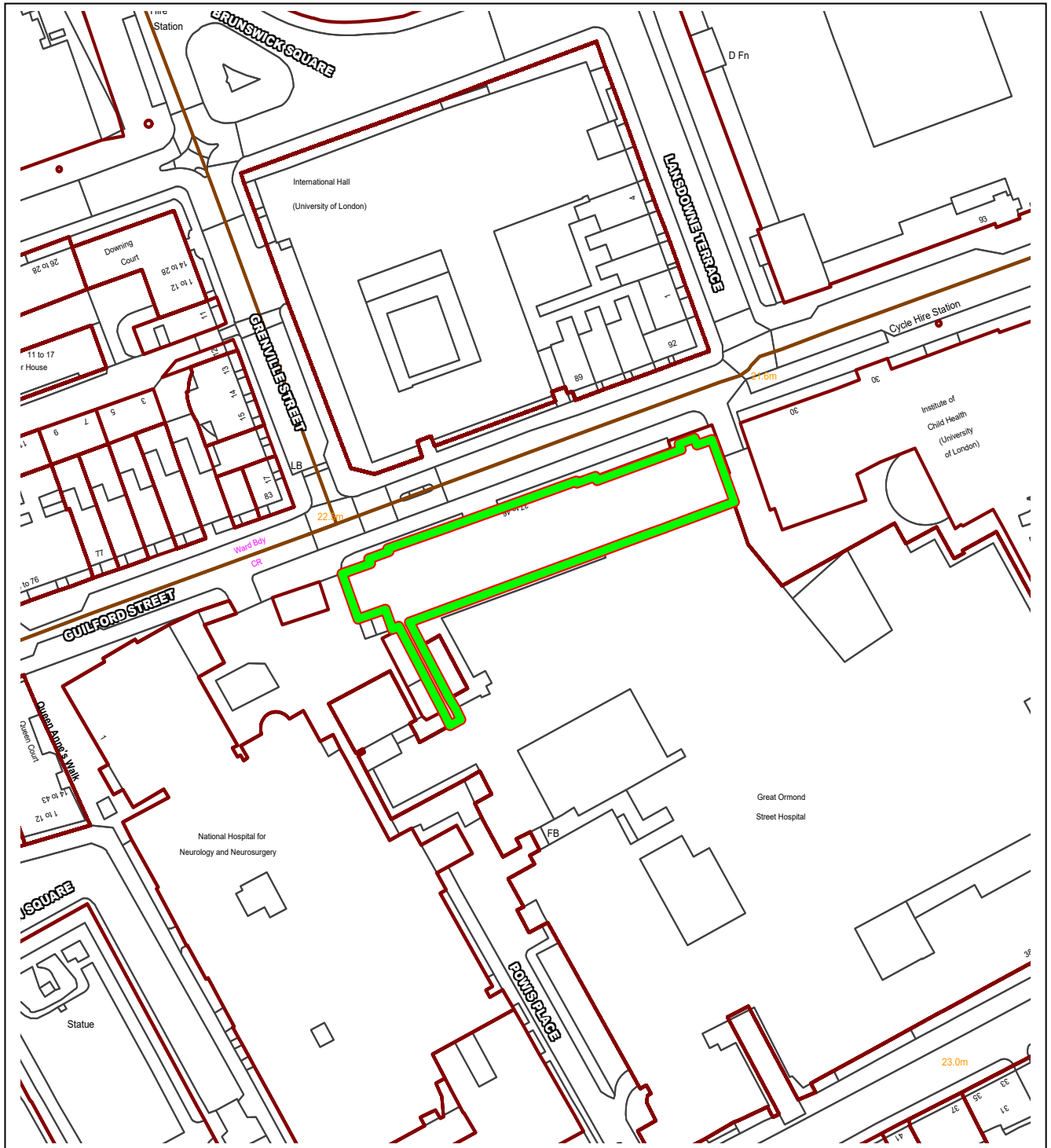
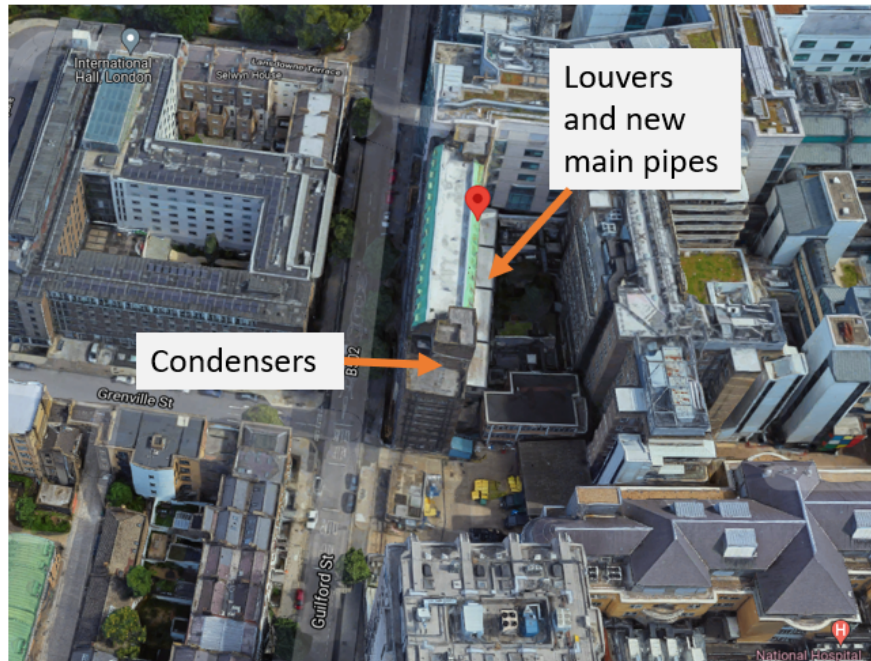


2021/5078/P - Great Ormond Street Hospital,
37-46 Guildford Street, WC1N 1EP



This material has been reproduced from Ordnance Survey digital map data with the permission of the controller of Her Majesty's Stationery Office, © Crown Copyright.



1. Aerial view showing the application site (red dot) and location of main elements proposed.



2. Image of the north and west elevations



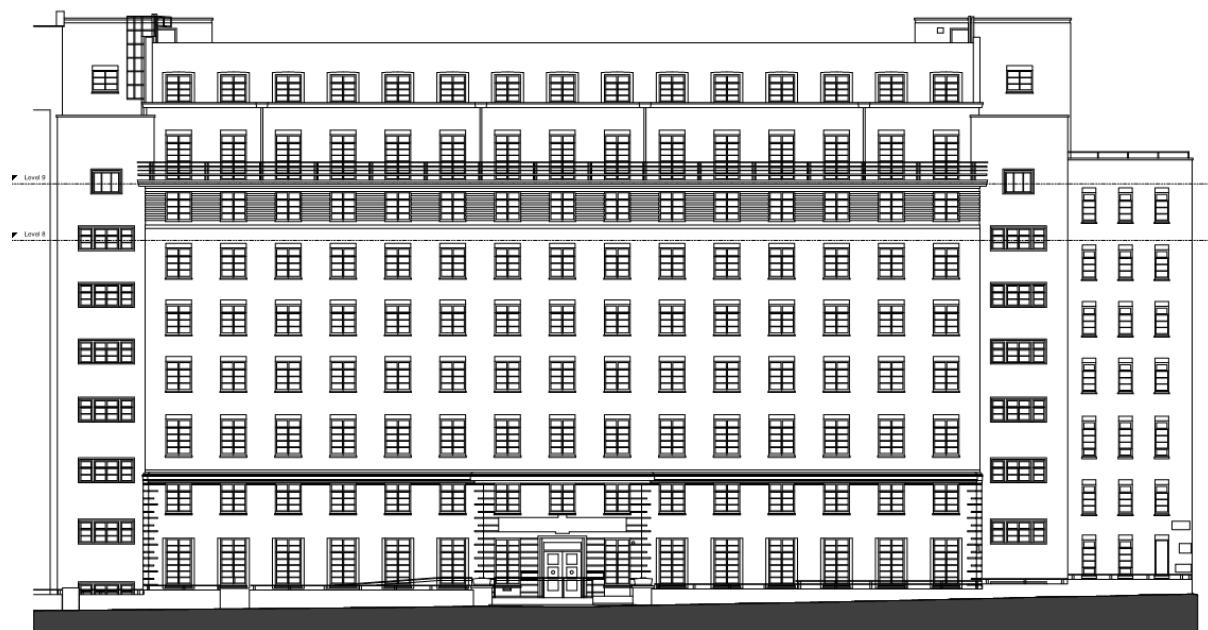
3. Image of south elevation



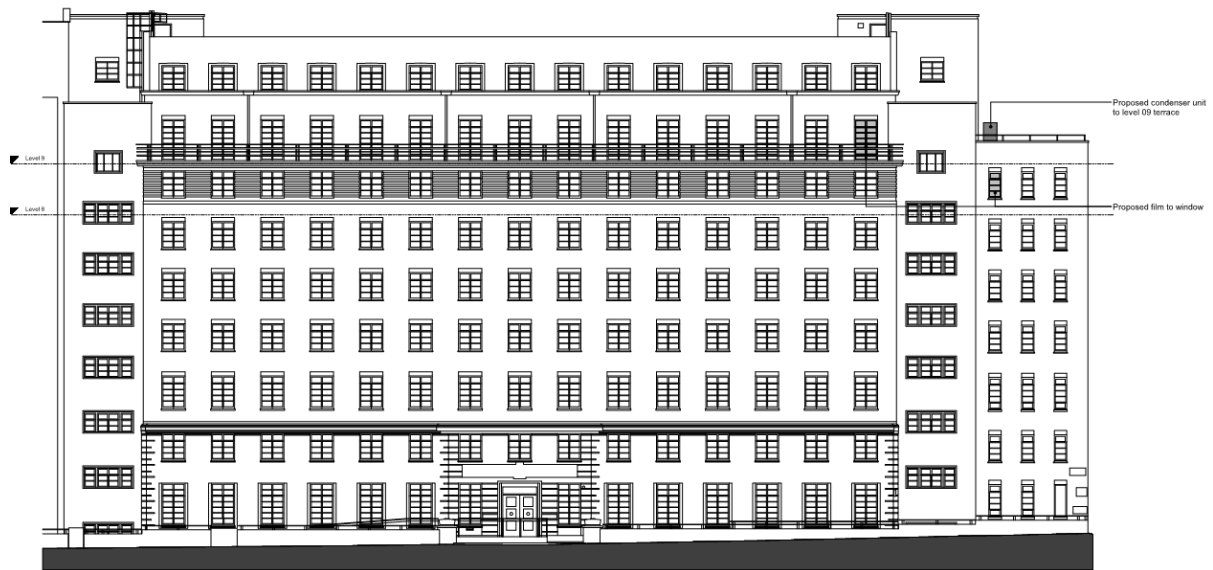
4. Proposed south elevation



5. Existing west elevation



6. Existing north elevation



7. Proposed north elevation

Delegated Report		Analysis sheet		Expiry Date:		13/12/2021	
(Members Briefing)		N/A / attached		Consultation Expiry Date:		26/12/2021	
Officer				Application Number(s)			
Edward Hodgson				2021/5078/P			
Application Address				Drawing Numbers			
Great Ormond Street Hospital 37 - 46 Guilford Street London WC1N 1EP				<i>See draft decision notice</i>			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
Replacement of windows with upper louvre units at levels 08 and 09, and installation of additional drainage pipes on the south and west facades. Erection of two condenser units on level 09 terrace.							
Recommendation:		Grant conditional planning permission:					
Application Type:		Full Planning Permission					

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	<p>A site notice(s) was displayed near to the site on the 26/11/2021 (consultation end date 20/12/2021).</p> <p>The development was also advertised in the local press on the 02/12/2021 (consultation end date 26/12/2021).</p>			
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	No consultation responses were received from neighbouring occupiers.			
Bloomsbury CAAC:	<p>A letter of objection was received on behalf of the CAAC. Their objection comments can be summarised as follows:</p> <ul style="list-style-type: none"> Objection to the proposed upper louvre units as they will destroy the existing metal glazing which is characteristic to the building. This is especially the case on the west elevation. This would be visible and bring harm to the conservation area. <p><u>Officer's response:</u></p> <ul style="list-style-type: none"> The proposed louvres would be situated on the southern façade, away from the main public views, and would be a modest addition to the host building, which has critical functionality to the operation of the hospital. There is no harm identified from such proposal. Please refer to paras. 2.1 to 2.6. 			

Site Description

The application site is 37-46 Guildford Street, a ten-storey building constructed in 1933 that formerly housed the GOSH main nurses home and is currently used for office and administration. The building has a dark brick finish with a clearly defined fenestration, which is sympathetic to the architecture of the wider Bloomsbury area. The top floor has a mansard-style roof with dormer windows. The south and west elevations have existing drain and pipework.

The application site is not listed but is located within the Bloomsbury conservation area and is a positive contributor.

Relevant History

There are no relevant planning records at the application site.

Relevant planning records at neighbouring properties

31-35 Great Ormond Street

2017/2613/P- Replacement of all existing single glazed aluminium windows to front, side and rear elevations with double glazed aluminium windows. **Granted - 07/07/2017**

Great Ormond Street Children's Hospital

2018/1372/P - Minor alterations to the façade (panels and windows); reduction in the building height; removal of windows at first floor and reconfiguration of layout on second and third floors to planning permission granted under reference 2017/3377/P dated 28/11/2017 for: Erection of a three storey building within the Southwood Courtyard to provide 998sq.m (GEA) of healthcare space (D1), including physiotherapy and rehabilitation facilities and an iMRI suite and operating theatre for use by Great Ormond Street Hospital (and associated works). **Granted - 12/04/2018**

Barclay House

2019/2527/P- Installation of two air handling units and four outdoor AC units on first floor roof (retrospective). **Granted - 28/08/2019**

Relevant policies

National Planning Policy Framework (2021)

The London Plan (2021)

Camden Local Plan (2017)

- **A1** Managing the impact of development
- **A4** Noise and vibration
- **D1** Design
- **D2** Heritage

Camden Planning Guidance (2021)

- CPG Amenity
- CPG Design
- CPG Energy efficiency and adaptation

Conservation Statements:

- Bloomsbury Conservation Area Appraisal and management strategy

1. The proposal

- 1.1. Planning permission is sought for replacement of seven windows on levels 8 and 9 and with windows and louvres on the south elevation, installation of additional drainage pipes on the south and west elevations and the installation of two AC condensers at the terrace on level 9, west facing.
- 1.2. The louvres would fit within the existing window opening and only occupy the upper two panes of the window, with a height of 0.3m.
- 1.3. The works include applying a film to a window on the south elevation at level 10 and on two windows on the west elevation at level 9.
- 1.4. These works are required in order for the building to comply with Building Regulations and to enable the decant of patients for the new Children's Cancer Treatment Centre.

2. Design and Conservation

- 2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 2.2. The Bloomsbury Conservation Area Statement (2011) advises that development proposals must preserve or enhance the character or appearance of the Bloomsbury Conservation Area. High quality design and high quality execution will be required of all new development at all scales.
- 2.3. The replacement of the windows with louvres units is required in order to comply with Building Regulations to provide fresh air circulation. The existing windows are traditional eight pane metal framed windows. The proposed louvres would maintain the existing window openings and only replace the two upper panes of the seven windows to be replaced. The proposed louvres would match the existing materials and finishes which would preserve the character and appearance of the building. In addition, the louvres would be located on the south elevation, which has no street frontage and thus public views from street level would not be affected by the proposals. It is therefore considered that the proposed louvres, due to their modest size, location, small number and position on the south elevation, would not result in harm to the character and appearance of the conservation area.
- 2.4. The works to apply a film to windows are considered to be minor and would not significantly affect the appearance of the building.
- 2.5. The proposed condensers would sit on the roof terrace on the western side of the building and would be setback from the edge of the roof parapet. The condensers would have a small scale and be subordinate to the host property. Given the height of the building, their position and modest scale, the condensers would not be harmful to the streetscene and therefore the character and appearance of the building would not be harmed.
- 2.6. A network of pipes already exists on the south and west elevations of the building. Drainage pipes are proposed on the south elevation of the building, which expand across the whole height of the building. As the south elevation is screened from public views, the pipes would not detract from the character of the building. Two small pipes at sixth and seventh floors are proposed on the west elevation, which blend within the existing pipe network. All pipes would be thin and cast iron which would match the others on the building. Due to their position, location and projection, the proposed pipes would preserve the character and appearance of the host building.
- 2.7. The proposed louvres, pipes, and condensers, given their modest scale, location and position, would not cause a detrimental impact upon the character and appearance of the host property and would preserve the significance of the conservation area, which accords with policies D1 and D2. Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed

3. Residential Amenity

- 3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacts upon by virtue of noise or vibrations.
- 3.2. The applicant has submitted a Plant Noise Impact Assessment which has been assessed by an Environmental Health Officer. The assessment accords with the requirements set out in the Camden Local Plan and CPG Amenity and is therefore considered acceptable. Compliance conditions will be attached to the Decision Notice in order to mitigate against any noise impacts.
- 3.3. Due to their nature and position, the proposals would not cause any harm to the outlook or privacy of neighbouring occupiers or residents.
- 3.4. The proposals would also not cause significant harm to the amenity of residents. The proposals accord with policies A1 and A4 of the Camden Local Plan.

4. Recommendation

- 4.1. Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 21st February 2022, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/5078/P
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 15 February 2022

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

BDP
16 Brewhouse Yard
Clerkenwell
London
EC1V 4LJ

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Great Ormond Street Hospital
37 - 46 Guilford Street
London
WC1N 1EP

DECISION

Proposal:

Replacement of seven windows with upper louvre units at levels 08 and 09, and installation of additional drainage pipes on the south and west facades. Erection of two condenser units on level 09 terrace.

Drawing Nos: 3274-MPA-ZZ-ZZ-DR-A-01052-P2-270921, 3274-MPA-ZZ-ZZ-DR-A-01053-P3-270921, 3274-MPA-ZZ-ZZ-DR-A-01054-P2-270921, 3274-MPA-ZZ-RF-DR-A-00055-P2-270921, 3274-MPA-ZZ-RF-DR-A-01055-P2-270921, 3274-MPA-ZZ-XX-RP-A-08001-P2-270921, 3274-MPA-ZZ-ZZ-DR-A-00050-P2-270921, 206-0282 R01-1 Plant Noise Assessment, GOSH Nurses Home Covering Letter (prepared by BDP dated 13/10/2021).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

3274-MPA-ZZ-ZZ-DR-A-01052-P2-270921, 3274-MPA-ZZ-ZZ-DR-A-01053-P3-270921, 3274-MPA-ZZ-ZZ-DR-A-01054-P2-270921, 3274-MPA-ZZ-RF-DR-A-00055-P2-270921, 3274-MPA-ZZ-RF-DR-A-01055-P2-270921, 3274-MPA-ZZ-XX-RP-A-08001-P2-270921, 3274-MPA-ZZ-ZZ-DR-A-00050-P2-270921, 206-0282 R01-1 Plant Noise Assessment, GOSH Nurses Home Covering Letter (prepared by BDP dated 13/10/2021).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The external noise level emitted from plant, machinery or equipment at the development hereby approved shall be lower than the lowest existing background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with the machinery operating at maximum capacity.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 5 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer