

PROPOSED SCOPE OF WORK

The following captures headline proposals only and should be read in conjunction with the Heritage, Design & Access Statement (HDAS) for a more detailed explanation. Each item is numbered in the HDAS and corresponds with the numbers noted on the proposed plans and elevations. Refer to the Photographic Schedule for further information - crossed referenced with numbering system below.

- 1

Item 1 - Roof Repairs

Proposed Works: Existing rooflight to be reduced in size to increase clearance between upstand and parapet wall to introduce suitable flashing detail in order to address suitable flashing detail.
- 2

Item 2 - Parapet Repairs

Proposal Works Local repairs required to third floor parapet to adress failing lead flashing, pointing and spalled brickwork all of which are contributing to internal water ingress.
- 3

Item 3 - Repairs to Concrete Coping

Proposed Works : Local repairs required to third floor parapet concrete coping to address a number of defects within the concrete, including large cracks, exposed reinforcement and DPC.
- 4

Item 4 - Timber Window Repairs

Proposed Works - Local repairs needed to timber window elements to address failed or failing components.
- 5

Item 5 - Stucco Render Repairs

Proposed Works: Rebuild existing stuccy render detailing across principiapl facade to address various areas of failed, spalled and genearily degraded render detailing.
- 6

Item 6 - Front Parapet Wall

Proposed Works: Bituminous waterproof covering to be reapplied to front gutter course and parapet coping to reinstate waterproofing coating.
- 7

Item 7 - Render Repairs / Replacement

Proposed Works: Re-render principal elevation from basement to first floor level to addres large areas of saturated render.
- 8

Item 8 - Decoration of Previously Painted Masonry

Proposed Works: Decorate all previously painted external surfaces to address poor decorative condition and restore the building's appearance.
- 9

Item 9 - Brick Repairs Adjacent Front Door

Proposed Works: Masonry wall adjacent front door should be rebuilt to match original profile and affected surfaces re rendered.
- 10

Item 10 - Drainage Repairs

Proposed Works: Repair defective below ground drainage and introduce new hardstanding and drainage to light well. Works are vital to address excess ground water and halt ongoing movement of the building.
- 11

Item 11 - Internal Masonry

Proposed Works: Rebuild failing pier brickwork beneath modern concrete lintel. Orginal bricks and surrounding plaster are saturated and failing underneath modern engineering bricks.
- 12

Item 12 - External Staircase Repairs

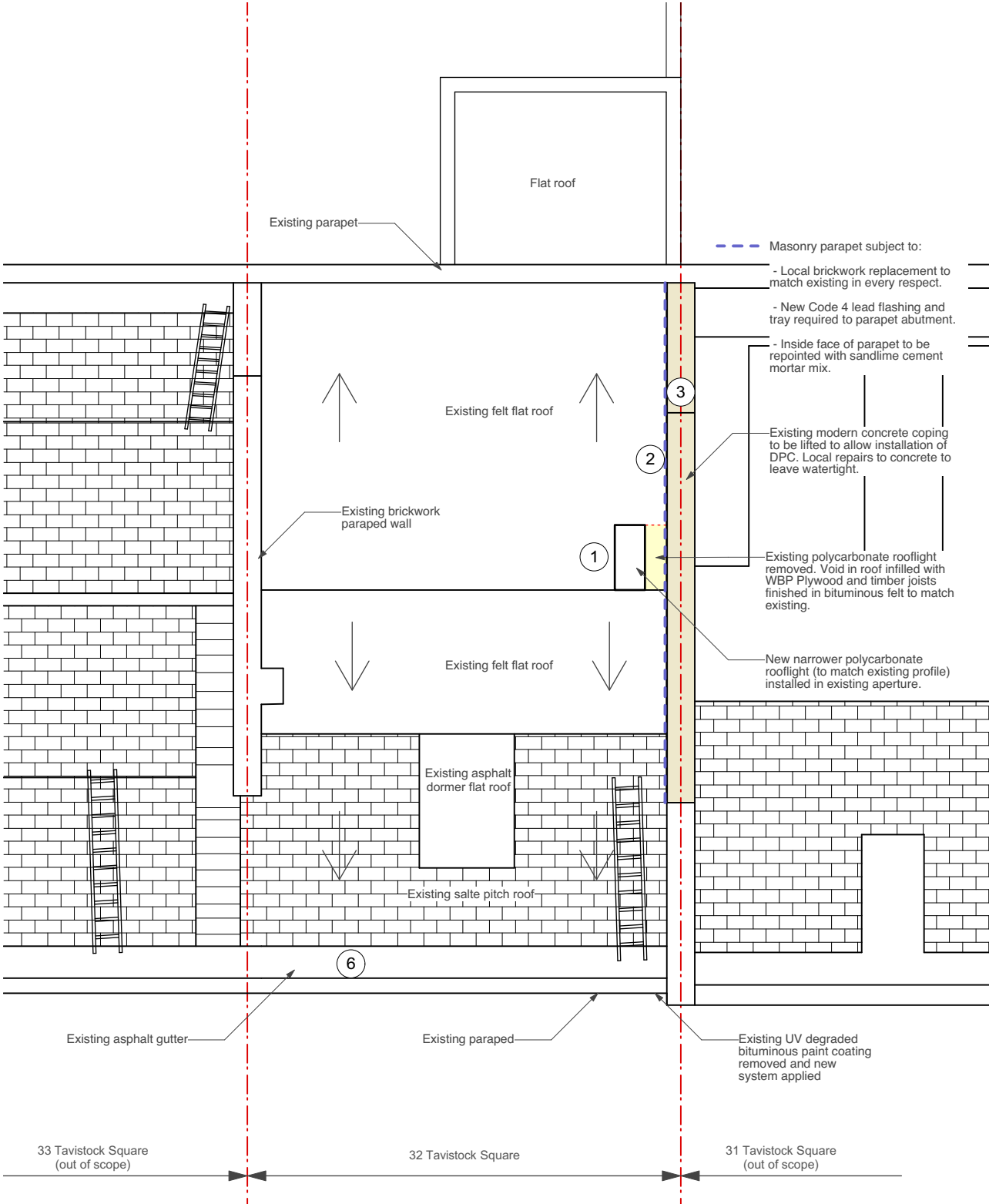
Proposed Works: Access stairs to lightwell should be repaired including steelwork and finishes.
- 13

Item 13 - Corbelled Brickwork Foundations

Proposed Works: Reinstate missing brickwork from foundations - assumed to have been removed in the past for services.
- 14

Item 14 - First Floor Balcony

Replace failed asphalt waterproofing to first floor balcony. Further investigations required to establish extent of corrosion to cast iron cantilevered members.



PROPOSED ROOF PLAN



Scale 1:100 @ A3



Chartered Architects
Chartered Building Surveyors
Interior Designers
CDM Services

Suite 3, Sandford House,
1b Claremont Road,
Teddington, TW11 8DH

+44 (0)20 8943 5300
www.kendallkingscott.co.uk

Project
32 Tavistock Square
London

Client
Burkbeck, University of London

Scale 1:100 ISO A3
Filename 210163-BIRKBECK,UoL_VW21.vwx
© Copyright Do not scale this drawing

Rev Date By Ap Note

Drawing Title
Proposed Roof Plan

Project Number Drawing Number Revision
210163-1305

Date 07/02/2022 Drawn ML Checked KS Purpose/Status PLANNING

Only to be used on the site for which designed. The electronic transmission of designs/information contained in this drawing is carried out entirely at the User's risk and Kendall Kingscott Ltd. will have no liability for any errors or inaccuracies arising therefrom. The production of amended or updated information from the said designs/information by the User is entirely the responsibility of the User and Kendall Kingscott Ltd. shall have no responsibility in respect thereof whatsoever.