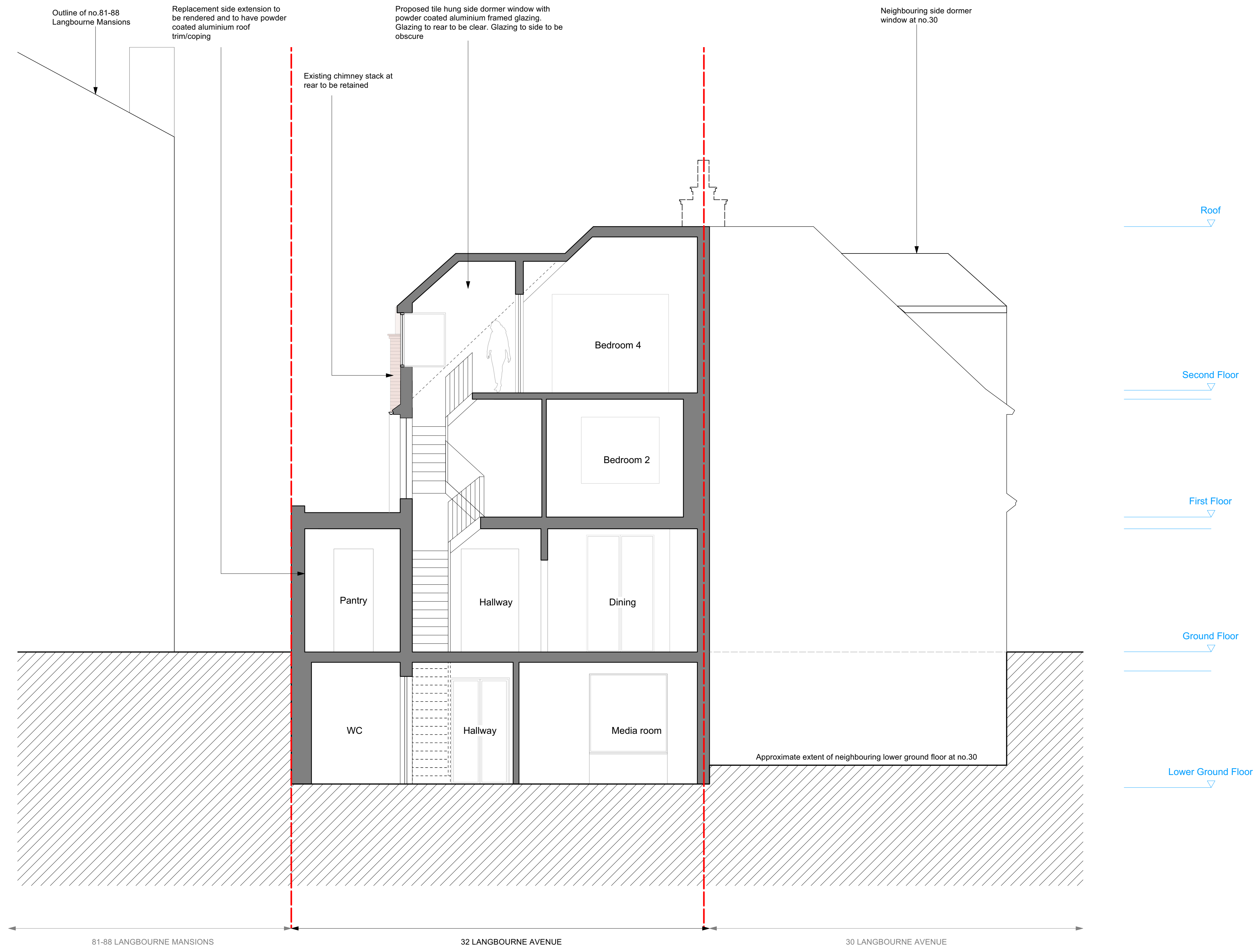
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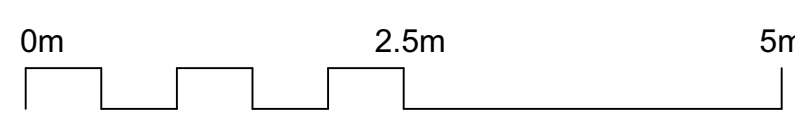
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SECTION C - PROPOSED



--- Denotes site boundary

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 Client **MARY & JONNY PROTHEROE**

PROPOSED SECTION C
 Drawing no. **21-1134-132**
 Rev. A

Status **PLANNING**
 Date **FEB 21**
 Scale **1:50 @ A1**
1:100 @ A3

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