

Ms Anna Snow
Iceni Projects Ltd
Flitcroft House
114-116 Charing Cross Road
London
WC2H 0JR

Application Ref: **2016/6088/P**
Please ask for: **David Fowler**
Telephone: 020 7974 **2123**

30 June 2017

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
Highgate Newtown Community Centre
Unit A
B
C
D & E
25 Bertram Street
London
N19 5DQ

Proposal:

Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 31 residential units (Use Class C3) with associated public open space, landscaping, cycle storage, plant and disabled parking.

Drawing Nos:

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):



1 Three years from the date of this permission

This development must be begun not later than three years from the date of this permission.

Reason: In order to comply with the provisions of Section 92 of the Town and Country Planning Act 1990 (as amended).

2 Approved drawings

The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing: 1415-PL-GA-000 B, 1415-PL-GA-001 B, 1415-PL-GA-002 A, 1415PL-GA-100

D, 1415-PL-GA-101 D, 1415-PL-GA-103 C, 1415-PL-GA-106 D, 1415-PL-GA-107 C, 1415-PL-GA-109 C, 1415-PL-GA-110 B, 1415-PL-GA-111 C, 1415-PL-GA-300 A.

Proposed: 1415-PL-ST-100 A, 1415-PL-GA-700 N, 1415-PL-GA-701 N, 1415PL-GA-703

K, 1415-PL-GA-706 L, 1415-PL-GA-707 J, 1415-PL-GA-712 J, 1415-PL-GA-713 B, 1415-PL-GA-714 C, 1415-PL-GA-715 C, 1415-PL-GA-A599 U, 1415-PL-GA-A-600 X, 1415-PL-GA-A-601 Q, 1415-PL-GA-A-602 U, 1415-PL-GA-A-603 U, 1415-PL-GA-A-604 P, 1415-PL-GA-A-605 M, 1415-PLGA-B-599

W, 1415-PL-GA-B-600 X, 1415-PL-GA-B-601 R, 1415-PL-GA-B-602 U, 1415-PL-GA-B-603 R, 1415-PL-GA-B-604 S, 1415-PL-GA-C-600 E, 1415PL-ST-001

B, 1415-PL-GA-ST-800 N, 1415-PL-ST-801 K, 1415-PL-ST-802 O, 1415-PL-ST-803 Q, 1415-PL-ST-804 L, 1415-PL-ST-805 G, 1415-PL-ST-899 E, 1415 SK-E-100 C, 1415 SK-E-101 E, 1415 SK-E-102 C, 1415 SK-E-103 C.

Documents: Flood Risk Assessment and Sustainable Drainage Strategy (Conisbee) November 2016, Ground Investigation and Basement Impact Assessment (GEA) November 2016, Heritage Statement (Iceni) November 2016, Sustainability Statement (Iceni) November 2016, Design & Access Statement (rcka) November 2016, Energy Strategy (Van Zyl & de Villiers Ltd Consulting Engineers) November 2016, Air Quality Assessment 01.0050.002/AQ v2 (Isopleth) November 2016, Acoustic Report (ion acoustics) November 2016, Planning Statement (Iceni) November 2016, Daylight and Sunlight Study (Within Development) (Right of Light Consulting) November 2016, Daylight and Sunlight Study (Neighbouring Properties) (Right of Light Consulting) November 2016 and 10 January 2017, Viability Assessment and Affordable Housing Report - November 2016, BREEAM Assessment (Land Use and Ecology) (Syntegra Consulting) November 2016, Habitat Survey (Syntegra Consulting) November 2016, Transport Statement (JMP) November 2016, Draft Framework Travel Plan (JMP) November 2016, Draft Servicing Management Plan(JMP) November 2016, Draft Construction Management Plan, (JMP) November 2016, Statement of Community Involvement (rcka)

November 2016, Arboricultural Impact Assessment (Greenman) November 2016, Sustainability Statement (Iceni) December 2016, Energy Strategy Additional Information (Van Zyl & de Villiers Ltd Consulting Engineers) 16/12/2016, Car Park Management Plan (Systra) 24/02/2017, Revised BIA Information (Conisbee) 27 Mar 2017.

Reason: For the avoidance of doubt and in the interest of proper planning.

3 Detailed drawings/samples

Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Council before the relevant part of the work is begun:

a) Plan, elevation and section drawings, including jambs, head and cill, of all external windows and doors at a scale of 1:10.

b) Samples and manufacturer's details at a scale of 1:10, of all facing materials including windows and door frames, glazing, and brickwork with a full scale sample panel of brickwork, spandrel panel and glazing elements of no less than 1m by 1m including junction window opening demonstrating the proposed colour, texture, face-bond and pointing.

c) Details of all new windows, doors and other materials in the conversion of the People's Gospel Mission Hall.

d) Details of the junction with the historic granite sets at the threshold of the site on Bertram Street.

A sample panel of all facing materials should be erected on-site and approved by the Council before the relevant parts of the work are commenced and the development shall be carried out in accordance with the approval given.

The relevant part of the works shall then be carried in accordance with the approved details

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

4 External fixtures

No lights, meter boxes, flues, vents or pipes, and no telecommunications equipment, alarm boxes, television aerials or satellite dishes shall be fixed or installed on the external face of the buildings, without the prior approval in writing of the Council.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London

Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

5 Refuse and recycling

Prior to first occupation of the residential units, the refuse and recycling storage areas shall be completed and made available for occupants.

The development of each block shall not be implemented other than in accordance with such measures as approved. All such measures shall be in place prior to the first occupation of any residential units and shall be retained thereafter.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

6 Roof terraces

No flat roofs within the development shall be used as terraces without the prior express approval in writing of the Local Planning Authority unless marked as such on the plans. .

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

7 Landscape

No development (excluding demolition and enabling works) shall take place on the relevant part of the site until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include:

- a) details of any proposed earthworks including grading, mounding and other changes in ground levels.
- b) details of proposals for the enhancement of biodiversity,
- c) an open space management plan,
- d) permeable play surfaces for SuDS purposes.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policy CS14 and CS15 of the London Borough of Camden

Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

8 Hours of use - community facilities

The community facilities in Block B shall only be used between 8.30am - 10pm Monday to Thursday, 8.30am - 11.30pm Saturday and 9.30am - 9pm on Sundays.

Reason: To ensure that the amenity of occupiers of residential properties in the area is not adversely affected by noise and disturbance.

9 Hours of use - terrace for community facilities

The terrace serving the community facilities on Block B shall only be used between 8.30am - 9pm Monday to Saturday and 9.30am - 9pm on Sundays.

Reason: To ensure that the amenity of occupiers of residential properties in the area is not adversely affected by noise and disturbance.

10 Overlooking mitigation measures

Full details of mitigation measures for overlooking from windows serving Block A1 facing 23 Bertram Street and windows serving Block A2 facing 122 Croftdown Road shall be submitted to and approved by the Council (Members' Briefing)

The mitigation measures shall be retained permanently thereafter.

Reason: To ensure that the amenity of occupiers of neighbouring residential properties and gardens in the area is not adversely affected by overlooking.

11 SuDS

Prior to commencement of the relevant part of the development (excluding demolition and enabling works) details of a sustainable urban drainage system shall be submitted to and approved by the local planning authority in writing. Such details shall include details of the following features:

- i) Area A:
 - 181m² Blue Roof (18m³ attenuation)
 - 211m² Permeable Paving (25m³ attenuation)
 - Attenuation Tank 1 (80m² attenuation)

- ii) Area B:
 - Attenuation Tank 2 (2.4m³ attenuation)
 - Attenuation Tank 3 (2.4m³ attenuation)

SUDS will be implemented prior to the opening of the relevant parts of the development.

Reason: To reduce the rate of surface water run-off from the buildings and limit the

impact on the storm-water drainage system in accordance with policies CS13 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

12 Evidence of installation - SuDS

Prior to occupation, evidence that the sustainable urban drainage system has been implemented in accordance with the approved details as part of the development shall be submitted to the Local Authority and approved in writing. The systems shall thereafter be retained and maintained in accordance with the approved maintenance plan.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policies CS13 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

13 Water efficiency

The development hereby approved shall achieve a maximum internal water use of 105litres/person/day, allowing 5 litres/person/day for external water use.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with policies CS13 (Tackling climate change through promoting higher environmental standards), DP22 (Promoting sustainable design and construction) and DP23 (Water).

14 Photovoltaic cells

Prior to commencement of the above ground construction works, development of the relevant part of the scheme, detailed plans showing the location and extent of photovoltaic cells to be installed on the building shall have been submitted to and approved by the Local Planning Authority in writing. The measures shall include the installation of a meter to monitor the energy output from the approved renewable energy systems. The cells shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained and maintained thereafter.

Reason: To ensure the development provides adequate on-site renewable energy facilities in accordance with the requirements of policy CS13 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22 of the London Borough of Camden Local Development Framework Development Policies.

15 Living roof

Prior to commencement of the above ground construction works, development full details of all biodiverse, substrate-based extensive living roofs to be incorporated

into the development shall be submitted to and approved in writing by the local planning authority. The design and planting scheme should be informed by the Ecological Appraisal and should reflect the local conditions and species of interest. The details shall include the following: A. detailed maintenance plan, B. details of its construction and the materials used, C. a section at a scale of 1:20 showing substrate depth averaging 130mm with added peaks and troughs to provide variations between 80mm and 150mm and D. full planting details including species showing planting of at least 16 plugs per m². The development shall not be carried out otherwise than in accordance with the details thus approved and shall be fully implemented before the premises are first occupied. Guidance on living roofs is available in the Camden Biodiversity Action Plan: Advice Note on Living Roofs and Walls.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

16 Bird and bat boxes

Details of bird and bat nesting boxes or bricks shall be submitted to and approved in writing by the Local Planning Authority prior to any of the above ground construction works commencing on site, in line with the recommendations in the Ecological Appraisal. Boxes/bricks should be integrated into the fabric of the building wherever possible, to increase sustainability. Details submitted shall include the exact location, height, aspect, specification and indication of species to be accommodated. Boxes shall be installed in accordance with the approved plans prior to the first occupation of the development and thereafter maintained.

Reason: To ensure the development provides the appropriate provision towards creation of habitats and valuable areas for biodiversity in accordance with policy 7.19 of the London Plan 2011 and Policy CS15 of the London Borough of Camden Local Development Framework Core Strategy.

17 External lighting

Details of all external lighting shall be submitted to and approved by the Local Planning Authority, prior to first occupation of the development. Full details of a lighting strategy, to include the following information shall be submitted to and approved by the Local Planning Authority, in writing, before the development commences.

- Location and type (for safety, security and design reasons)
- Potential light spill on to buildings, trees and lines of vegetation (for biodiversity reasons).

The development shall not be carried out otherwise than in accordance with the details thus approved and shall be fully implemented before the premises are first occupied.

Reason: To ensure compliance with the Habitats Regulations and the Wildlife & Countryside Act 1981 (as amended) and in the interests of security in accordance

with policies CS17 and CPG1 (Design) and in the interests of safety.

18 Non-road mobile machinery

All non-Road mobile Machinery (any mobile machine, item of transportable industrial equipment, or vehicle - with or without bodywork) of net power between 37kW and 560kW used on the site for the entirety of the [demolition and/construction] phase of the development hereby approved shall be required to meet Stage IIIA of EU Directive 97/68/EC. The site shall be registered on the NRMM register for the [demolition and/construction] phase of the development.

Reason: To safeguard the amenities of the adjoining occupiers, the area generally and contribution of developments to the air quality of the borough in accordance with the requirements of policies CS5 (Managing the impact of growth and development) and CS16 (Improving Camden's health and wellbeing) of the London Borough of Camden Local Development Framework Core Strategy and policies DP32 (Air quality and Camden's Clear Zone) and DP22 (Promoting sustainable design and construction) of the London Borough of Camden Local Development Framework Development Policies.

19 Tree protection

Prior to the commencement of any works, details demonstrating how trees to be retained both on and off site shall be protected during construction work shall be submitted to and approved by the Council in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction" and should include details of appropriate working processes in the vicinity of trees, a tree protection plan and details of an auditable system of site monitoring. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details."

Reason: In order to ensure the development undertakes reasonable measures to take account of trees and biodiversity in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

20 Tree replacement

Any trees removed, dying, being severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees of a similar size and species to those originally required to be planted.

Reason: To enable the Council to ensure a reasonable standard of visual amenity in the scheme in accordance with the requirements of policy CS14, CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

21 Land contamination - written programme of investigation

At least 28 days before development commences:

(a) a written programme of ground investigation for the presence of soil and groundwater contamination and landfill gas shall be submitted to and approved by the local planning authority; and

(b) following the approval detailed in paragraph (a), an investigation shall be carried out in accordance with the approved programme and the results and a written scheme of remediation measures [if necessary] shall be submitted to and approved by the local planning authority.

The remediation measures shall be implemented strictly in accordance with the approved scheme and a written report detailing the remediation shall be submitted to and approved by the local planning authority prior to occupation.

Reason: To protect future occupiers of the development from the possible presence of ground contamination arising in connection with the previous industrial/storage use of the site in accordance with policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

22 Land contamination - Standalone Monitoring

In the event that additional significant contamination is found at any time when carrying out the approved development it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of the Environment Agency's Model Procedures for the Management of Contamination (CLR11), and where mitigation is necessary a scheme of remediation must be designed and implemented to the satisfaction of the local planning authority before any part of the development hereby permitted is occupied.

Reason: To protect future occupiers of the development from the possible presence of ground contamination arising in connection with the previous industrial/storage use of the site in accordance with policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

23 Sound insulation

Prior to commencement of the above ground construction works, details shall be submitted to and approved in writing by the Council, of an enhanced sound insulation value $D_{nT,w}$ and $L'_{nT,w}$ of at least 5dB above the Building Regulations value, for:

- i) the floor/ceiling/wall structures separating different types of rooms/ uses in adjoining dwellings, namely [eg. living room and kitchen above bedroom of separate dwelling].
- ii) the floor/ceiling/wall structures separating the residential and community centre

uses

Approved details shall be implemented prior to occupation of the development and thereafter be permanently retained.

Reason: To ensure that the amenity of occupiers of the development site is not adversely affected by noise.

24 Amplified music/voices

Neither music nor amplified loud voices emitted from the non-residential parts of the built development shall result in more than a 5dB increase from existing ambient noise levels to nearby residential properties.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise in accordance with policy DP28.

Reason: To ensure that the amenity of occupiers of the development site is not adversely affected by noise.

25 Noise levels

The noise level in rooms in the residential development hereby approved shall meet the noise standard specified in BS8233:2014 for internal rooms and external amenity areas.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by noise and vibration.

26 Plant and equipment

The external noise level emitted from proposed plant, machinery or equipment at the development hereby approved shall be lower than the typical existing background noise level by at least 5dBA, by 10dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with machinery operating at maximum capacity.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from plant/mechanical installations/ equipment.

27 Cycle parking

Prior to first occupation, the following bicycle parking shall be provided:

- secure and covered parking for 82 resident's bicycles

- secure short-stay parking for 22 bicycles

All such facilities shall thereafter be retained.

Reason: To ensure that the scheme makes adequate provision for cycle users in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy, policies DP16, DP18, DP19 and DP26 of the London Borough of Camden Local Development Framework Development Policies, the London Plan and CPG7 (Transport).

28 New pedestrian and cycle route through

The proposed new pedestrian and cycle route through the site shall be provided prior to the occupation of all the residential units and shall be maintained as a public right of way in perpetuity.

Reason: To ensure that the scheme makes adequate provision for pedestrians and cycle users in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy, policies DP16, DP18, DP19 and DP26 of the London Borough of Camden Local Development Framework Development Policies, the London Plan and CPG7 (Transport).

29 Need for a legal agreement

In the event that any owners of the land have the relevant legal locus to enter into a Section 106 Agreement no works shall progress on site until such time as they have entered into such an Agreement incorporating obligations in respect of the matters covered by conditions marked with ** in this notice of planning permission and those obligations shall apply to all conditions above marked with ** which supersede those of permission 2016/6088/P.

Reason: In order to define the permission and to secure development in accordance with policy CS19 of the London.

30 Basement

The development shall not be constructed other than in accordance with the conclusions, methodologies and recommendations of the Basement Impact Assessment hereby approved, including inter alia the need for further monitoring. In the event that further evidence of site or building conditions necessitate amendments to the BIA or associated methodologies they shall be submitted to the local planning authority for approval in writing prior to the commencement of development and the development shall be constructed in accordance with such amendments.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Development Policies and policy DP27 (Basements and Lightwells) of the London Borough of Camden Local Development Framework

Development Policies.

31 ** Car free

The proposal will be car free. Occupants of the proposal will not be eligible for parking permits.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

32 ** CMP

Prior to commencement of development, including demolition, a Construction Management Plan (CMP) including an Air Quality Assessment) shall be submitted to and approved by the local planning authority.

The CMP shall set out all measures that the Owner will adopt in undertaking the demolition of the existing buildings and the construction of the Development using good site practices in accordance with the Council's Considerate Contractor Manual.

Such plan shall include measures for ensuring highway safety and managing transport, deliveries and waste (including recycling of materials) throughout the demolition and construction periods and which demonstrates consideration of and liaison with other local concurrent developments. The plan shall also include details of a community working group involving local residents, businesses and local councillors, a contractor complaints/call-line and measures to be carried out to mitigate the impact of the noise arising from construction and demolition activities on local residents and businesses, a waste management strategy and means of monitoring and reviewing the plan from time to time.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

33 ** CMP implementation support contribution

On or prior to Implementation, confirmation that the necessary measures to secure the CMP Implementation Support Contribution shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in

accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

34 ** Parking management plan

Prior to occupation of any part of the development, a parking management plan shall be submitted to and approved by the local planning authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

35 ** Servicing management plan

Prior to occupation of any part of the development, a Servicing management plan shall be submitted to and approved by the local planning authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

36 ** Landscaping management plan

Prior to occupation of any part of the development, a Landscaping management plan shall be submitted to and approved by the local planning authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

37 **Travel plan and associated monitoring fee

Prior to occupation of any part of the development, a travel plan shall be submitted to and approved by the local planning authority. Confirmation that the necessary measures to secure the travel plan monitoring contribution shall also be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in

accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

38 **Approval in principle report and associated assessment fee

Prior to occupation of any part of the development, an Approval in Principle report shall be submitted to and approved by the local planning authority. Confirmation that the necessary measures to secure the contribution for the assessment of the Approval in Principle report shall also be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

39 **Highways contribution and levels plans

Prior to occupation of any part of the development, confirmation that the necessary measures to secure the highways contribution and level plans shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

40 **Pedestrian, cycling and environmental Improvements

Prior to occupation of any part of the development, confirmation that the necessary measures to secure the pedestrian, cycling and environmental Improvements contribution shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

41 ** Provision of community facilities

The new community facilities shall be built and fully fitted out for use prior to first

occupation of more than 50% of the residential units.

Reason: To ensure the provision of the school building in accordance with the requirements of policy CS10 of the London Borough of Camden Local Development Framework Core Strategy and policy DP15 of the London Borough of Camden Local Development Framework Development Policies.

42 ** Open space improvements

The landscaping works shall be completed prior to occupation of 50% of the residential units.

Reason: To ensure that the pedestrian environment and public realm is maintained and improved in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP17 and DP21 of the London Borough of Camden Local Development Framework Development Policies.

43 ** Local employment

Prior to commencement the developer should:

- work to CITB benchmarks for local employment when recruiting for construction-related jobs as per clause 8.28 of CPG8
- advertise all construction vacancies and work placement opportunities exclusively with the King's Cross Construction Skills Centre for a period of 1 week before marketing more widely
- provide a specified number (to be agreed) of construction and non-construction work placement opportunities of not less than 2 weeks each, to be undertaken over the course of the development, to be recruited through the Council's King's Cross Construction Skills Centre or our work experience broker
- If the build costs of the scheme exceed £3 million the applicant must recruit 1 construction apprentice or non-construction apprentice per £3million of build costs and pay the council a support fee of £1,700 per apprentice as per clause 8.25 of CPG8. Recruitment of construction apprentices should be conducted through the Council's King's Cross Construction Skills Centre. The applicant should recruit both construction and non-construction apprentices. Recruitment of non-construction apprentices (e.g. administrative, facilities management, finance, HR, etc.) should be conducted through the Council's Economic Development team
- If the value of the scheme exceeds £1 million, the applicant must also sign up to the Camden Local Procurement Code, as per section 8.30 of CPG8
- provide a local employment, skills and local supply plan setting out their plan for delivering the above requirements in advance of commencing on site.

Reason: To ensure the development provides sufficient employment and training in line with the requirements of policy CS8 of the London Borough of Camden Local Development Framework Core Strategy and policy DP13 of the London Borough of Camden Local Development Framework Development Policies.

44 ** BREEAM

On or prior to the Implementation Date (excluding demolition and enabling works) an energy and sustainability plan shall be submitted to and approved in writing by the local planning authority. Such plan shall:

(a) be based on a Building Research Establishment Environmental Assessment Method assessment with a target of achieving an Excellent or Outstanding rating and attaining at least 60% of the credits in each of Energy and Water and 40% of the credits in Materials categories.

(b) include a pre-Implementation review by an appropriately qualified and recognised independent verification body certifying that the measures incorporated in the Sustainability Plan are achievable.

(c) provide details of the CHP.

(d) provide future proofing details of opportunities to connect to a future decentralised energy network.

Prior to first occupation of the non-residential elements of the development a post-completion certificate which demonstrates that the employment element has achieved BREEAM Excellent shall be submitted to and approved in writing by the local planning authority.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with policy CS13 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22 of the London Borough of Camden Local Development Framework Development Policies.

45 ** Carbon offset fund contribution

On or prior to Implementation, confirmation that the necessary measures to secure a carbon offset fund contribution shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with policy CS13 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22 of the London Borough of Camden Local Development Framework Development Policies.

46 **Provision of a management plan for the community facilities

Prior to operation of the community facilities (excluding demolition works), a management plan detailing how amenity issues would be avoided and addressed, and details of consultation on this plan with the local community, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise and disturbance from the community facilities.

47 ** Surplus - Council's CIP programme

Either after completion of the development hereby permitted or at the point of exchange on no less than 22 residential units the applicant and/or developer shall submit to the local planning authority an updated viability assessment and not to proceed on the completion of more than 24 residential units until confirmation that the necessary measures to secure provision for additional monies for the Council's CIP programme have been submitted and approved by the local planning authority in writing.

Reason: To secure sufficient provision for the Council's CIP programme and affordable housing in accordance with the requirements of policy CS6 of the London Borough of Camden Local Development Framework Core Strategy and policies DP3 and DP4 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Conditions marked with **

The matters covered by conditions marked with an * are matters which would usually be incorporated into a Section 106 Agreement. On Council own schemes because the Council cannot enter into an agreement with itself the usual practice would for the permission to reference the Section 106 requirements for information.

If the Council retains ownership of the application site although the reference to Section 106 requirements would not be legally binding they would act as a record of the requirements the Council as planning authority expects the Council as landowner to comply with. If the Council disposes of a relevant interest in the Application Site (which for the avoidance of doubt will not include disposals to individual tenants and occupiers) the incoming owner will be required to enter into a Section 106 giving effect to the relevant requirements which are then outstanding or ongoing which will then become a legally binding document. This reflects the terms of condition 29 on the planning permission.

2 Thames Water - surface water drainage and sewage

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0800

009 3921. Reason - to ensure that the surface water discharge from the site shall

not be detrimental to the existing sewerage system.

There are public sewers crossing or close to your development. In order to protect public sewers and to ensure that Thames Water can gain access to those sewers for future repair and maintenance, approval should be sought from Thames Water where the erection of a building or an extension to a building or underpinning work would be over the line of, or would come within 3 metres of, a public sewer. Thames Water will usually refuse such approval in respect of the construction of new buildings, but approval may be granted in some cases for extensions to existing buildings. The applicant is advised to contact Thames Water Developer Services on 0800 009 3921 to discuss the options available at this site.

Thames Water would advise that with regard to sewerage infrastructure capacity, we would not have any objection to the above planning application.

3 Timing of vegetation clearance (breeding birds)

You are advised that all removal of trees, hedgerows, shrubs, scrub or tall herbaceous vegetation should be undertaken in line with The Wildlife and Countryside Act 1981 (as amended).

4 Guidance on biodiversity enhancements

Guidance on biodiversity enhancements including artificial nesting and roosting sites is available in the Camden Biodiversity Action Plan: Advice Note on Landscaping Schemes and Species Features.

5 Minor appropriation of land

The proposal involves widening the existing footpath from Croftdown Road. This would provide a new and improved pedestrian and cycling link through the site. This element of the scheme will require a minor appropriation of land between 2 parts of the Council. This would be dealt with separately if planning permission is granted and prior to any works commencing on site (e.g. Section 256 of the Highways Act 1980).

6 Considerate Contractors

The development would also need to be registered with the Considerate Constructors' Scheme. Details are available at the website below:
" <https://www.ccscheme.org.uk/>

7 CMP pro-forma

The Council has a CMP pro-forma which must be used if and when planning permission is granted and once a Principal Contractor has been appointed. The CMP, in the form of the pro-forma, would need to be approved by the Council prior to any works commencing on site. The CMP pro-forma is available on the Council's website at the hyperlink below:

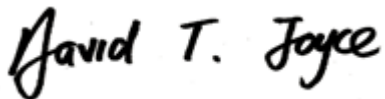
<http://www.camden.gov.uk/ccm/content/environment/planning-and-built-environment/two/planning-applications/making-an-application/supporting-documentation/planning-obligations-section-106/>

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning