



Space House

Planning Condition Discharge Report

Conditions 3LBC c)

For Seaforth Land

February 2022

Document History

Rev	Date	Purpose of Issue	Author	Reviewer
A	02/02/22	Planning Condition Discharge	MPa	CW

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1.0 Introduction

1.1 Purpose of the Report

This document has been prepared by Squire and Partners to provide support information for the discharge of Condition 3LBC c) in relation to the approved development at Space House (refs: 2021/1058/P and 2021/1106/L).

Window details have been approved under condition 3LBC c) previously under approval of details ref: 2021/3397/P, dated 7 September 2021.

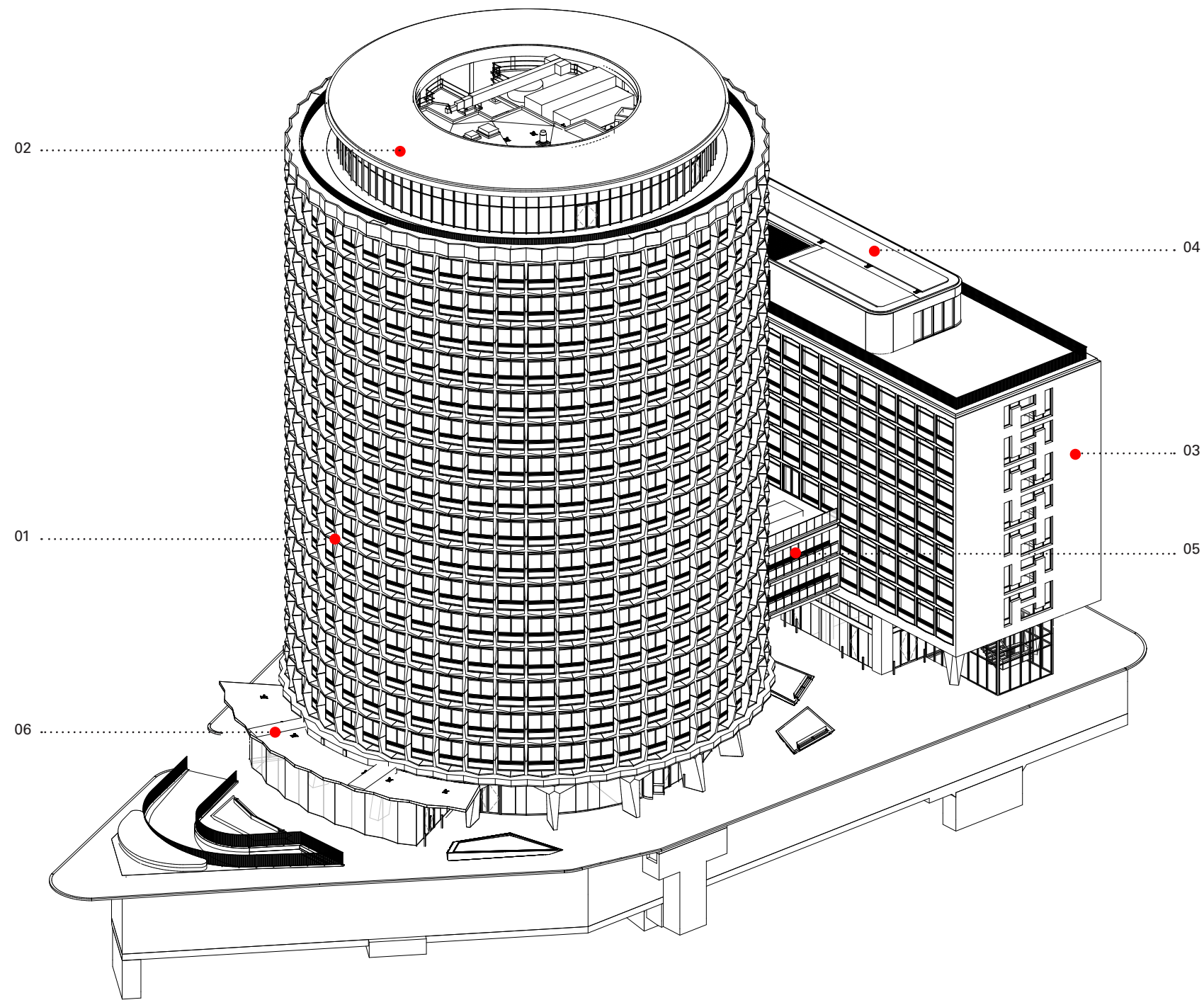


Fig. 1.0.1 Space House Axonometric

- Key:
- 01. Tower building
 - 02. Tower extension
 - 03. Kingsway building
 - 04. Kingsway extension
 - 05. Bridge-Link
 - 06. Western Canopy (Filling Station)

2.0 Planning Condition 3LBC c)

“Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

c) All new windows shall be installed in accordance with the plan, elevation and section drawings approved under reference 2021/3397/L dated 07/09/2021 or other such details as approved in writing by the Local Planning Authority.

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.”

2.1 Tower building fixed and openable window units

Fig. 2.1.1 and 2.1.2 represent the S73 consented design for the fixed and openable window units. The perimeter frame size was the same for both units - only the transoms and central mullion were shown wider in the openable window units due to the weight of the openable panel.

A revised openable window design with a wider perimeter frame was presented to Camden planning and design officers during the first PAA meeting dated 12.01.2022. The change was driven by facade subcontractor further design development.

Camden raised concerns regarding the difference in frame width between the fixed window units and openable window units and how unbalanced the building elevation now looked.

With these comments in mind we have reviewed the design with the facade specialist to try and reduce the overall perimeter frame of the openable windows to match the fixed units but due to the load of the openable panels a frame reduction was not a viable option.

In order to achieve a balanced elevation the other option would be for the fixed units to match the openable windows perimeter frame and transoms sizes as shown in Fig. 2.1.3 and 2.1.4. Revised design has been shown to planning officers during a site visit on 28.01.2022 and officers were supportive of the revised design in principle.

14616-CLL-T1-ZZ-DR-X-10101 and 14616-CLL-T1-ZZ-DR-X-10103 previously consented under 3LBC c) condition have been updated and uprevved to capture the changes described above.

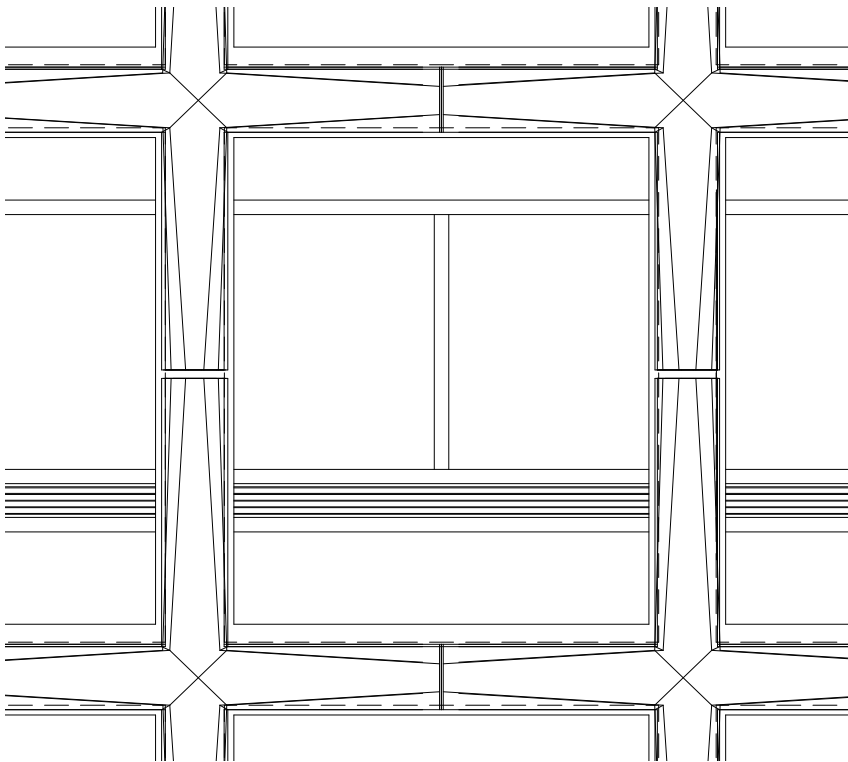


Fig. 2.1.1 S73 Consented Tower Fixed Window Unit

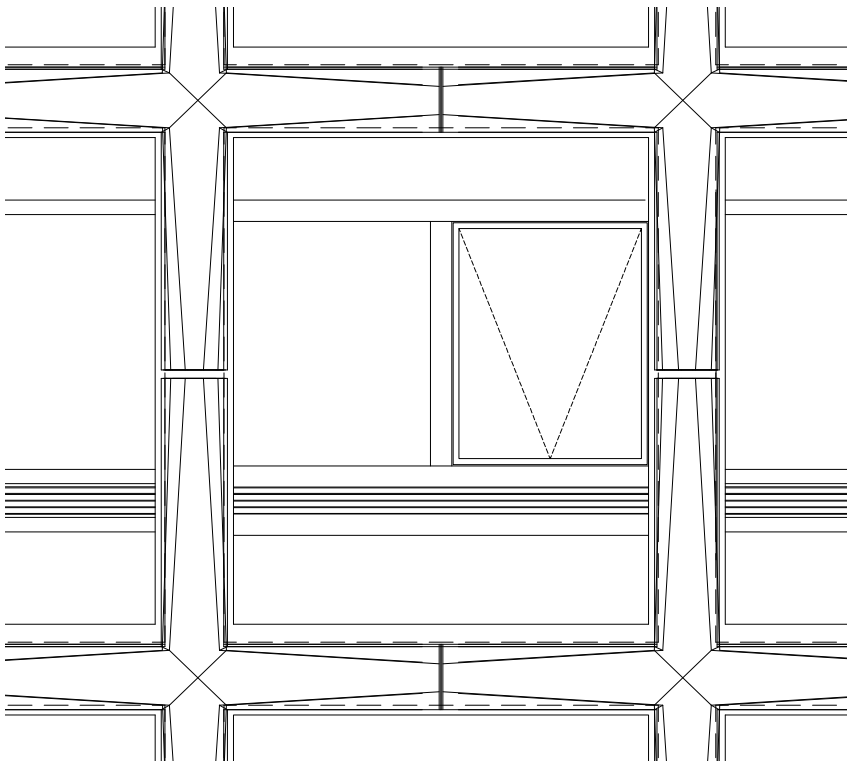


Fig. 2.1.2 S73 Consented Tower Openable Window Unit

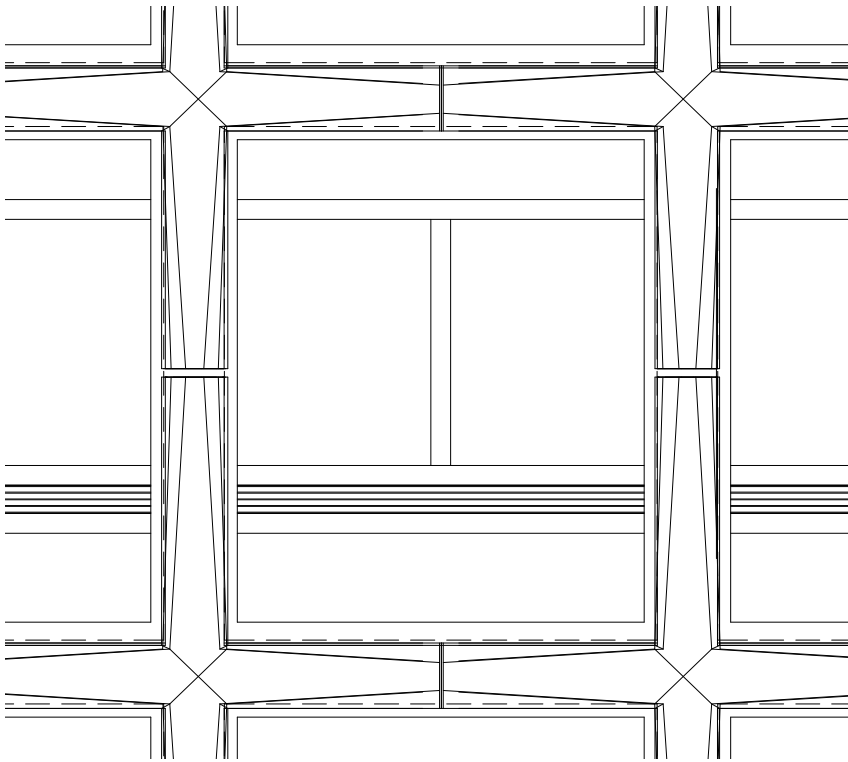


Fig. 2.1.3 Proposed Tower Fixed Window Unit

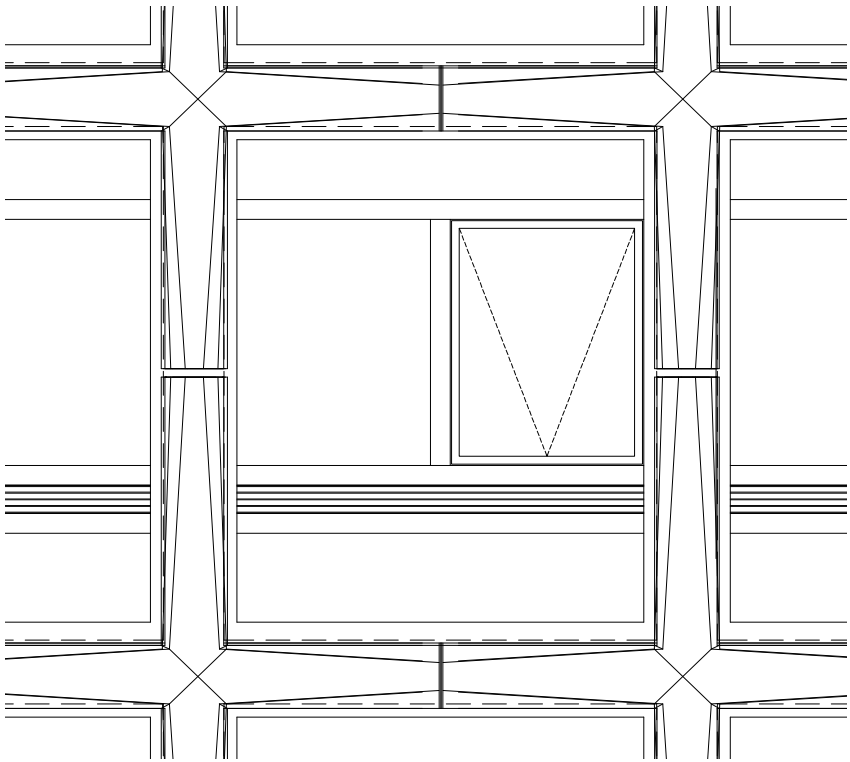
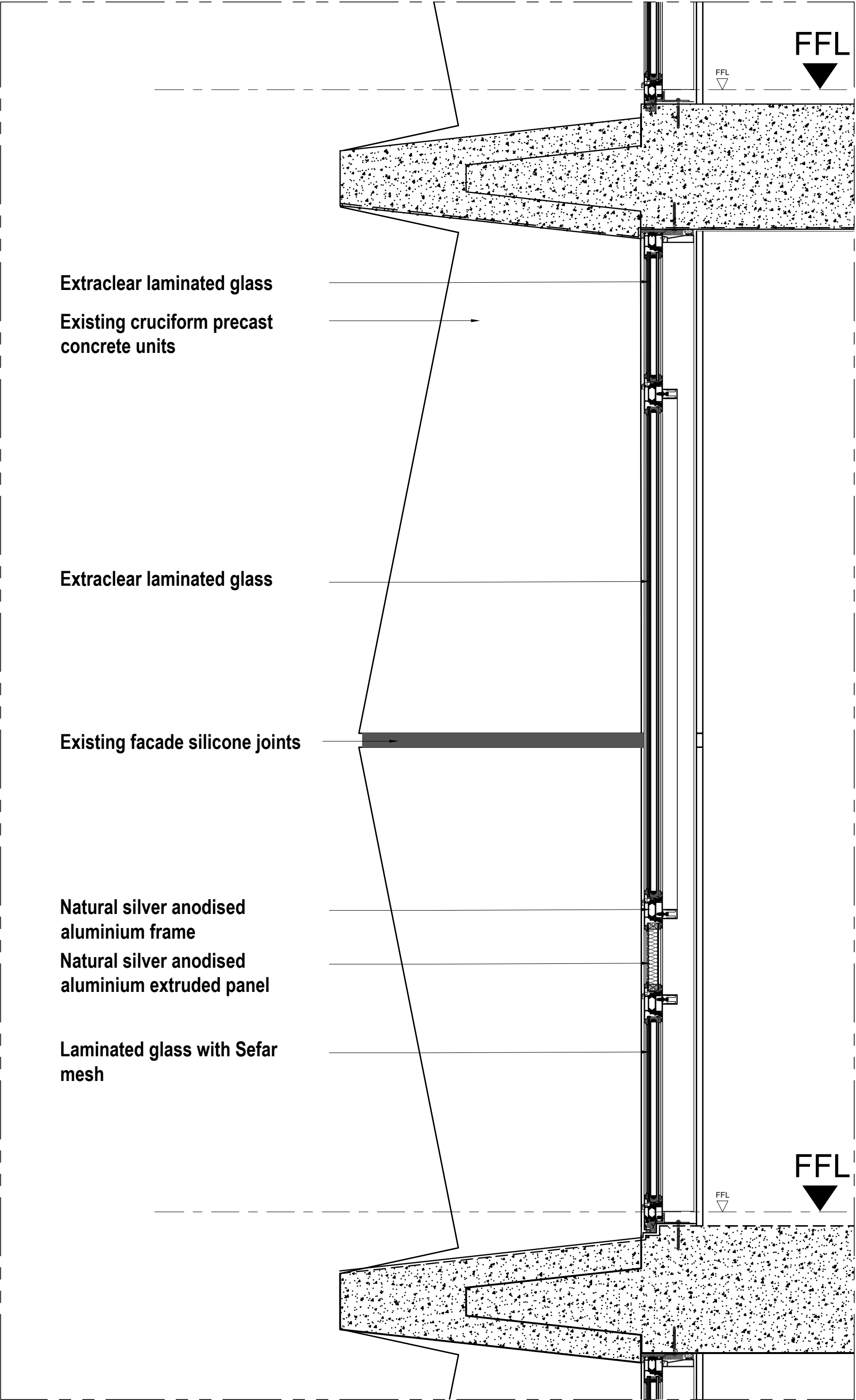
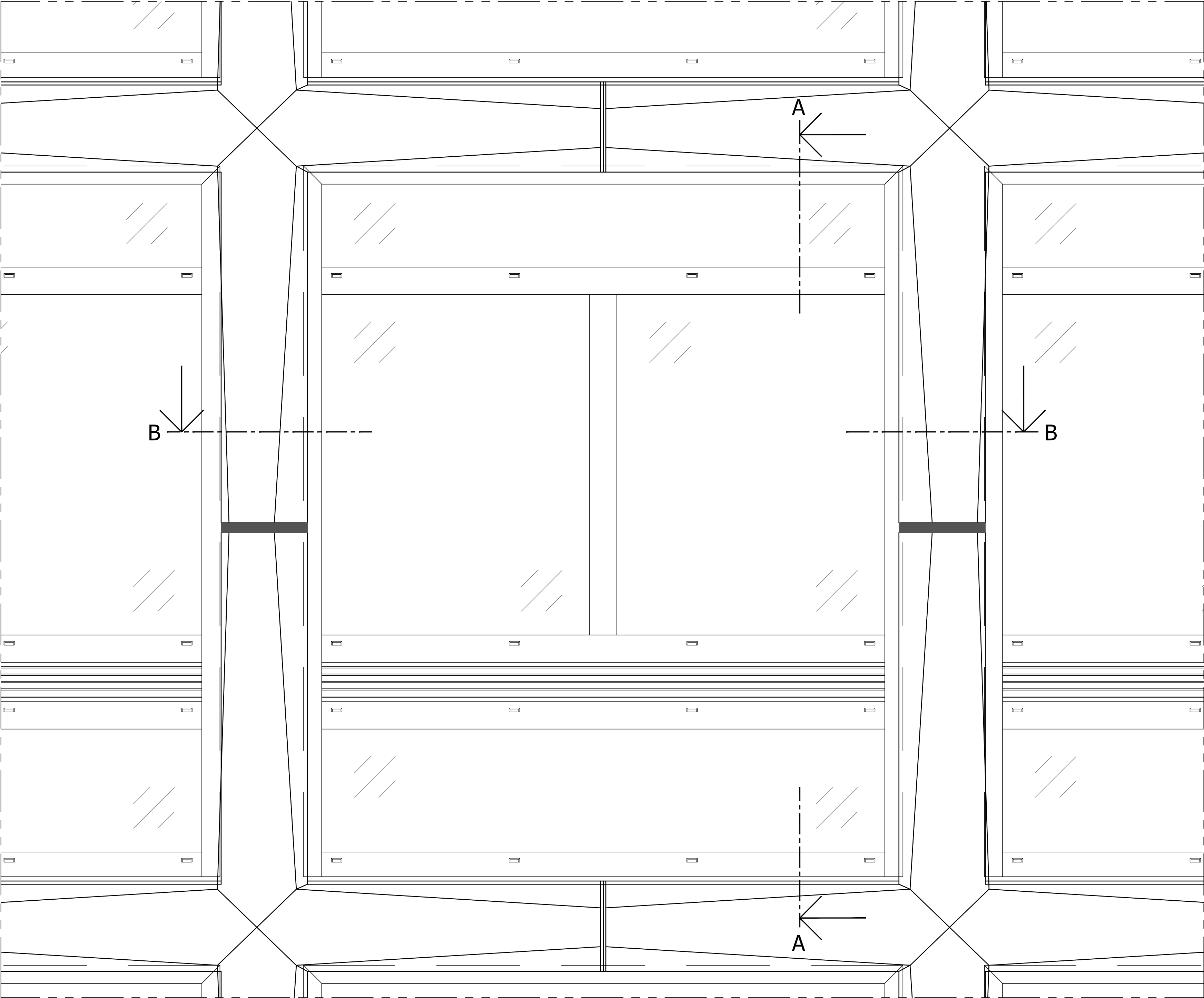


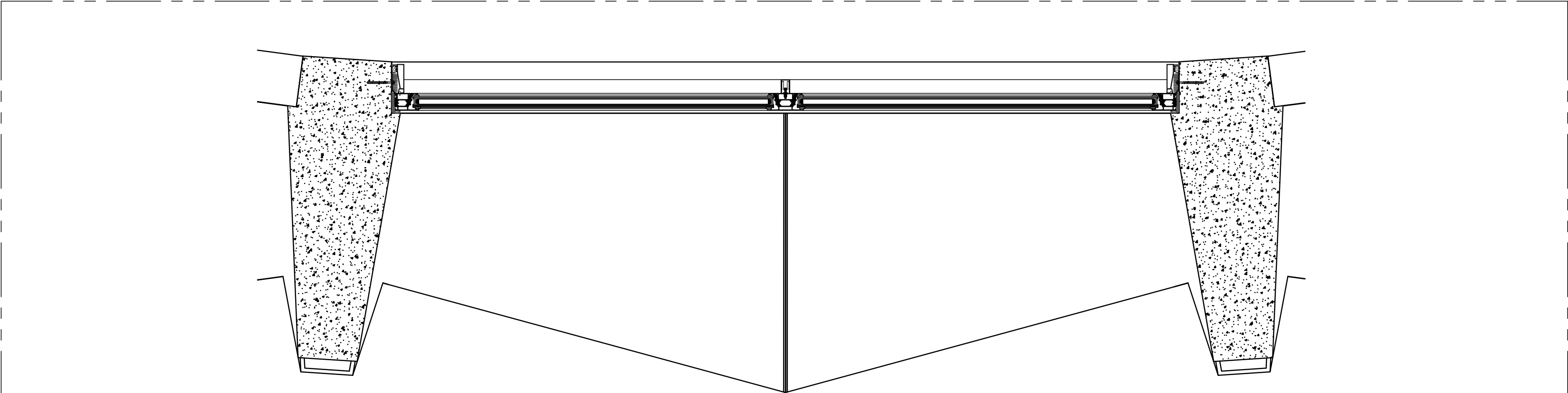
Fig. 2.1.4 Proposed Tower Openable Window Unit



VERTICAL SECTION A-A

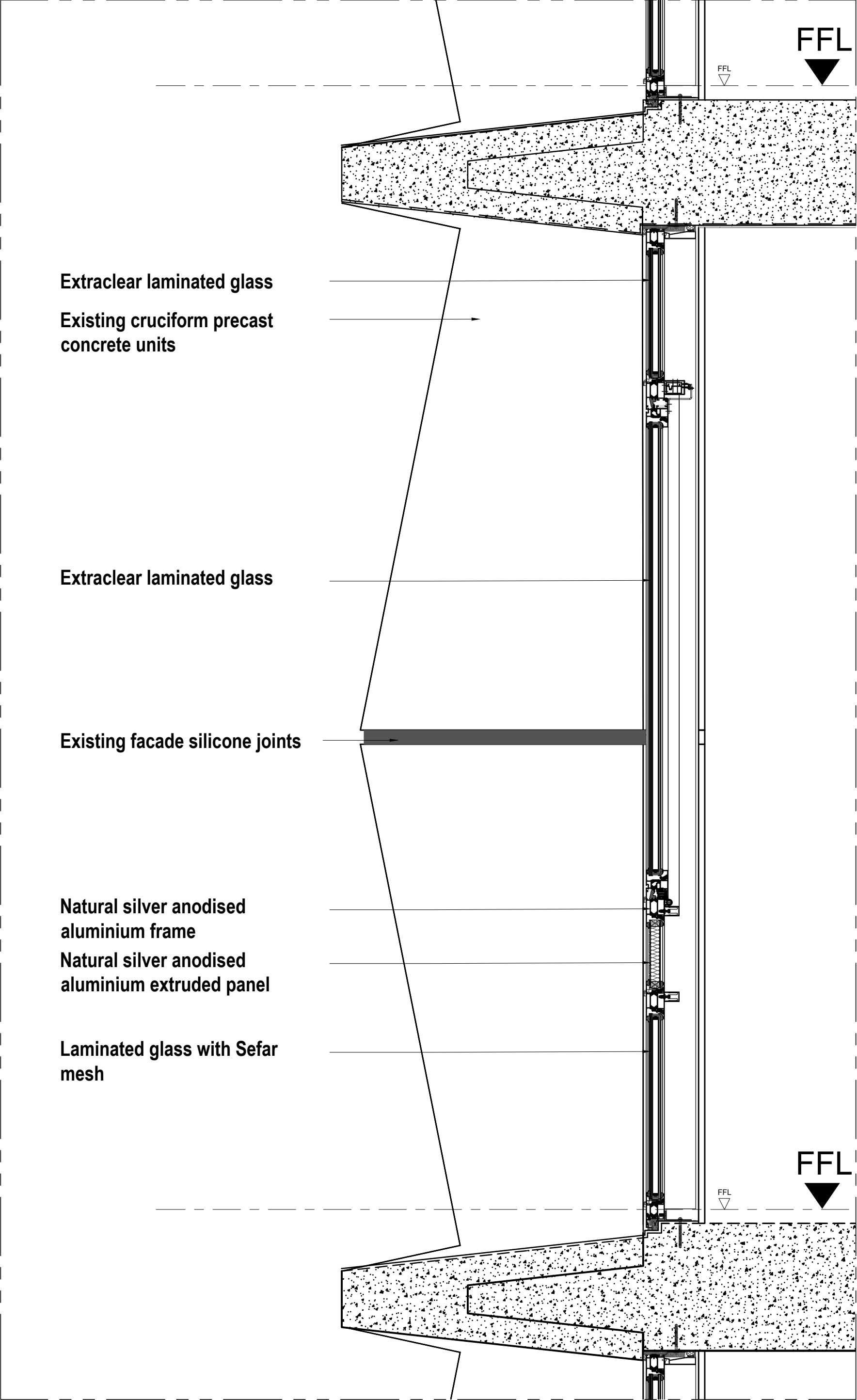


TOWER FIXED WINDOWS - EXTERNAL ELEVATION

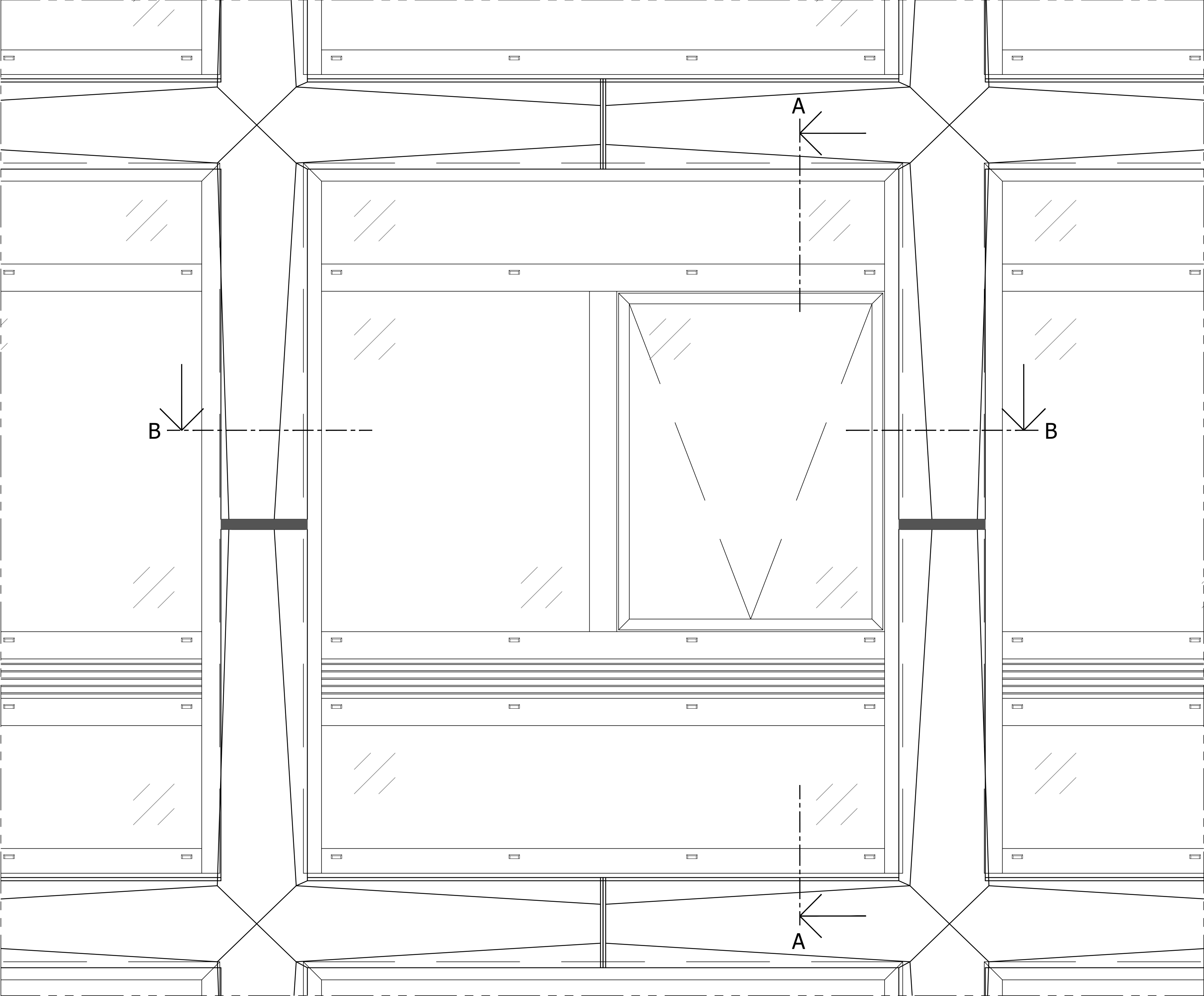


PLAN B-B

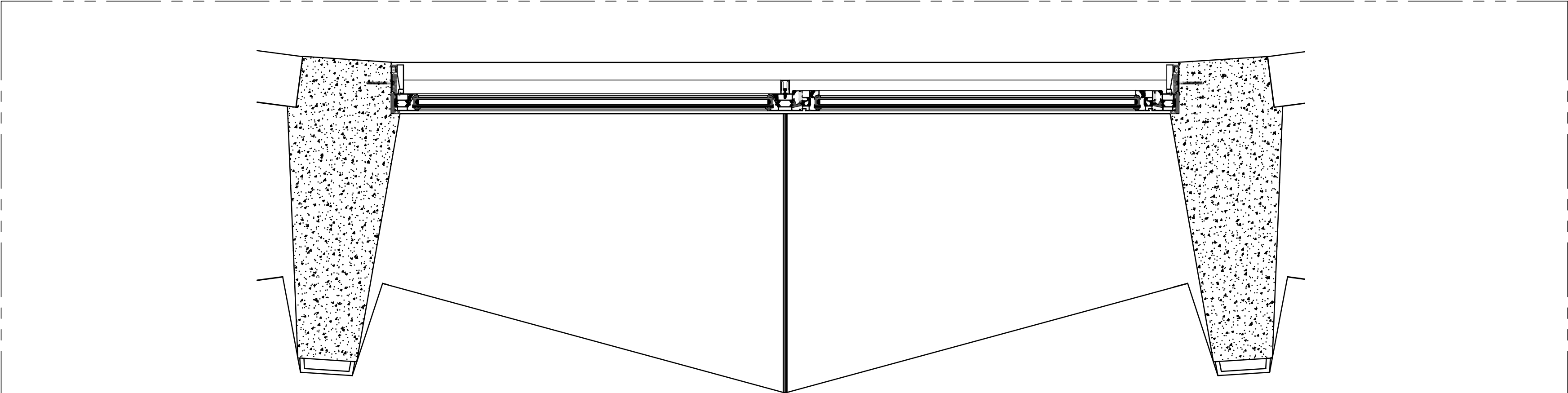
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VERTICAL SECTION A-A

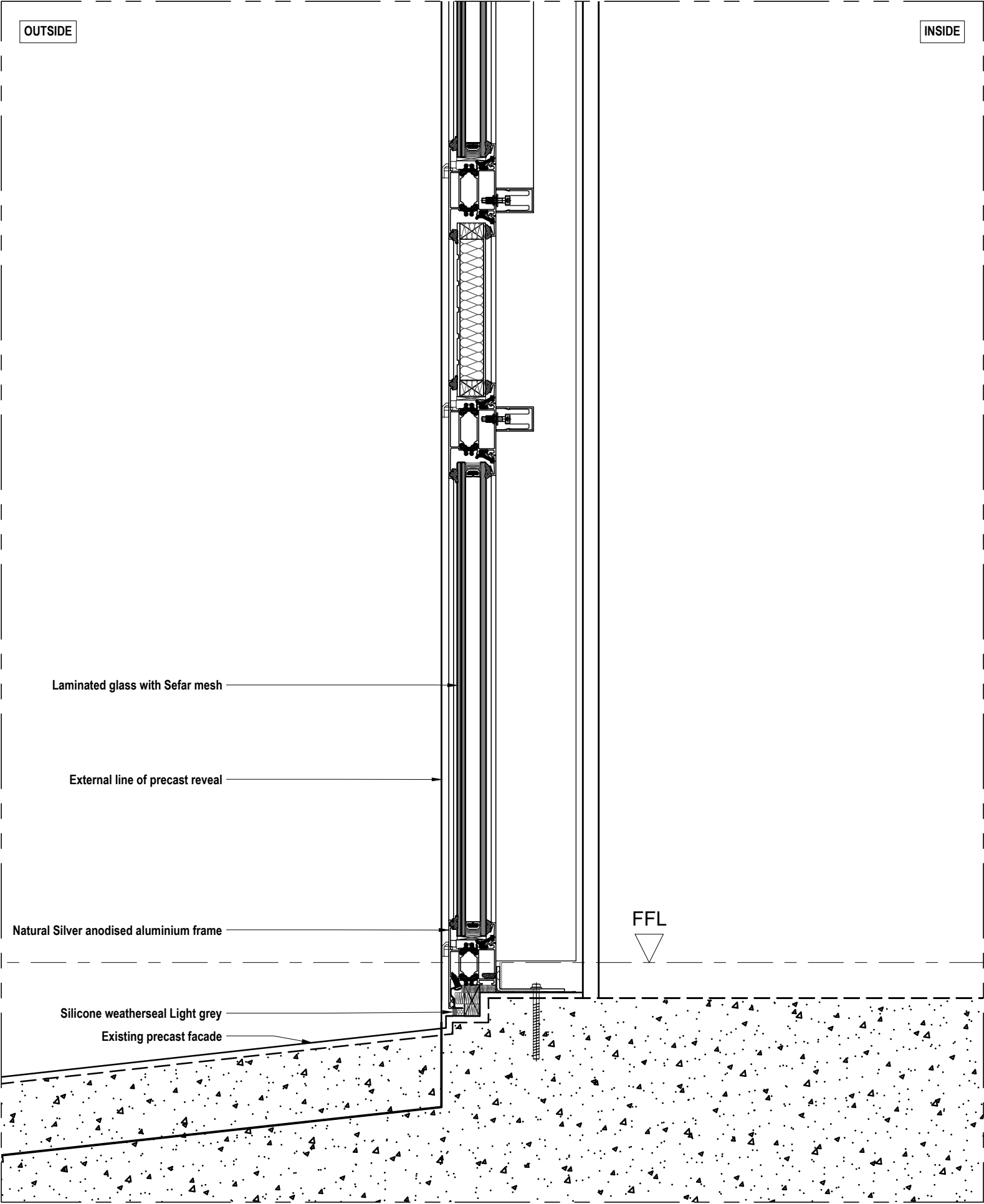


TOWER OPENING WINDOWS - EXTERNAL ELEVATION



PLAN B-B

REFERENCE 50 100



PL02	09.02.2022	Issue for planning
PL01	06.08.2021	Issue for planning
REV	DATE	DESCRIPTION
REVIEW	-	

COLORMINIUM

Saxon House,
23 Springfield Lyons Approach
Chelmsford
CM2 5LB
Tel: (0)1245 658268

REVISION PL02	DRAWN BY AP	CHECKED BY AP
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DRAWING No
14616-CLL-T1-ZZ-DR-X-10103

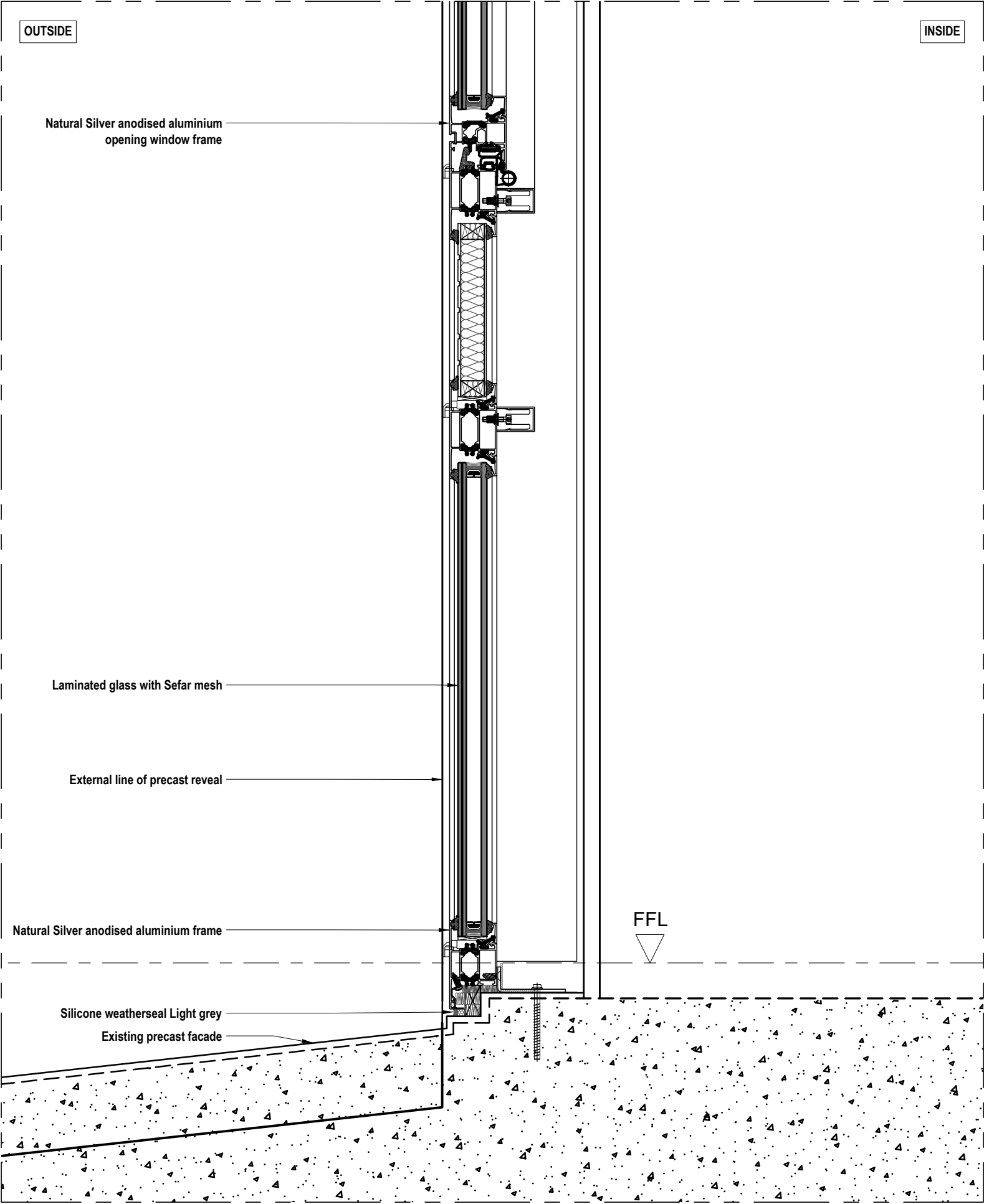
DRAWING TITLE
TOWER - TYPICAL FIXED WINDOW BOTTOM VERTICAL SECTION

STATUS
PLANNING

PROJECT
SPACE HOUSE

CONTRACTOR

DATE 06.08.2021	SCALE 1:5 @ A3	JOB No 14616
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PL01	09.02.2022	Issue for planning
REV	DATE	DESCRIPTION
REVIEW	-	

COLORMINIUM

Saxon House,
23 Springfield Lyons Approach
Chelmsford
CM2 5LB
Tel: (0)1245 658268

REVISION PL01	DRAWN BY AP	CHECKED BY AP
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DRAWING No
14616-CLL-T1-ZZ-DR-X-10104

DRAWING TITLE
TOWER - TYPICAL OPENING WINDOW BOTTOM VERTICAL SECTION

STATUS
PLANNING

PROJECT
SPACE HOUSE

CONTRACTOR

DATE 09.02.2022	SCALE 1:5 @ A3	JOB No 14616
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2.2 Kingsway building fixed and openable window units

Fig. 2.2.1 and 2.2.2 represent the S73 consented design for the fixed and openable window units. The perimeter frame size was the same for both units - only the transoms were shown wider in the openable window units due to the weight of the openable panel.

Kingsway flat elevations made the difference between frame sizes even more obvious when compared to the Tower elevation (circular building with recessed windows).

Kingsway window units took on the same approach as the Tower design and the proposed units can be seen in Fig. 2.2.3 and 2.2.4.

14616-CLL-KW-ZZ-DR-X-20101 and 14616-CLL-KW-ZZ-DR-X-20103 previously consented under 3LBC c) condition have been updated and upreved to capture the changes described above. The Kingsway staircore window detail drawing 14616-CLL-KW-ZZ-DR-X-25001 also previously approved under condition 3LBC c) remains unchanged and is not affected by the proposed changes to the typical office plate window units (fixed and openable).

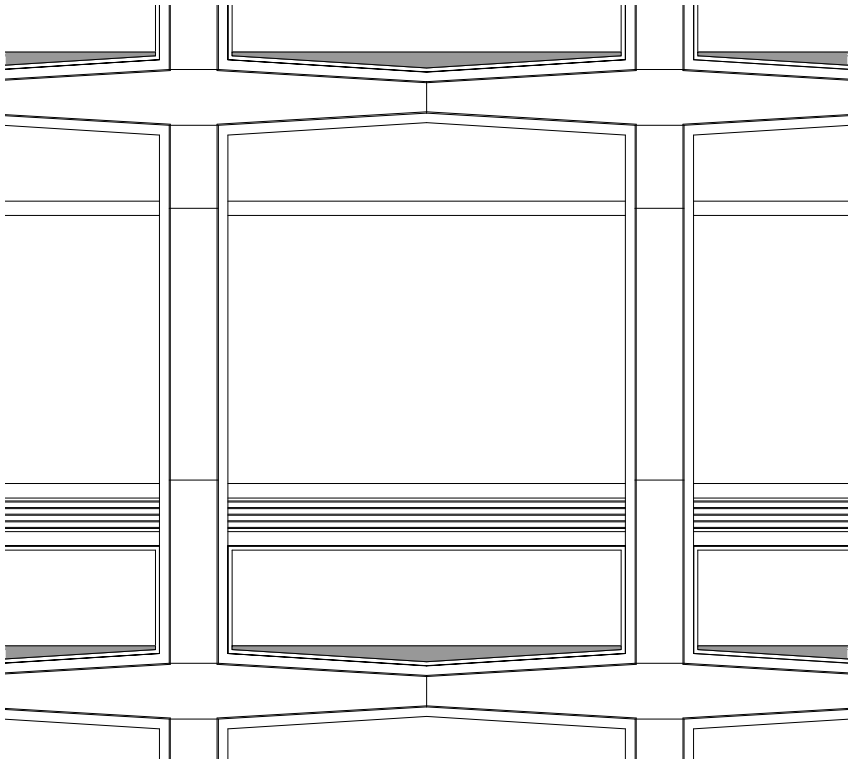


Fig. 2.2.1 S73 Consented Kingsway Fixed Window Unit

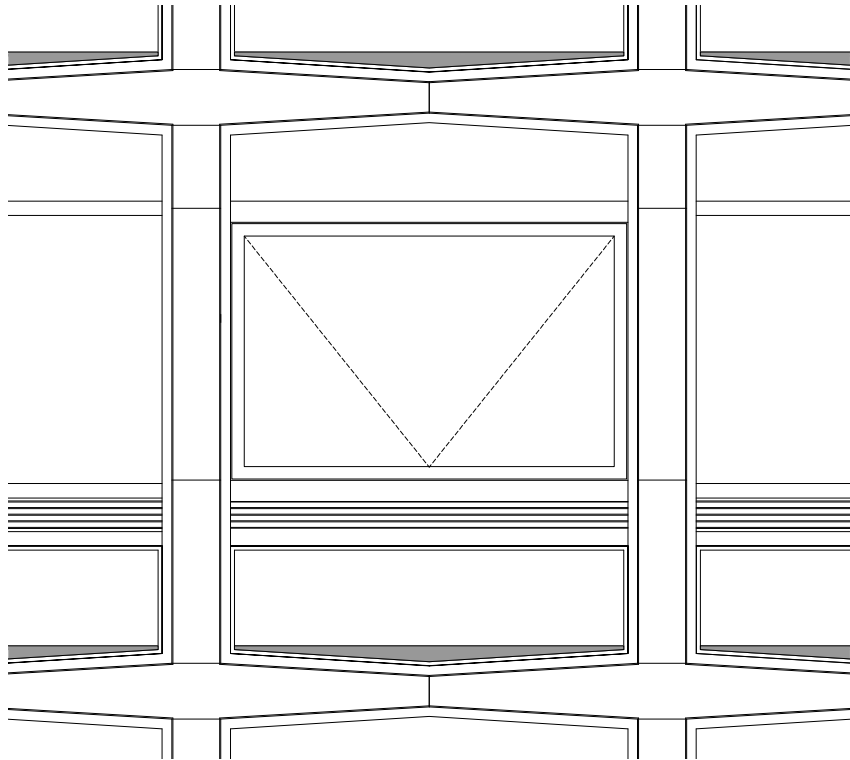


Fig. 2.2.2 S73 Consented Kingsway Openable Window Unit

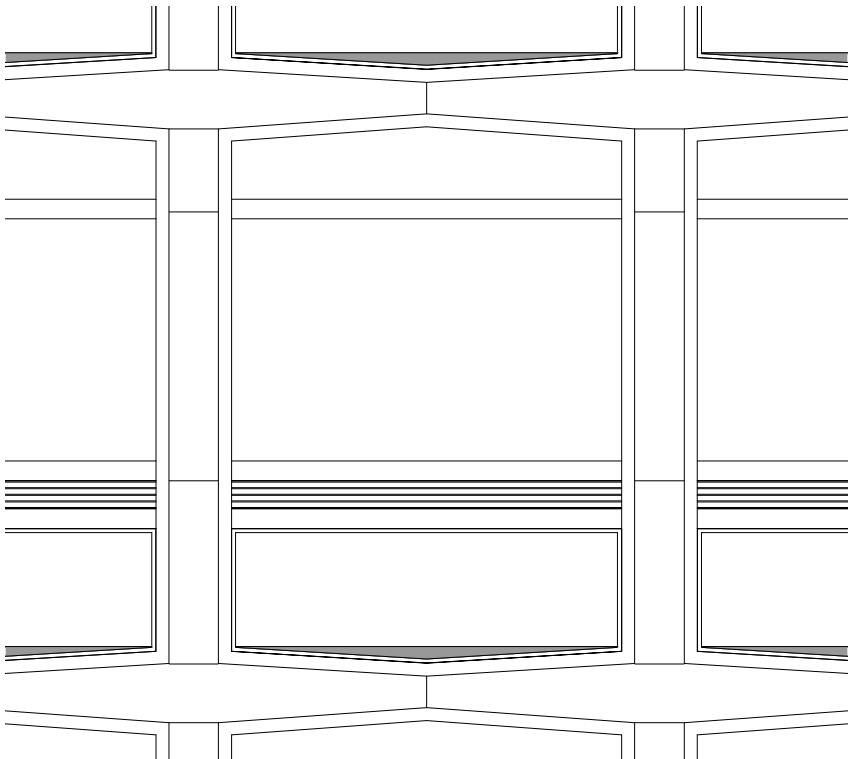


Fig. 2.2.3 Proposed Kingsway Fixed Window Unit

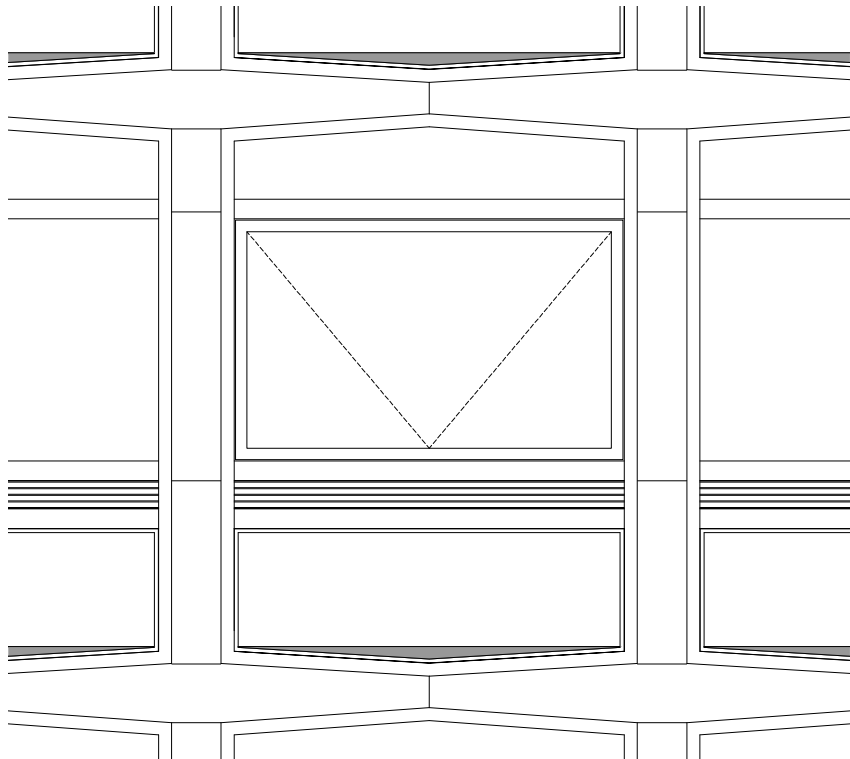
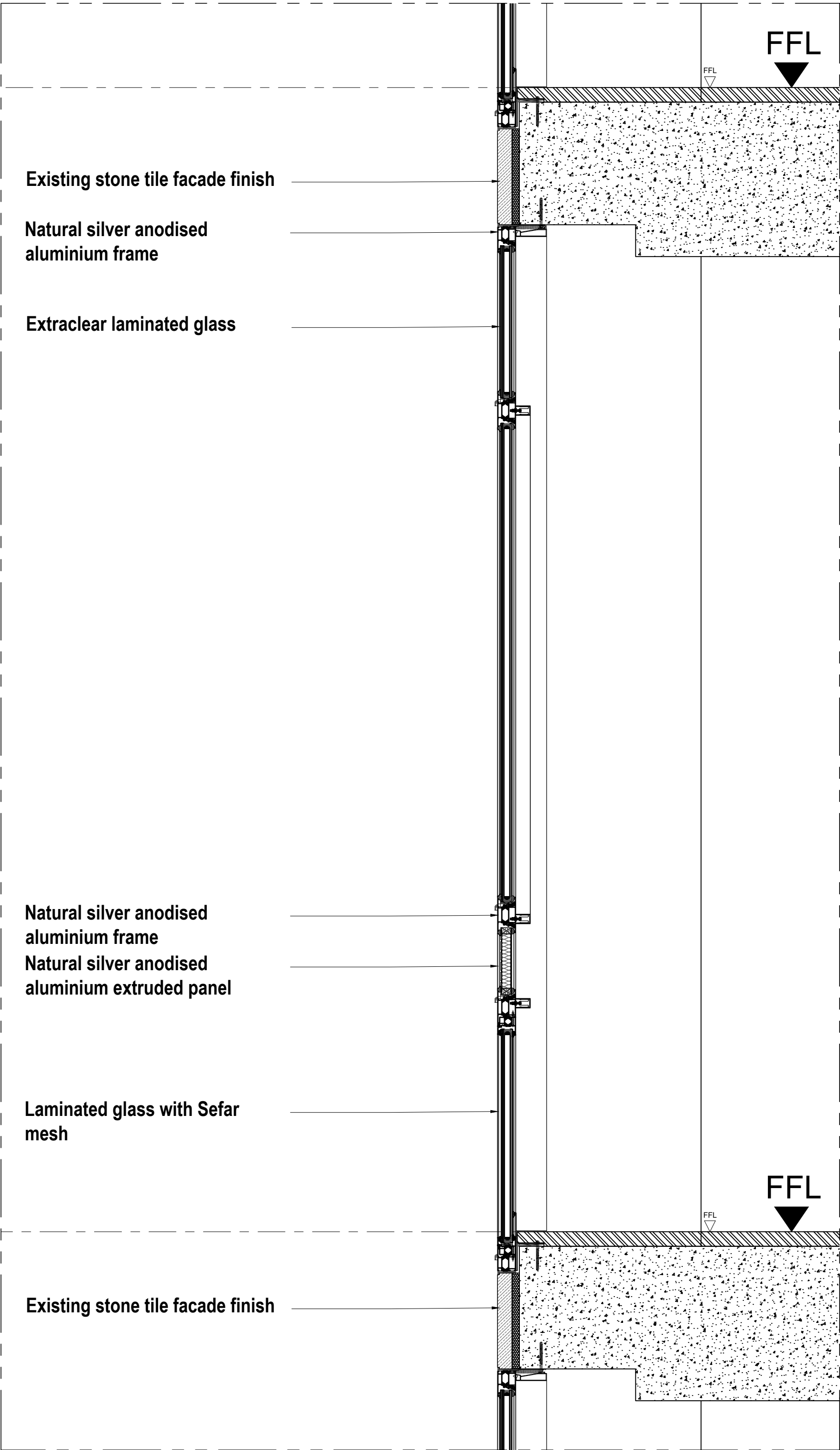
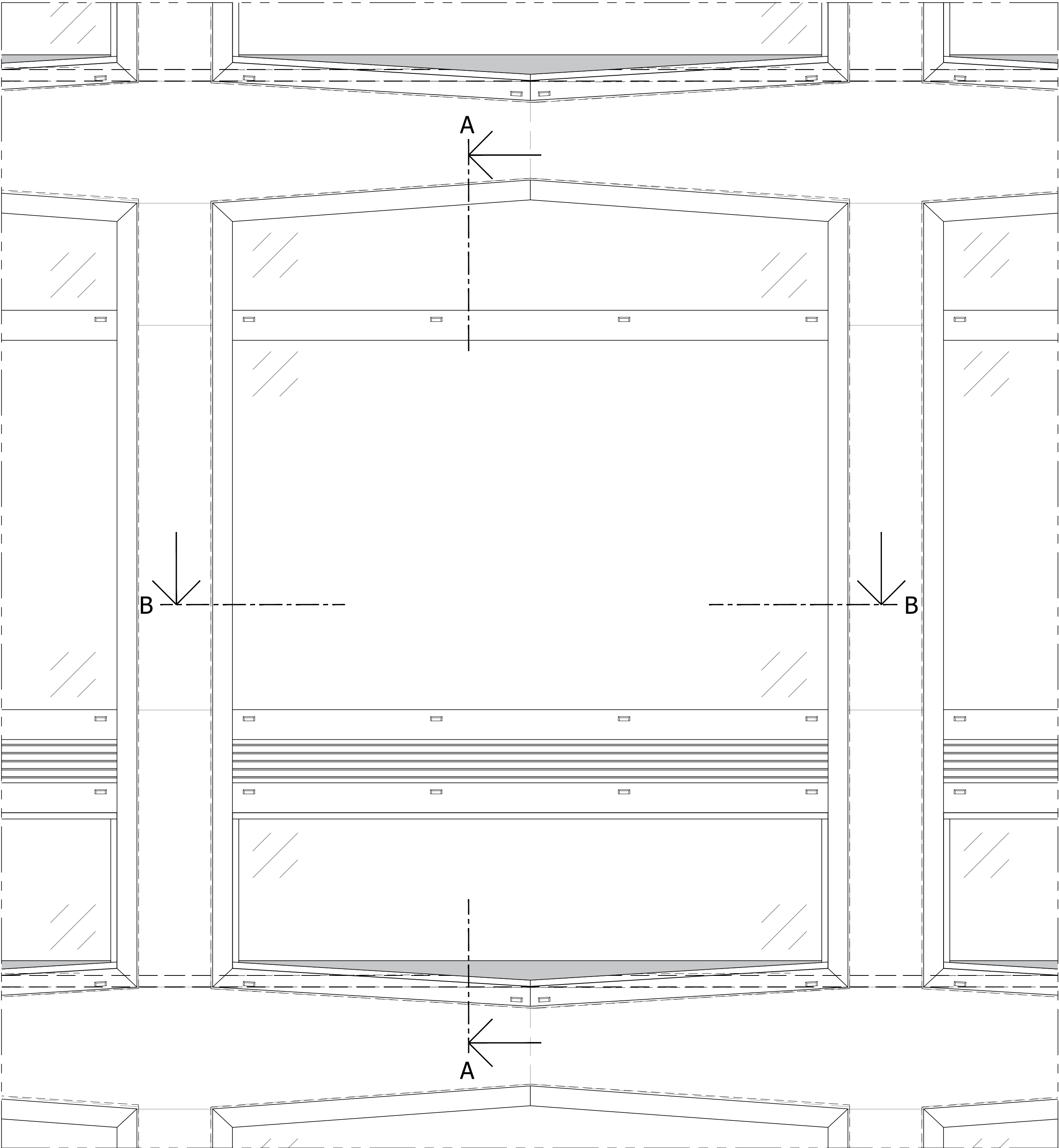


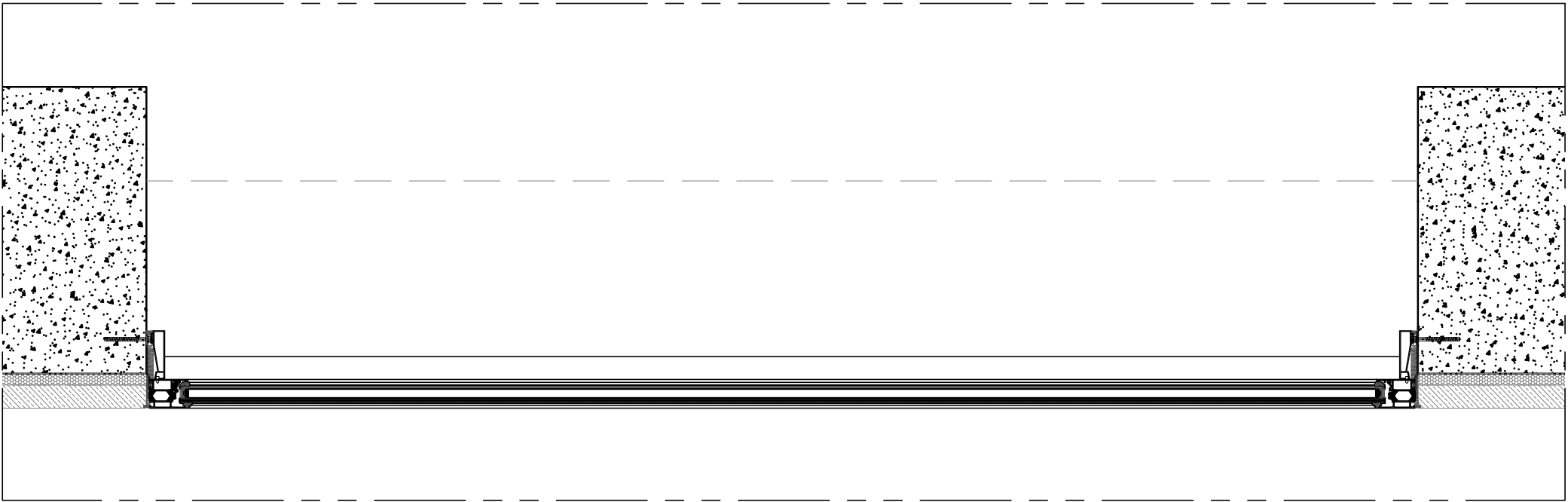
Fig. 2.2.4 Proposed Kingsway Openable Window Unit



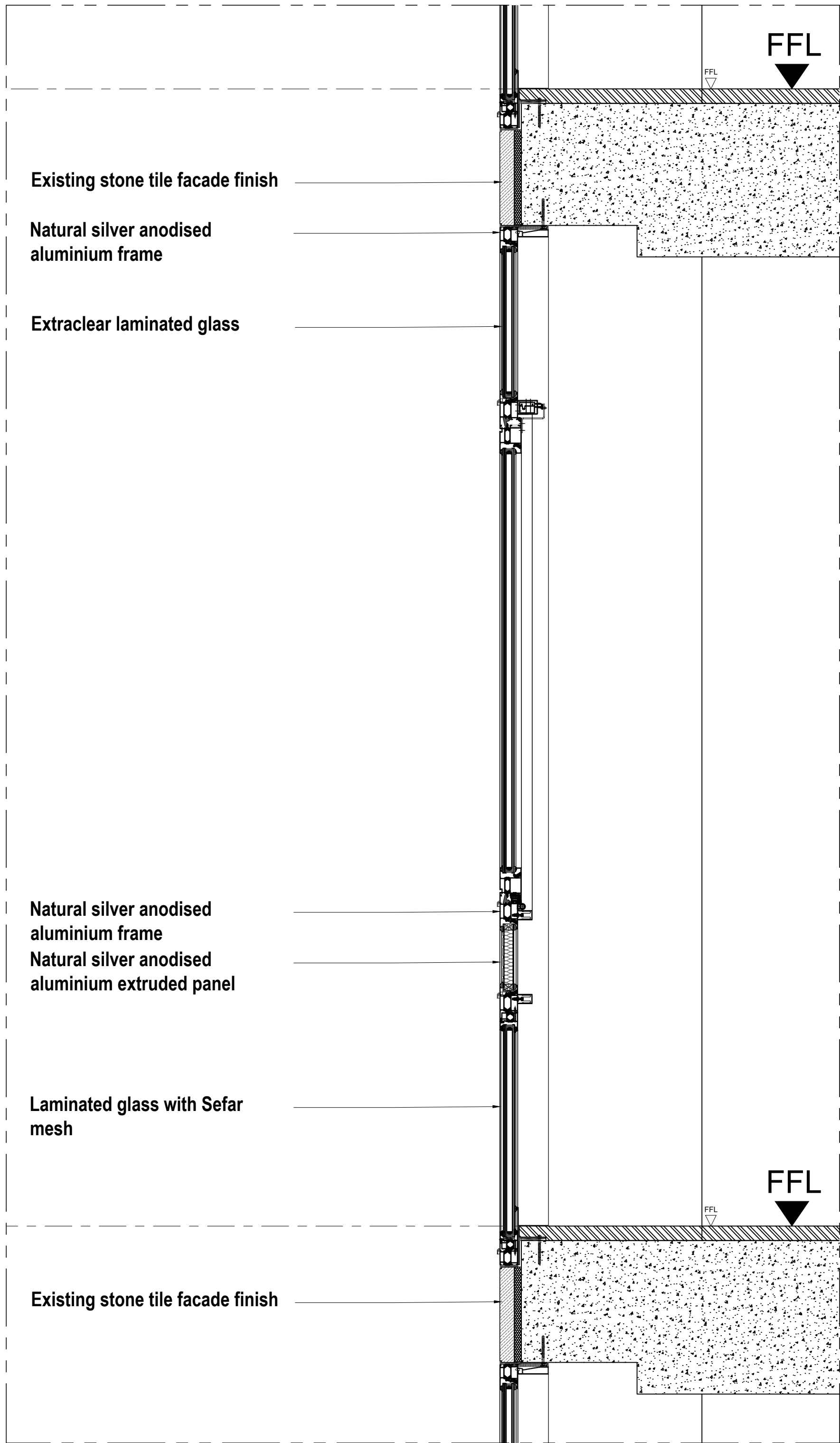
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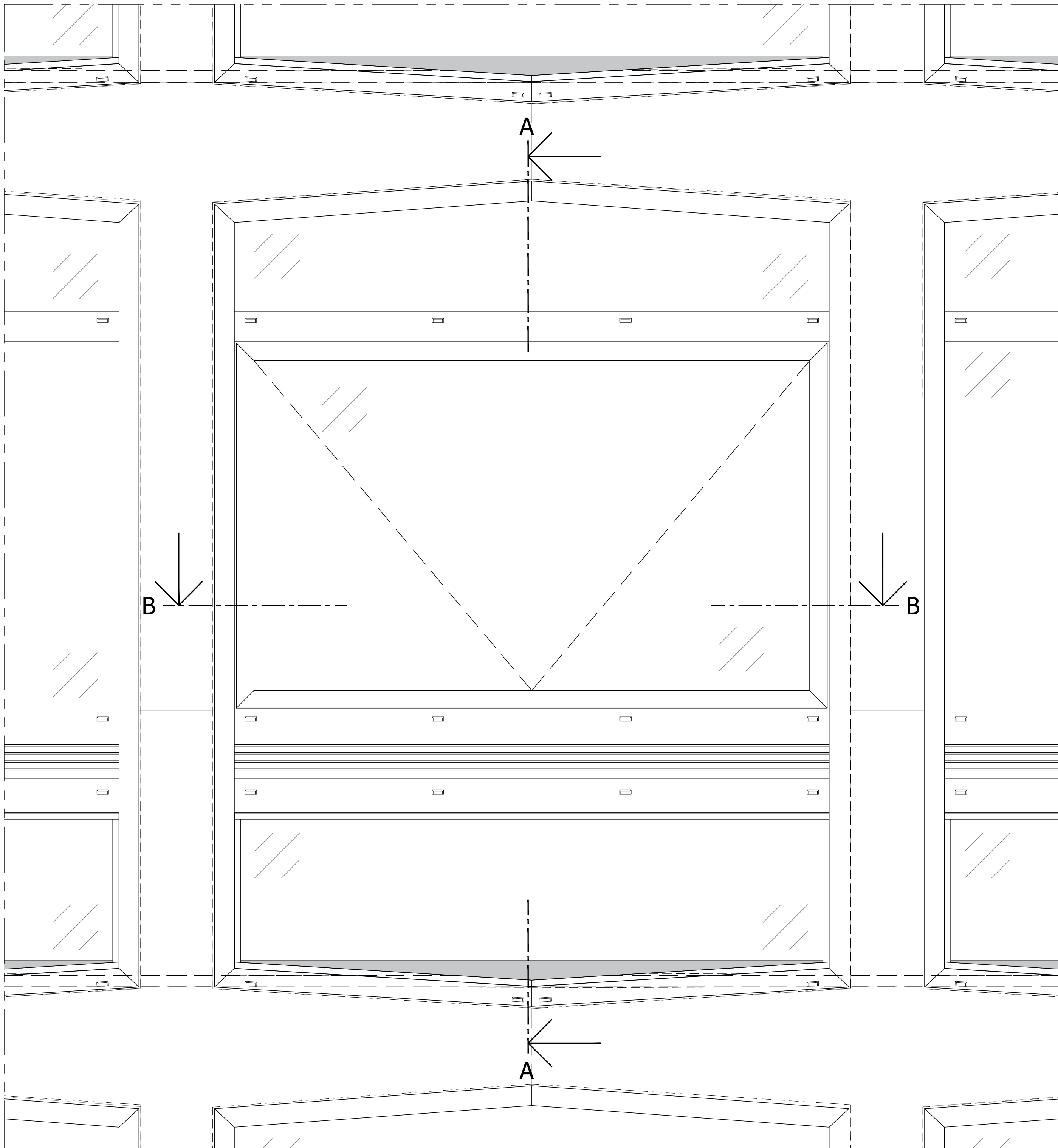
KINGSWAY FIXED WINDOWS - EXTERNAL ELEVATION



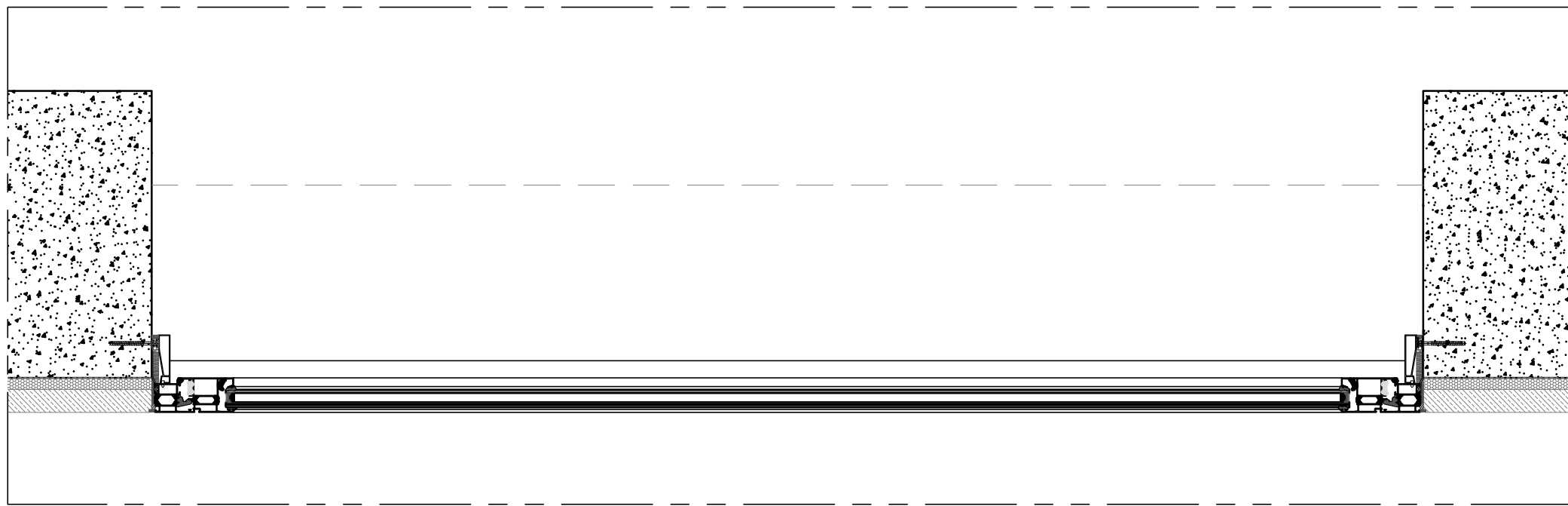
PLAN B-B



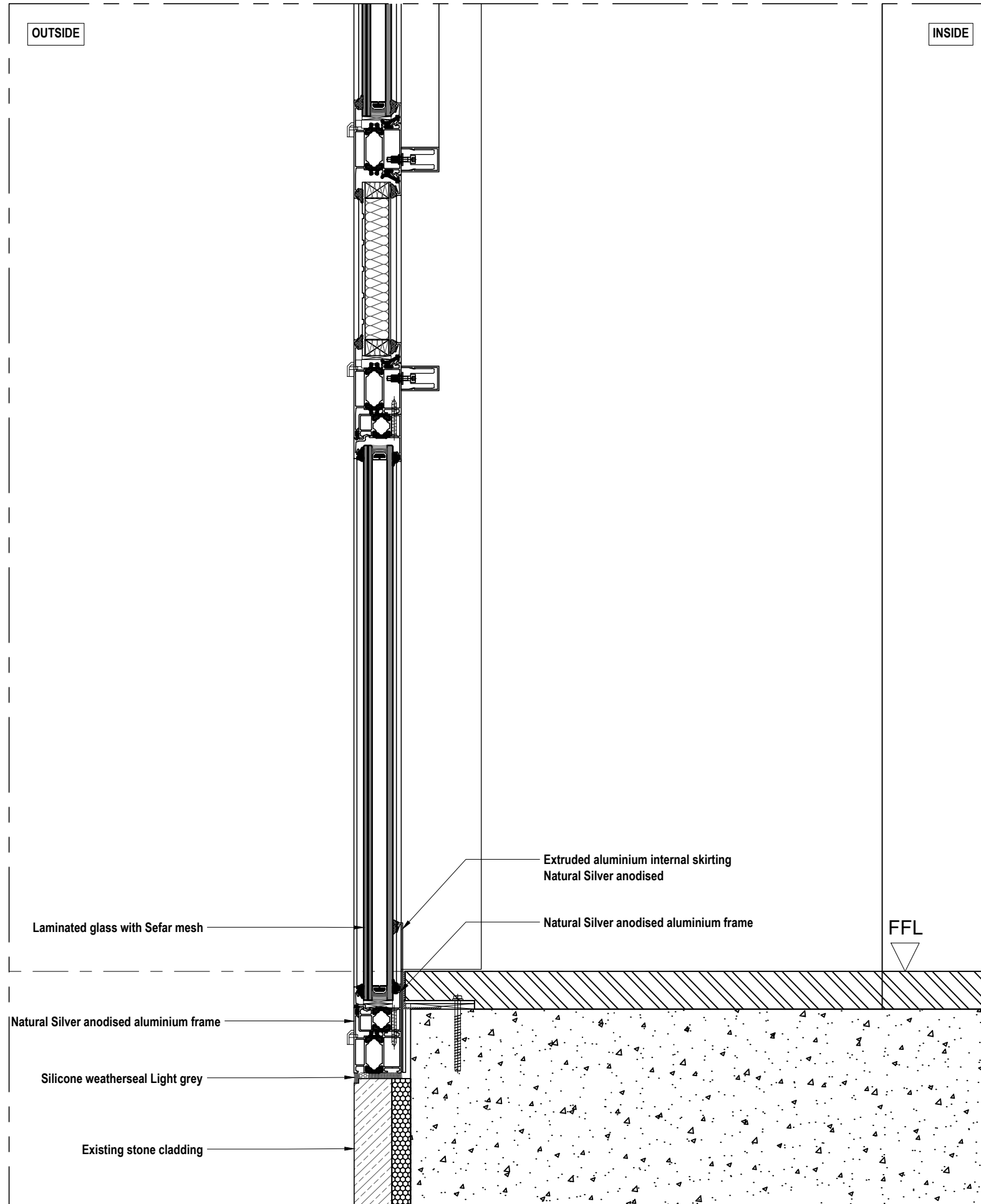
VERTICAL SECTION A-A



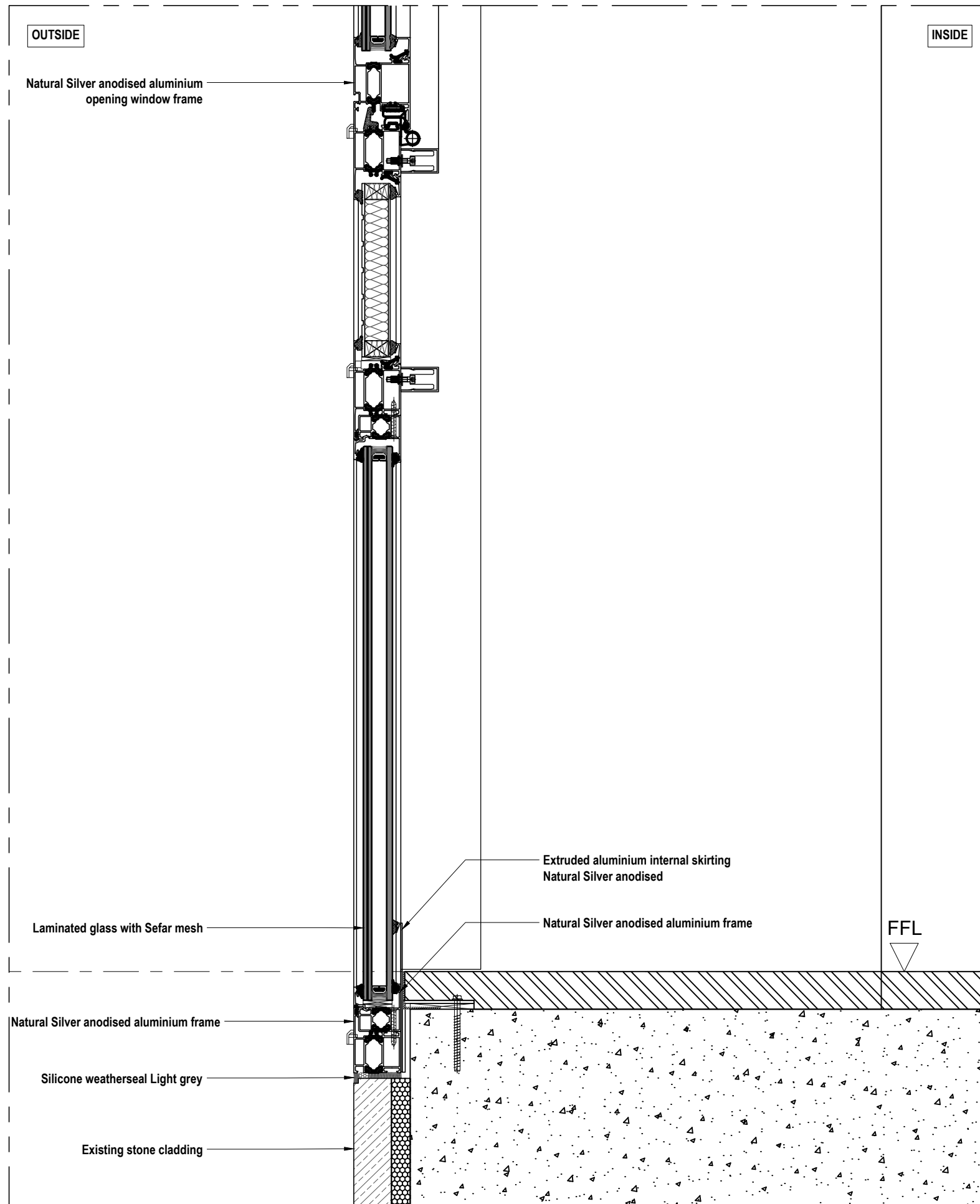
KINGSWAY OPENING WINDOWS - EXTERNAL ELEVATION



PLAN B-B



PL02	09.02.2022	Issue for planning
PL01	06.08.2021	Issue for planning
REV	DATE	DESCRIPTION
REVIEW	-	
COLORMINIUM		
Saxon House, 23 Springfield Lyons Approach Chelmsford CM2 5LB Tel: (0)1245 658268		
REVISION PL02	DRAWN BY AP	CHECKED BY AP
DRAWING No 14616-CLL-KW-ZZ-DR-X-20103		
DRAWING TITLE KINGSWAY - TYPICAL FIXED WINDOW SEFAR PANEL DETAILS		
STATUS PLANNING		
PROJECT SPACE HOUSE		
CONTRACTOR		
DATE 06.08.2021	SCALE 1:5 @ A3	JOB No 14616



PL01	09.02.2022	Issue for planning
REV	DATE	DESCRIPTION
REVIEW	-	
<div>COLORMINIUM</div> <div>Saxon House, 23 Springfield Lyons Approach Chelmsford CM2 5LB Tel: (0)1245 658268</div>		
REVISION PL01	DRAWN BY AP	CHECKED BY AP
DRAWING No 14616-CLL-KW-ZZ-DR-X-20104		
DRAWING TITLE KINGSWAY - TYPICAL OPENING WINDOW SEFAR PANEL DETAILS		
STATUS PLANNING		
PROJECT SPACE HOUSE		
CONTRACTOR		
DATE 09.02.2022	SCALE 1:5 @ A3	JOB No 14616

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