

2021.4234.P 43A Redington Road



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Host Building



Image 1. Showing the arial view of the rear elevation.



Image 2. Front elevation

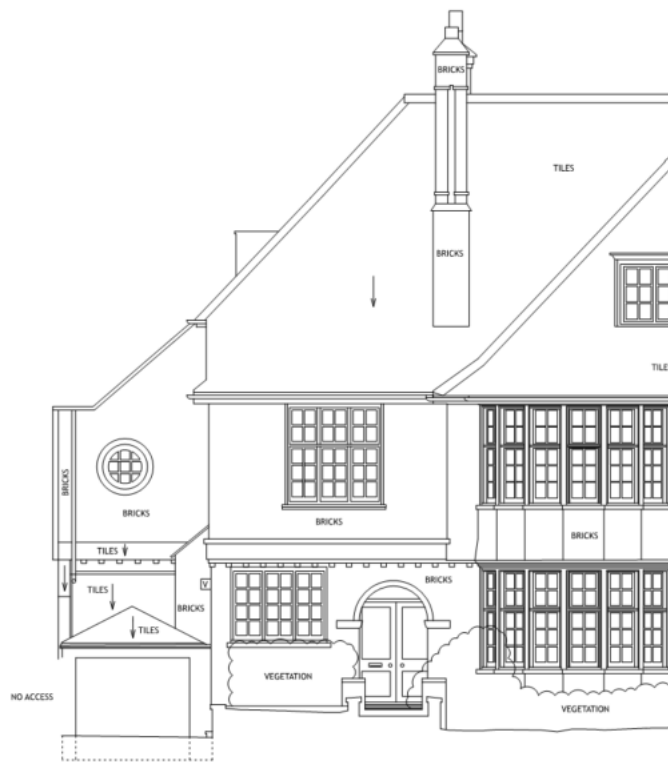


Image 3. Existing front elevation.

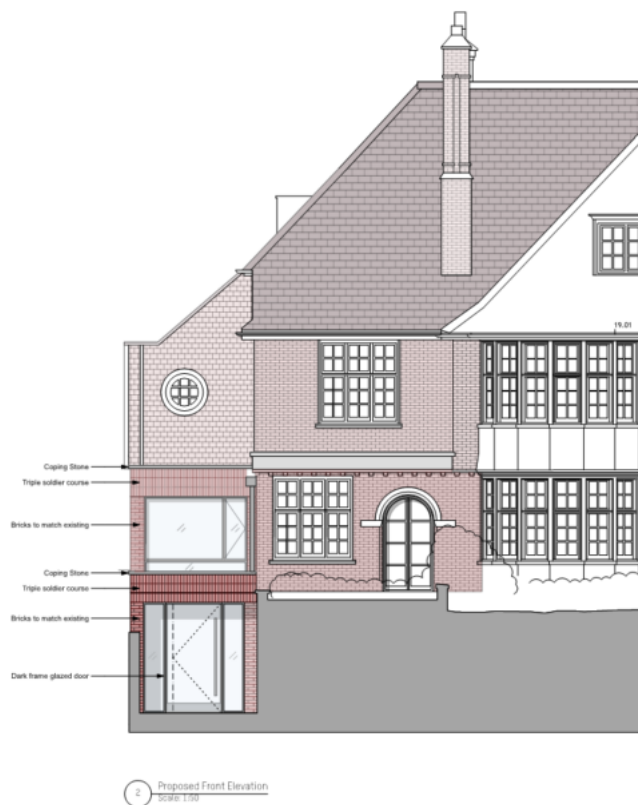


Image 4. Proposed front elevation



Image 5. Existing rear elevation



Image 6. Proposed rear elevation.



43A Redington Road

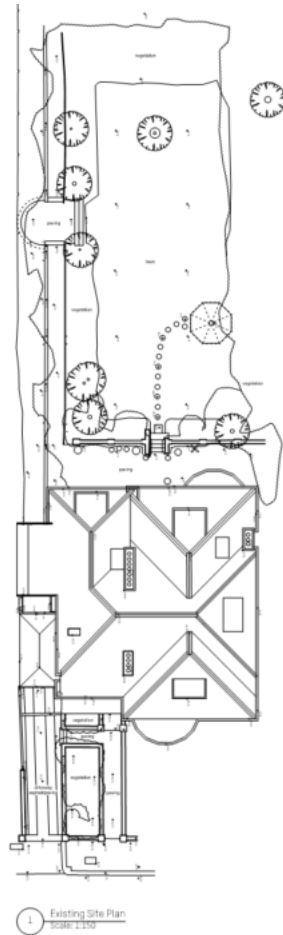


Image 7. Existing Block Plan Showing the landscaping treatment

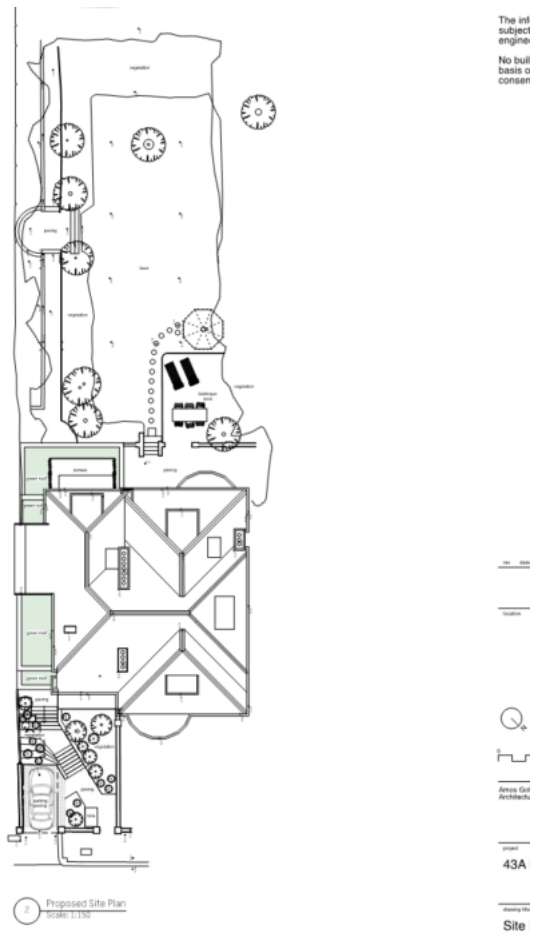


Image 8. Showing the proposed landscaping details.

Delegated Report		Analysis sheet		Expiry Date:		27/10/2021	
(Members Briefing)		N/A		Consultation Expiry Date:		14/11/2021	
Officer				Application Number(s)			
Obote Hope				2021/4234/P			
Application Address				Drawing Numbers			
43 A Redington Road London NW3 7RA				See draft decision notice			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Erection of a single storey rear extension with terrace at upper-ground floor level, excavation at basement level for a two storey side infill extension at basement and ground floor, landscaping and levels alterations and the conversion of the garage to a habitable room.							
Recommendation(s):		Grant conditional planning permission					
Application Type:		Full planning application					

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	Site notices Press notice	15/10/2021-08/11/2021 21/10/2021-14/11/2021	No. of responses	0	No. of objections	0
Summary of consultation responses:	No responses received.					
CAAC/Local groups comments:	<p>The Redington and Frognal Neighbourhood Forum have objected on the following grounds:</p> <ul style="list-style-type: none">To help demonstrate compliance, the application should quantify the areas of hard surface to be added and removed to ensure that there is no net loss of natural soft surface (SD 1 v, SD 4 vii, SD 5 iii, BGI 1 iii, BGI 2 i).Landscaping proposals will need to demonstrate the achievement of a net gain in biodiversity (SD 1 iii – vii, SD 4 viii, BGI 1 ii, BGI 2 i-v).Consideration should also be given to policies SD 4 xii and BGI 1 vii and; depth of 2 metres and 3 metres should also be measured. <p>Officer response:</p> <ol style="list-style-type: none">The proposed rear extension is built on the existing patio area which measures approximately 34sqm. A further 25sqm and part built over vegetation 9sqm of which there is no impact on the existing trees. Nonetheless a condition is attached to ensure that the tree is protected.The drawing originally submitted in relation to the front garden (which as existing includes a hard surface part) would result in:<ul style="list-style-type: none">hard surface: 49.5sqmsoft surface: 16.5sqmThe revised scheme included presented in revised plans would result in:<ul style="list-style-type: none">hard surface: 38sqmsoft surface: 28sqmThe block plan and the applicant confirmed that the revised approach allows a net gain of 11.5sqm. The revised scheme also proposed new planting which will be of “high value” to bees, other pollinators, insects etc. Officers consider the revised scheme responds positively and have met policies BG1 and SD1 of the Redington and Frognal Neighbourhood Plan.					

Site Description

The host premise is a three storey semi-detached building located on the south- western end of Redington Road. The property is in use as self-contained flats comprising of 4 flats.

The surrounding area is predominately residential in use and the surrounding buildings appear to be occupied and well kept. The building is not listed, however, the host building makes a positive contribution within the Redington/Frogna Conservation Area. The CA subdivided the area into 8 Sub-Areas. The application site falls within Sub-Area 4 which includes several streets including Redington Road and the properties in the immediate and surrounding area consist of similar rear and side infill extensions including the neighboring property at no 45 Redington Road.

Relevant History

Relevant planning history at the application site:

CTP/E5/8/14/26624 – The enclosure of the existing loggia at the rear for use as a dining area. **Granted** 04/10/2012.

45 Redington Road

2014/2102/P - Single storey rear extension Certificate of Lawfulness (Proposed). **Granted** 22/05/2014

2018/4602/P- Installation of glass balustrade to the flat roof of the previously approved rear extension at lower ground floor level to create a roof terrace and replacement of the existing window with new door. **Granted** 22.01.2019.

Relevant policies

National Planning Policy Framework (2021)

London Plan (2021)

Camden Local Plan (2017)

Policy G1 Delivery and location of growth

Policy DM1 Delivery and monitoring

Policy A1 Managing the impact of development

Policy A4 Noise and Vibration

Policy A5 Basements

Policy D1 Design

Policy D2 Heritage

Policy T1 Prioritising walking, cycling and public transport

Policy T2 Car free development

Camden Planning Guidance

Basements CPG (2021)

Design CPG (2021)

Amenity CPG (2021)

Home improvements (2021)

Transport (2021)

Redington/Frogna Neighbourhood Plan 2021

Policy SD1 Refurbishing of existing building stock

Policy SD4 Redington Frogna Character

Policy BG1 Gardens and Ecology

Redington and Frogna Conservation Area Statement 2003

Assessment

1.0 Proposal

- 1.1 Planning permission is sought for a single storey rear extension at lower-ground floor level with terrace above, excavation for an enlarged basement extension including conversion of the garage into a habitable room occupying the lower and ground floor part of the property.
- 1.2 Landscaping treatment is also proposed to the front and rear elevations, new staircase arrangement is proposed to access the basement extension from the front garden along with new planters and the existing asphalt would be replaced with paving stones. The proposed rear extension would measure 7.6 metres in width (including side extension as it extends beyond the original wall of the property) and 3.6 metres in length. The proposed basement extension 2.2m in depth. The proposed works would excavate under the existing side garage that would ultimately form a 2 storey side extension to the south of the building.

1.3 Revisions

- 1.4 The original submission resulted in changes to the landscaping treatment to the front elevation, the loss of the rear ground floor window and the original door at lower-ground and ground floor level. The revised soft landscaping treatment would result in additional hardstanding being removed with enhance planters. Regarding the extension to the front and rear elevations the materials proposed would have failed to preserve or enhance the character of the host building and the wider area. Following negotiation with officers, a revised submission was provided which included the mitigation set out above.

2. Assessment

- 2.1 The principal considerations material to the determination of this application are:
- Design and appearance of the proposed works and impact on the Frognal and Redington Conservation Area
 - Hard and soft landscaping treatment
 - Basement Impact
 - Transport
 - The impact on neighbouring amenity.

3. Design

- 3.1 Policy D1 (Design) states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 3.2 The proposed extension would be a single storey addition to the rear elevation lower-ground floor that would sit subordinately in relation to the existing building. The extension would be constructed with brick to match the existing with a series of aluminium framed windows and timber framed door. The rear addition would not exceed the size and bulk of the adjoining closet wings of the neighbouring properties (no's 41 and 45 Redington Road).
- 3.3 It is proposed to install metal balustrade on the flat roof to create a rear terrace area accessed via new doors at upper ground floor level, following the replacement of the existing upper-ground floor crittall window. The terrace has a modest footprint that doesn't occupy the full roof

and is considered appropriate for its rear elevation setting and would preserve the character and appearance of the wider area.

- 3.4 The proposed side extension replaces the existing garage to the front/flank elevation and would occupy two floors, the lower- ground and the ground floor for the provision of ancillary residential floorspace. Although the extension would be prominent within the streetscene, the height would be read as a single storey addition and would be a similar height to the ground floor bay window to the front elevation. Thus, the proposal is considered subordinate to the main property in terms of its size, height and bulk. The side extension would be appropriately set back from the existing front bay window by approximately 4.5m. The extension to the flank elevation would be constructed using matching brick that would preserve the character of the host building and the wider conservation area.
- 3.5 The conversion of the existing garage is considered acceptable. The garage is too small for modern cars, and there is sufficient space onsite to accommodate a parking space so there will be no impact with the existing on street parking arrangement.
- 3.6 In terms of detailed design as revised both the rear and side infill extension are considered appropriate for their settings. Green roofs are proposed on the extensions and the details/installation/maintenance of the green roofs would be secured by condition. The material details of both the side and rear additions would be secured by condition to ensure that high quality materials are used and to ensure that they match the existing building. Overall, the proposed rear and side additions would preserve the character and appearance of the host building.
- 3.7 The proposed fenestration treatment to the rear at lower and ground floor level has been revised. Originally, the proposed works would involve changes to the historic door (lower-ground) and window at (ground floor) level which are sensitive alterations to the original design of the host building. The revised drawing shows that the proposed lower ground and upper ground floor would match the design and appearance of the existing window. Whilst this window would be enlarged the design, profile and width would match the match existing including its style and colour. A condition is attached to ensure all new work matches existing in terms of material, colour, profile and finish. Detailed drawings of new doors are secured by condition. Officers do not object to the enlarged window proposed to the rear (south) elevation and this minor change is considered to be acceptable.
- 3.8 The proposed roof terrace at upper ground floor level is considered acceptable, there is an existing roof terrace to the rear at first floor level and the new terrace being proposed to the south elevation, would be appropriately set back by at least 3m from the boundary with no. 41 Redington Road. The metal railings would enclose the proposed terrace and the simple design would not result in additional visual clutter to the rear elevation of the building and would be considered acceptable.
- 3.9 Overall, the proposal is not considered harmful to the character or appearance of the host building, street scene or the Hampstead Conservation Area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

4. Hard and soft Landscaping treatment

- 4.1 The proposed extension and new hard and soft landscaping would not result in the loss of any existing trees. The existing front garden treatment consist of asphalt paving and vegetation, it is proposed to install paving stones as a replacement to the asphalt, introduce new vegetation along the sides and the front of the existing car parking space. The associated landscaping proposed incorporates additional planting and this would enhance the character of the area offering more biodiversity whilst enhancing the verdant character of the area. Overall, the works comply with the Neighbourhood Plan policies BG1 and SD1 that relate to garden land development. Upon consultation with the Tree Officer conditions are recommended to require

implementation of tree protection measures and Landscaping details to ensure it is high quality.

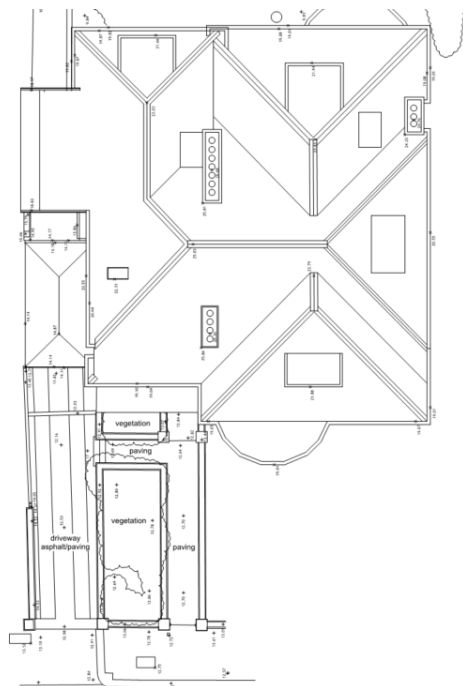


Image 1. Existing front garden treatment Image 2. Proposed Landscaping details.

4.2 New stepped accesses would be created to the front elevation and the existing paved area would provide access from the garden into the proposed basement. The design of the proposed external staircase arrangement, by way of their locations and planter screening would not be prominent. However, to ensure that this would be the case, a condition would be attached for the details of the hard and soft landscaping to be submitted and approve.

5. Basement Impact

5.1 Policy A5 of the Local Plan states that the Council will only permit basement development where it is demonstrated to its satisfaction that the proposal would not cause harm to:

- neighbouring properties;
- the structural, ground, or water conditions of the area;
- the character and amenity of the area;
- the architectural character of the building; and
- the significance of heritage assets.

5.2 The siting, location, scale and design of basements must have minimal impact on, and be subordinate to, the host building and property. Basement development should:

- not comprise of more than one storey;
- not be built under an existing basement;
- not exceed 50% of each garden within the property;
- be less than 1.5 times the footprint of the host building in area;
- extend into the garden no further than 50% of the depth of the host building measured from the principal rear elevation;

- not extend into underneath the garden further than 50% of the depth of the garden;
- be set back from neighbouring property boundaries where it extends beyond the footprint of the host building; and
- avoid the loss of garden space or trees of townscape or amenity value

5.3 A Basement Impact Assessment has been undertaken in accordance with policy A5 and this has been assessed by the Council's external basement auditor, Campbell Reith. It has been found to comply with the requirements of policy A5 and the CPG on Basements and the authors possess the necessary qualifications as required by policy A5.

5.4 It is proposed to deepen and extend the existing lower ground floor at the site, by approximately 2.2m in depth. The proposed works would excavate under the existing side garage that would ultimately form a 2 storey side extension to the south of the building. The basement extension beneath the existing garage would sit half a storey higher than the garage due to the rising ground levels in the front garden, however, it would still be read as a single storey addition to the front elevation. Thus, proposed basement would have minimal impact, giving its siting, location, scale and design and is considered subservient to the host building.

5.5 The basement Audit stated that although the Camden Geological, Hydrogeological and Hydrological Study (GHHS) Slope Angle Map suggests that the site is in an area where slopes steeper than 7° may be present, the topographic survey carried out by "Land & Measured Building Surveys" confirms that the gradient between Redington Road and the garden area, and that of the driveway, is less than 7°. As such, the proposed development does not result in an alteration of the sloped angle. As the proposed access to the basement level from Redington Road will be achieved via a stepped area of overall slope higher than 7°, reinforced concrete walls capable of resisting the surcharge, soil and water pressure will be implemented to address any potential land stability issue.

5.6 The technical aspects of the BIA states that the proposed extension is considered to fall under "category B". The details confirmed that groundwater may be encountered during the basement excavation and indicates the potential need for dewatering from sumps. Whilst the BIA states that there is unlikely to be impacts to groundwater flow, Further monitoring is required and a condition is attached accordingly. The Audit reviewed the Basement Impact Assessment for potential impact on land stability and local ground and surface water conditions arising from basement development in accordance with LBC's policies and technical procedures.

5.7 The Basement Audit confirmed that the groundwater was encountered during the site investigation between c. 4.00m and 4.40m bgl in BH1 and BH2. Groundwater monitoring was undertaken on two occasions, on August 10 2021 recorded levels at c. 4.00m bgl in BH1 and 1.00m bgl in BH2 (both at an elevation of c. 8.80m to a Relative Site Datum (RSD), which is above proposed formation level. The second ground water monitoring visit was undertaken on the 11th of January 2022; only borehole BH1 could be accessed and the water level was 4.09m bgl. The BIA indicates localised dewatering by sump pumping might be required during construction.

5.8 A site investigation has been undertaken indicating the basement will be constructed within the Claygate Member. The proposed geotechnical parameters for design Sustainable Drainage Strategy (SUDs) measures will be adopted to ensure that the surface water run-off will not increase as a part of the development. The drainage design will be subject to Thames Water and LBC approval and a condition is attached accordingly.

6. Transport

Construction Management Plan (CMP)

6.1 The site is located within a residential neighbourhood and the Council seeks to ensure that the impact on the highway infrastructure and neighbouring community is minimized. Therefore a

Construction Management Plan (CMP), a CMP implementation support contribution of £3,920 and a Construction Impact Bond of £7,500 will be secured as section 106 planning obligations in accordance with Policy A1.

Highways contribution

6.2 The footway directly adjacent to the site is likely to sustain damage because of the proposed excavations. The Council would need to undertake remedial works to repair any damage following completion of the proposed development. A highways contribution of £6,648.79 will be secured as a section 106 planning obligation. This would allow the Council to repave the footway directly adjacent to the site and repair any other damage to the public highway in the general vicinity of the site. The highway works would be implemented by the Council's highways contractor on completion of the development.

Summary of Section 106 Planning Obligations and Conditions

- Construction Management Plan and associated Implementation Support Contribution of £3,920
- Construction Impact Bond of £7,500
- Highways contribution – £6,648.79

7. Impact on neighbouring amenity

7.1 Policy A1 seeks to protect the quality of life of occupiers by only granting permission for development that would not harm their amenity. The main factors which are considered the impact the amenity of neighbouring residents are overlooking, loss of outlook and sense of enclosure, implications on daylight, sunlight, light pollution and noise.

7.2 It is considered that the proposed rear extension would not have any material adverse impacts on the amenity of residents with regards to loss of daylight/sunlight, outlook nor would the proposal exacerbate a sense of enclosure. No additional views into habitable rooms would be created. Whilst the rear and side extension would infill the current gap to the rear elevation with the extension at no. 41 the existing boundary is considered to be sufficiently high with planting and natural screening to ensure that the proposal would not have any harmful impact.

7.3 The proposed infill extension to the flank elevation would not cause a harmful impact given its location between the host building and no 45 which does not consist of any windows to the flank elevation.

7.4 There is an existing terrace at first floor level on the host property and the neighbouring property no. 41 consists of a rear upper ground floor terrace. Given the separation distance of 3m from the boundary with No.41 and over 10m separation distance to No.45s side boundary and the heavy greenery, it is not considered the proposed upper ground terrace would have a detrimental impact upon the amenities of the neighbouring properties in regards to overlooking or privacy impacts. The proposed basement extension would not have any harmful impact in regard to light spillage given its setting and the setback at lower-ground floor level.

7.5 In light of the above, it is considered that due to the small scale of the proposal, there would be no harm caused to the neighbouring amenity in terms of loss of daylight/sunlight loss of light, outlook or overlooking and the proposal is therefore considered acceptable.

8. Recommendation

8.1 Grant conditional planning permission subject to S106 Legal Agreement

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 7th March 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/4234/P
Contact:
Tel: 020 7974
Date: 28 February 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Salisbury Jones Planning
33 Bassein Park Road
London
W12 9RW
United Kingdom

Dear Sir/Madam

DRAFT
FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
43 A Redington Road
London
NW3 7RA

PROPOSAL
Proposal:

Erection of a single storey rear extension with terrace at upper-ground floor level, excavation at basement level for a two storey side infill extension at basement and ground floor, landscaping and levels alterations and the conversion of the garage to a habitable room.

Drawing Nos: 403-T-001; 403-T-100 REVD; 403-T-101 REVE; 403-T-102 Existing and proposed GF Plans; 403-T-102 Existing and proposed Roof Plans; 403-T-201 REVC; 403-T-203; 403-T-300 REVE; 403-T-301 REV D; 403-T-302 REV D; Appendix A 21141 Stage 2 Drawings; Appendix B 21141 Calculations Package; Construction Management Plan dated August 2021; Appendix C (21141) Site Investigation commissioned by Geotechnical & Civil Engineering Consultants dated 27.08.2021; Appendix E Part 2 (21141) Suds Strategy dated 27.08.2021; Appendix D (21141) Ground Movement Assessment D commissioned by Geotechnical & Civil Engineering Consultants dated 27.08.2021; Daylight and Sunlight Report commissioned by Stinton Jones Consulting Engineers LLP; Design and Access Statement commissioned by Salisbury Jones Planning; Basement Impact Assessment commissioned by Symmetrys Structural/Civil Engineers (21141); Flood Risk Assessment commissioned by GeoSmart dated 28.07.2021.

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 403-T-001; 403-T-100 REVD; 403-T-101 REVE; 403-T-102 Existing and proposed GF Plans; 403-T-102 Existing and proposed Roof Plans; 403-T-201 REVC; 403-T-203; 403-T-300 REVF; 403-T-301 REV D; 403-T-302 REV F; Appendix A 21141 Stage 2 Drawings; Appendix B 21141 Calculations Package; Construction Management Plan dated August 2021; Appendix C (21141) Site Investigation commissioned by Geotechnical & Civil Engineering Consultants dated 27.08.2021; Appendix E Part 2 (21141) Suds Strategy dated 27.08.2021; Appendix D (21141) Ground Movement Assessment D commissioned by Geotechnical & Civil Engineering Consultants dated 27.08.2021; Daylight and Sunlight Report commissioned by Stinton Jones Consulting Engineers LLP; Design and Access Statement commissioned by Salisbury Jones Planning; Basement Impact Assessment commissioned by Symmetrys Structural/Civil Engineers (Revision C) dated 27th January 2022; Flood Risk Assessment commissioned by GeoSmart dated 28.07.2021.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 Detailed drawings or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:
 - a) Details including plans, elevations and sections at 1:10 of all new windows (including jambs, head and cill), doors, balustrades and associated elements;
 - b) Manufacturer's specification details of facing brickwork (including the proposed colour, texture, face-bond and pointing) of the extension (to be submitted to the Local Planning Authority) and sample.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to commencement of development , full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include
- i. a detailed scheme of maintenance
 - ii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of any impact piling, a piling method statement shall be submitted to and approved in writing by the local planning authority. The Method Statement shall be prepared in consultation with Thames Water or the relevant statutory undertaker, and shall detail the depth and type of piling to be undertaken and the methodology by which such piling will be carried out including measures to prevent and minimise the potential for damage to subsurface water infrastructure, and the programme for the works. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: To safeguard existing below ground public utility infrastructure and controlled waters in accordance with the requirements of Policy CC3 of the London Borough of Camden Local Plan 2017.

- 6 The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local Plan 2017.

- 7 The basement development shall be constructed in accordance with the method and recommendations set out in the following documents: Revised Basement Impact Assessment (Symmetrys Structural Engineers - January 2022) and the recommendations set out in Campbell Reith's audit report revision 13693-21 F1 dated February 2022.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policies D1, D2 and A5 of the London Borough of Camden Local

- 8 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 9 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. [Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels.] The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 10 Prior to the commencement of construction/demolition works on site, tree protection measures shall be installed in accordance with approved Tree Protection Plan. The protection shall then remain in place for the duration of works on site and works should be undertaken in line with the approved arboricultural method statement, unless otherwise agreed in writing by the local authority.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 11 The development hereby approved shall employ an Engineer to monitor any potential impact on land stability and local ground and surface water conditions arising from basement development. The underpinning techniques shall also be carried out with good control of workmanship on site and the movement monitoring method is to be developed further during detailed design and shall include levelling, geospatial surveying, crack width gauges, strain gauges, inclinometers, or extensometers or a combination of these methods. The monitoring should be undertaken prior to demolition and continue through to completion of the structure.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policy A5 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 5 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning

Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate