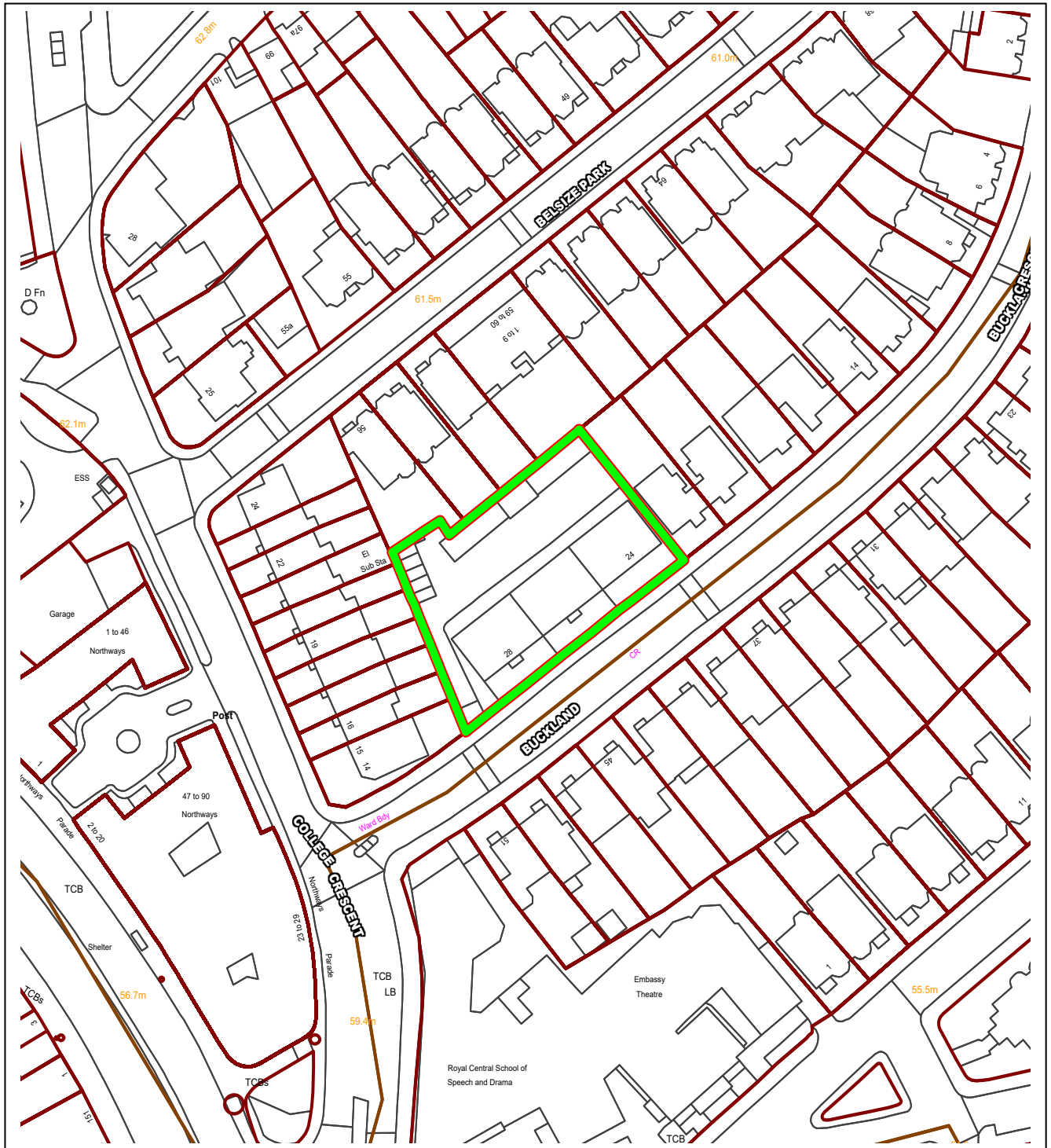


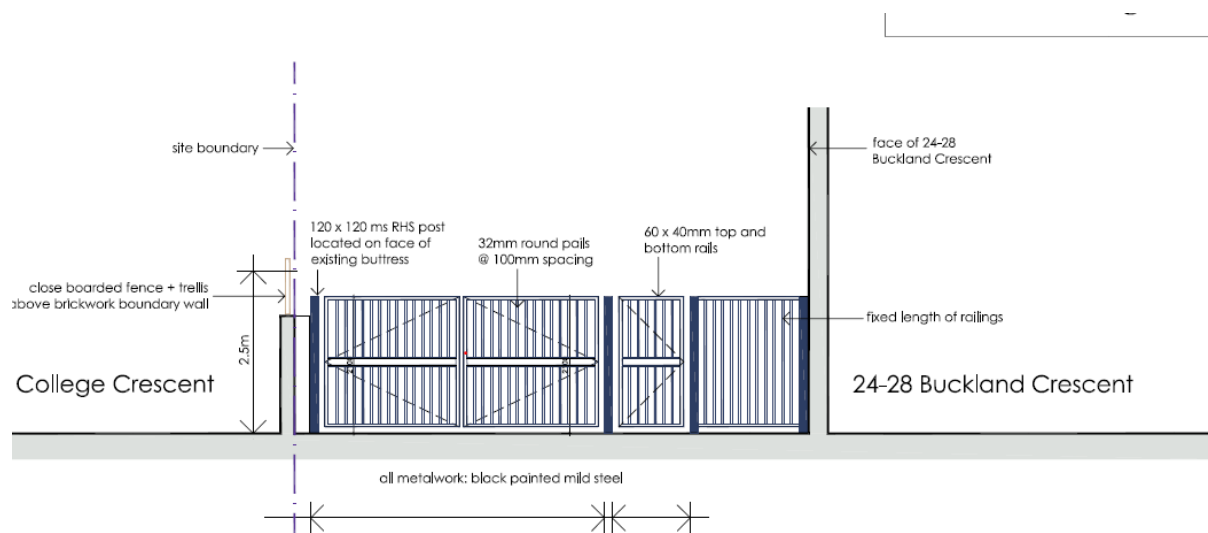
2021/4199/P- 24-28 Buckland Crescent



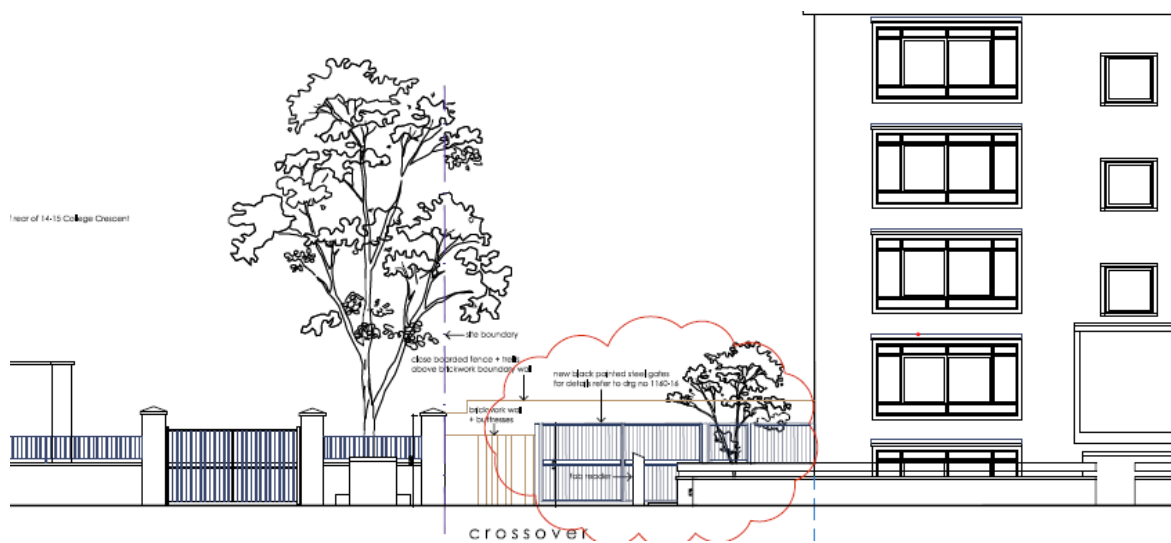
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Streetview of the front of 24-28 Buckland Crescent and existing barrier



Proposed elevation fronting onto Buckland crescent

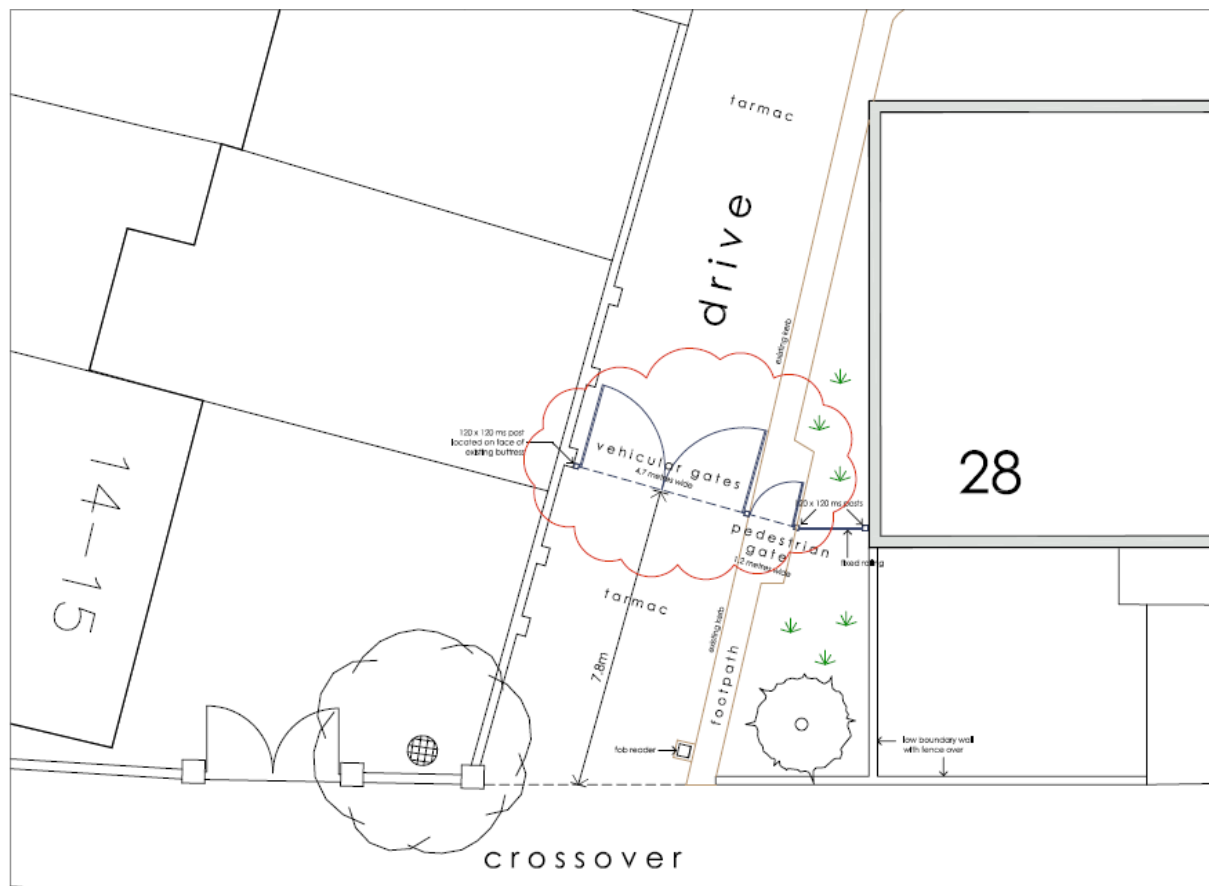


Proposed elevation fronting onto Buckland crescent



southwest elevation

Proposed side elevation showing the proposed gate would be set back from the streetscene



Proposed floorplan showing the setback from the proposed gates

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	25/10/2021
		N/A / attached		Consultation Expiry Date:	24/12/2021
Officer				Application Number(s)	
Enya Fogarty				2021/4199/P	
Application Address				Drawing Numbers	
24-28 Buckland Crescent London NW3 5DU				See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of vehicular and pedestrian gates and railings					
Recommendation:	Grant conditional planning permission				
Application Type:	Full Planning Permission				

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	A site notice(s) was displayed near to the site on the 03/11/2021 (consultation end date 27/11/2021). The development was also advertised in the local press on the 04/11/2021 (consultation end date 28/11/2021).			
Adjoining Occupiers:	No. of responses	00	No. of objections	2
Summary of consultation responses:	<p>2 <i>Objections</i> were received from the neighbouring occupiers. Their objections are summarised below</p> <ol style="list-style-type: none">1. Overbearing and out of scale2. Incongruous addition3. Harm the character and appearance of the building4. Will result in rubbish being left on the street5. Gates will not improve the ‘unsavoury’ or ‘anti-social behaviour’6. Loss of green space <p><u>Officer response:</u></p> <ol style="list-style-type: none">1. <i>Please see Design and Conservation section of the report</i>2. <i>Please see Design and Conservation section of the report</i>3. <i>Please see Design and Conservation section of the report</i>4. <i>Please see Amenity section of the report</i>5. <i>This is not a material planning consideration.</i>6. <i>It is considered that there would not be a loss of any front green space.</i>			
Belsize CAAC:	A letter of objection was received on behalf of the CAAC. Their objection comments can be summarised as follows: <ul style="list-style-type: none">• The proposed gates and railings look like an entrance to a factory on an industrial estate. Would cause harm the conservation area, less dominant gates and railings should be proposed. <p><u>Officer’s response:</u></p> <ul style="list-style-type: none">• <i>Please see Design and Conservation section of the report</i>			

Site Description

The subject site is within a five storey block of flats to the north side of Buckland Crescent. The property is located on the ground floor and includes windows on both the front and rear elevations that are the subject of this application. The site lies within the Belsize Park Conservation Area and has been identified as a negative feature in the conservation area statement. The site is not statutory or locally listed.

Relevant History

Flat 11, 24-28 Buckland Crescent

2021/4462/P – Replacement of windows and door to front elevation and windows to rear elevation with uPVC.

Flat 6 24-28 Buckland Crescent

2016/3742/P – Replacement of existing white metal critall single glazed windows by white UPVC double glazed windows to second floor flat at front and rear elevations. – Granted 14/09/2016

Flat 19 24-28 Buckland Crescent

2016/6919/P: Replacement of existing windows with aluminium & UPVC framed, double glazed units : granted 02/03/2017.

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan 2017

A1 Amenity

A4 Noise and vibration

CC5 Waste

D1 Design

D2 Heritage

Belsize Park Conservation Area Statement (2003)

Assessment

1. The proposal

- 1.1. Planning permission is sought for the erection of a gate and iron railings to the front of 24-28 Buckland Crescent.

2. Revisions

- 2.1 During the lifetime of the application in response to officers concerns regarding the design and scale of the gates revised plans were received. The proposed gates were re-designed to reflect the character of the street. The revisions were reviewed by the council conservation team and are considered acceptable.

3. Design and Conservation

- 3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 3.2. The gate would measure 2m in height and would extend the width of the existing entrance and would be set at an angle back 7.8m from the front boundary. It replaces an existing automatic rising barrier. The gates would comprise of two sections, the left/middle would be for vehicular access, the right most section for pedestrian access. The gates would be constructed in steel and would be painted black and would be similar in appearance to the neighbouring property no.14 Buckland Crescent. The revised gates are lower and are considered to be more decorative with a horizontal component and appear less defensive as they no longer propose "spikes" along the top. It is attached to a modern building, and acknowledged that in this instance that a modern design is appropriate.
- 3.3. The gate would sit behind the front building line of the block of flats and due to its reduced height and siting it would not appear as a dominant addition within the streetscene.
- 3.4. As a result, the proposed installation would not harm the appearance of the host properties or the Belsize Conservation Area, in accordance with policies D1 and D2.
- 3.5. The planning history of the site and surrounding area were taken into account. Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

4. Residential Amenity

- 4.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacts upon by virtue of noise or vibrations.
- 4.2. Due to the location, size and nature of the proposal it would not harm the neighbour's amenity in terms of the loss of light, outlook or privacy.
- 4.3. Neighbouring properties have raised concerns regarding the implication on refuse as a result of the installation of the gate. According to the applicant the bins are to be moved to the front forecourt and collected and returned and located within the site as shown below. However, due to the number of occupants residing at Buckland Crescent, a waste management condition is attached securing details of the location, design and method of waste storage and removal.



Current and proposed location of the bins

4.4. The proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring resident. The development is thus considered to be in accordance with planning policies A1 and A4.

5. Recommendation

5.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 7th March 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/4199/P
Contact: Enya Fogarty
Tel: 020 7974 8964
Email: Enya.Fogarty@camden.gov.uk
Date: 2 March 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

DVM Architects Ltd
4A
Murray Street
London
NW1 9RE
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

**24-28
Buckland Crescent
London
NW3 5DU**

DECISION

Proposal:

Erection of vehicular and pedestrian gates to the entrance of 24-28 Buckland Crescent
Drawing Nos: 1160-01; 1160-02; 1160-03; 1160-04; 1160-14A; 1160-15A; 1160-16A; Design
and Access Statement

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans;

1160-01; 1160-02; 1160-03; 1160-04; 1160-14A; 1160-15A; 1160-16A; Design and Access Statement

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 3 Before the development commences, a waste management report including details of the location, design and method of waste storage and removal including recycled materials, shall be submitted to and approved by the local planning authority in writing. The facilities as approved shall be provided and shall be permanently retained thereafter.

Reason: To ensure that sufficient provision for the storage and collection of waste has been made, to avoid obstruction of the highway and to safeguard amenities of adjacent premises in accordance with the requirements of policies CC5, A1, and A4 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION