

Boundary Wall at
82 Fitzjohn's Avenue
London NW3 6NP

HERITAGE ASSESSMENT:
To accompany a planning application



August 2021

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82 Fitzjohn's Avenue: Boundary Wall Heritage Assessment

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1 INTRODUCTION

1.1 Aim of this Report

The subject of this application is the boundary wall which forms the southern boundary of No 82 Fitzjohn's Avenue [subject site] and runs east to west on the northern side of Spring Walk, a public walkway. The boundary wall is not listed and is not subject to curtilage listing either, but it does sit within the Fitzjohn's and Netherhall Conservation Area in the London Borough of Camden.

The application follows the consent that was granted on 1st June 2021 for alterations and extensions including the erection of 2 storey extensions, increased ridge height, alterations to fenestration, erection of dormer windows to roof and creation of sunken terrace, removal of existing pool house and erection of new orangery, and other associated works; hard and soft landscaping including replacement sheds and garage and removal of trees. (ref: 2021/1394/P). The application seeks to dis-assemble the boundary wall for the period of construction required for the above consent, and to re-construct it in a similar, but improved manner.

This report has been produced to provide an understanding of the history of the wall, its significance and to assess the impact of the proposals on the Fitzjohn's and Netherhall Conservation Area, and in relation to local and national planning policies.

This report includes:

- Background information and History and development of the area
- Characterisation appraisal
- Significance Appraisal
- Visual Impact Assessment of the proposed works
- Policy Assessment

Reference should be made to the previous Heritage Statement prepared by Heritage Architecture Ltd. and issued as part of the submission for application 2021/1394/P.

1.2 Executive Summary

This Heritage Statement has undertaken documentary research and visual analysis of the boundary wall at 82 Fitzjohn's Avenue. The property itself is an unlisted building in the Fitzjohn's and Netherhall Conservation Area and so the boundary wall is not subject to any curtilage listing nor is it listed itself.

The proposals seek to dis-assemble a section of the boundary wall in order to mitigate any possible risk of structural damage to the wall during the period of construction for the works at 82 Fitzjohn's Avenue, and to re-construct this area of wall once construction work has concluded.

An understanding of the subject site has been developed through previous site investigations and a return visit in July 2021 to assess the boundary wall. The Map Regression (Section 3.2) shows that the wall was likely to have been first constructed between 1871 and 1896 along with the corresponding wall on the southern boundary of Spring Walk which is the boundary to buildings on the Thurlow Road. The boundary wall in its original state bears a strong relationship with these buildings.

The description of the boundary wall in Section 5 shows that the boundary wall has been altered, both at its most western edge next to 84 Fitzjohn's Avenue and at points further along where a former gate opening has been filled and where a section was re-built into part of the garage at 82 Fitzjohn's Avenue in 20th century (there have also been alterations to the corresponding southern wall, although this is not part of the application).

The significance of the boundary wall has been assessed and is discussed in the Significance Assessment in Section: 6, it was concluded that, despite some low levels of historic interest in the original sections of the wall, the wall as a whole, was of **low** architectural and artistic, historic and archaeological interest. The boundary wall was also considered with reference to the Characterisation Appraisal (Section 4) and it has been found that the wall makes a **neutral contribution** to the conservation area.

The proposed changes have been assessed in the Visual Impact Assessment in Section 7. As the wall makes a **neutral contribution** to the conservation area, as the proposals will affect the relatively less significant part of the wall, and as the applicant plans to re-construct the wall with salvaged bricks, the proposals are considered to have a **negligible impact** on the conservation area.

As stated in Section 8: Conclusion, the proposed works preserve the special interest of the conservation area by having a **negligible impact**, so are considered to cause **no harm** to heritage asset (the Fitzjohn's and Netherhall Conservation Area) and will preserve the special character of the conservation area.

1.3 Authorship

This baseline heritage assessment has been prepared by Stephen Levrant Heritage Architecture Ltd, which specialises in the historic cultural environment.

- Stephen Levrant [RIBA, AA Dip, IHBC, Dip Cons (AA), FRSA] – Principal Architect
- Cath Layton [MA (Hons) Edin, MA, PG Dip Historic Cons] – Historic Building Consultant

1.4 Methodology Statement

This assessment has been carried out using desk-based data gathering, archives research and fieldwork.

Literature and Documentary Research Review

The documentary research was based upon secondary sources of local history and architecture, including maps, drawings and reports.

Dates of elements and construction periods have been identified using documentary sources and visual evidence based upon experience gained from similar building types and construction sites.

Fieldwork

A site visit was conducted in July 2021 in order to understand the condition of the boundary wall. The survey of the context of the building, particularly the surrounding conservation area was conducted as part of previous site visits in January 2021.

1.5 Legislation and Policy Statement

The assessment in this document was carried out in consideration of up-to-date national and local policy, including:

- *Planning (Listed Buildings And Conservation Areas) Act 1990*
- *National Planning Policy Framework (NPPF) (2021)*
- *National Design Guide (2021)*
- *Conservation principles, policies and guidance for the sustainable management of the historic environment, English Heritage, April 2008*
- *Good Practice Advice in Planning, Historic England (GPAs):*
 - *Planning Note 2: Managing Significance in Decision-Taking in the Historic Environment (March 2015)*
 - *Planning Note 3: The Setting of Heritage Assets (December 2017)*
- *Advice Notes, Historic England (HEANs)*
 - *Note 1 - Conservation Area Appraisal, Designation and Management (February 2019)*
 - *Note 12 - Statements of Heritage Significance: Analysing Significance in Heritage Assets (October 2019)*
- *The London Plan (2021)*
- *Camden local Plan (2017)*
- *Hampstead Neighbourhood Plan (2018)*

2 BACKGROUND INFORMATION

The boundary wall at 82 Fitzjohn's Avenue is located in the Fitzjohn's and Netherhall Conservation Area in the north of the London Borough of Camden. The site is located in the centre of the conservation area and the conservation is located between the centre of Hampstead to the north and Swiss Cottage to the south.



Figure 1: Aerial view of 82 Fitzjohn's Avenue, relevant section of boundary wall marked in red (source: Fitzjohn's and Netherhall Conservation Area Appraisal, LB Camden)

2.1 Heritage Assets and Conservation Area

The Application Site is situated in sub-area 1 of the Fitzjohn's and Netherhall Conservation Area. The Conservation Area was first designated in 1984. The boundary wall is not a listed structure, nor is it a locally listed structure.



Figure 2: Listed buildings within 200m of the site marked with blue triangles (relevant section of boundary wall marked in red) (source: Historic England)

There are only three listed buildings in the vicinity (200m) of the subject site, as demonstrated in Figure 2 above. Funning from north east to south west they are:

1. Drinking fountain attached to the wall of No. 65 Rossllyn Hill (grade II)
2. Fitzjohn's Primary School (grade II)
3. No. 75 [Fitzjohn's Avenue] and attached walls, Gate Piers and Gates (grade II)

The significance of these assets and their potential to be affected by the proposed works shall be assessed at a later stage.

3 HISTORY AND DEVELOPMENT

3.1 Background

The Domesday Book of 1086 mentions the village of Hamstede (Anglo-Saxon word for homestead) as a small farm. A number of important churches including the Old Hampstead Church and Kilburn Priory were established in the 12th and 13th centuries, (although both Hampstead Church and Kilburn Priory were demolished in the 18th century).

By the 15th century many of the customary tenements had passed to the London merchants and gentry, some of whom began to occupy or lease them and retire to them. This saw the timber and wattle and daub houses replaced with large brick houses as the quality of the air and beautiful views was increasingly appreciated.

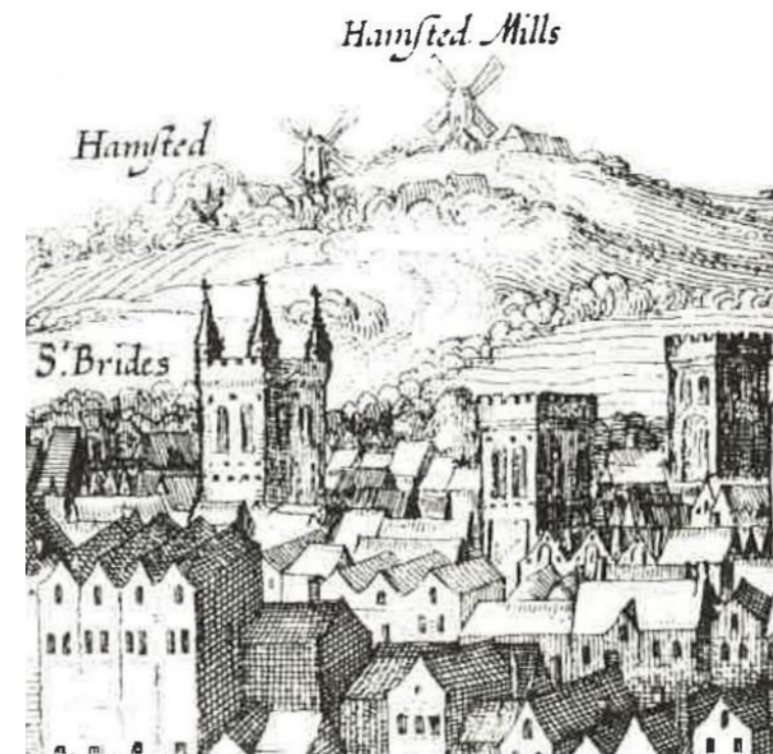


Figure 3: View of Hampstead from Visscher's View of London (before 1632) (source: Christopher Wade: Hampstead's Past, 1989).

The Fitzjohn's and Netherhall Conservation Area which sits to the south of Hampstead Village was part of the historic Hampstead Manor which was divided in two and inherited by two brothers, Sir Thomas Maryon Wilson and Sir John Maryon Wilson. Fitzjohn's Avenue falls into the land of the latter who, in turn, passed the area to his son Spenser Wilson who developed the road in 1873.

This coincided with an increase in demand for housing for rich Londoners, craving homes amongst the greenery and clean air of the Hampstead slopes, and the arrival of the railway in 1852 provided ease of access to the city.

Fitzjohn's Avenue was intended to be a grand road layout with wide, tree lined pavements and large plots of land. This encouraged residents to employ architects of note to construct houses and the area became known for fine

architectural examples, typically one-off commissions. The area also became popular with artists, architects and writers and new styles such as Queen Anne Revival Style and Arts and Crafts movement houses proliferated.

Hampstead did not suffer heavy damage during the air raids over London and consequently much of its historic buildings are preserved. It remains a leafy and affluent suburb of London situated within the Borough of Camden.

3.2 Historic Map Regression

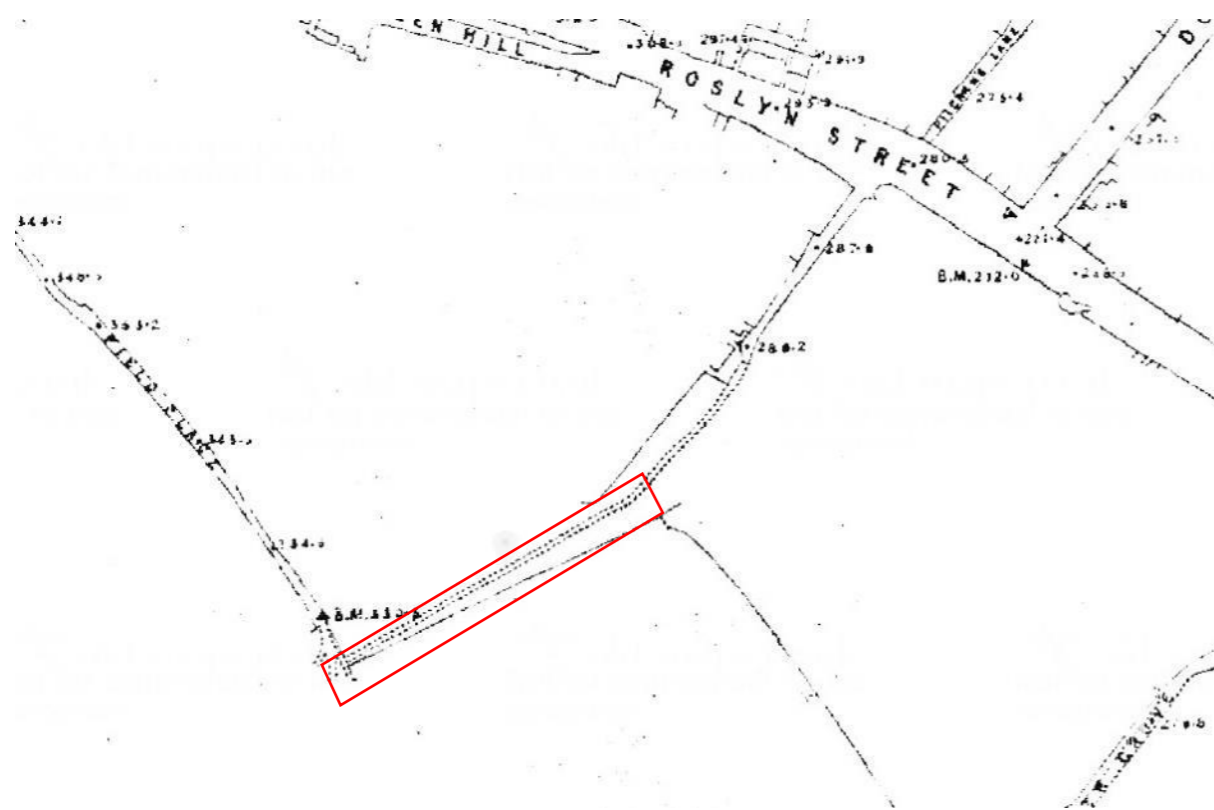


Figure 4: 1850 Map showing the area whilst it was still open fields, prior to Fitzjohn's Avenue being laid out. Some development has started to take place further north, however, with Roslyn Street already set out. The pathway that will become Shepherd's Walk (now 'Spring Walk') was already in place at this date (area of subject application marked in red).



Figure 5: 1871 Map shows the area starting to develop, with Fitzjohn's Avenue visible running north west to south east. The building that is now No. 84 Fitzjohn's Avenue has yet to be constructed, but large, semi-detached buildings are under construction along Thurlow Road, including the large building which is now No 17 – 19 Thurlow Road or 'Elm Bank'. There is a clearly defined boundary delineating Spring Walk, but the boundaries are parallel, and do not have the same arrangement that they have today (area of subject application marked in red).

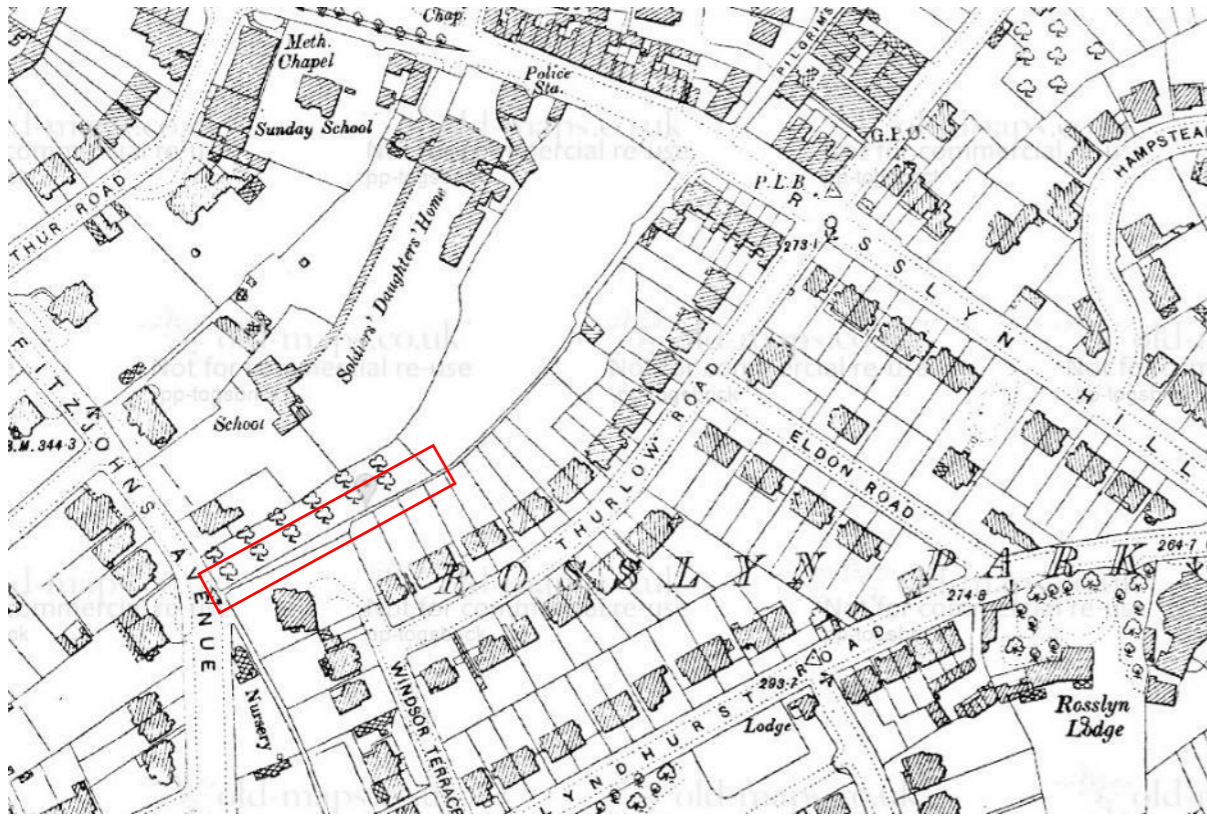


Figure 6: 1896 Map shows further development with Thurlow Road fully developed. Nos 84 and 82 Fitzjohn's Avenue remain undeveloped but the shape of the western end of Spring Walk has changed. In this map the passageway is wider until the point that is adjacent with the western boundary with No 17 – 19 Thurlow Road or 'Elm Bank'. This is the same line that the southern boundary wall follows today. It is deduced, therefore, that the stock brick features of the wall date from between 1871 and 1896.

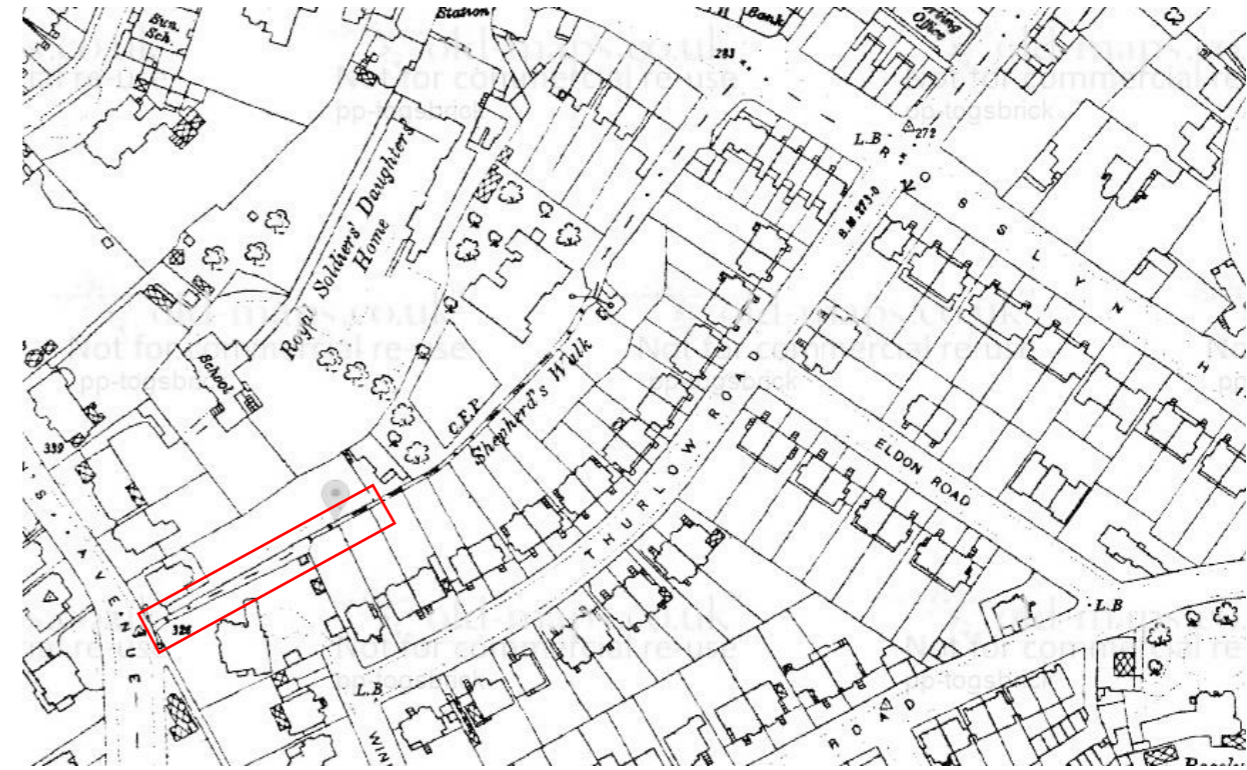


Figure 7: 1915 Map is the earliest map showing nos. 82 and 84 Fitzjohn's Avenue, whilst there is no visible change to the wall in this map it is deduced that the part of the wall marking the southern boundary of no. 84 Fitzjohn's Avenue was altered around this time to match the style and appearance of the building (area of subject application marked in red).

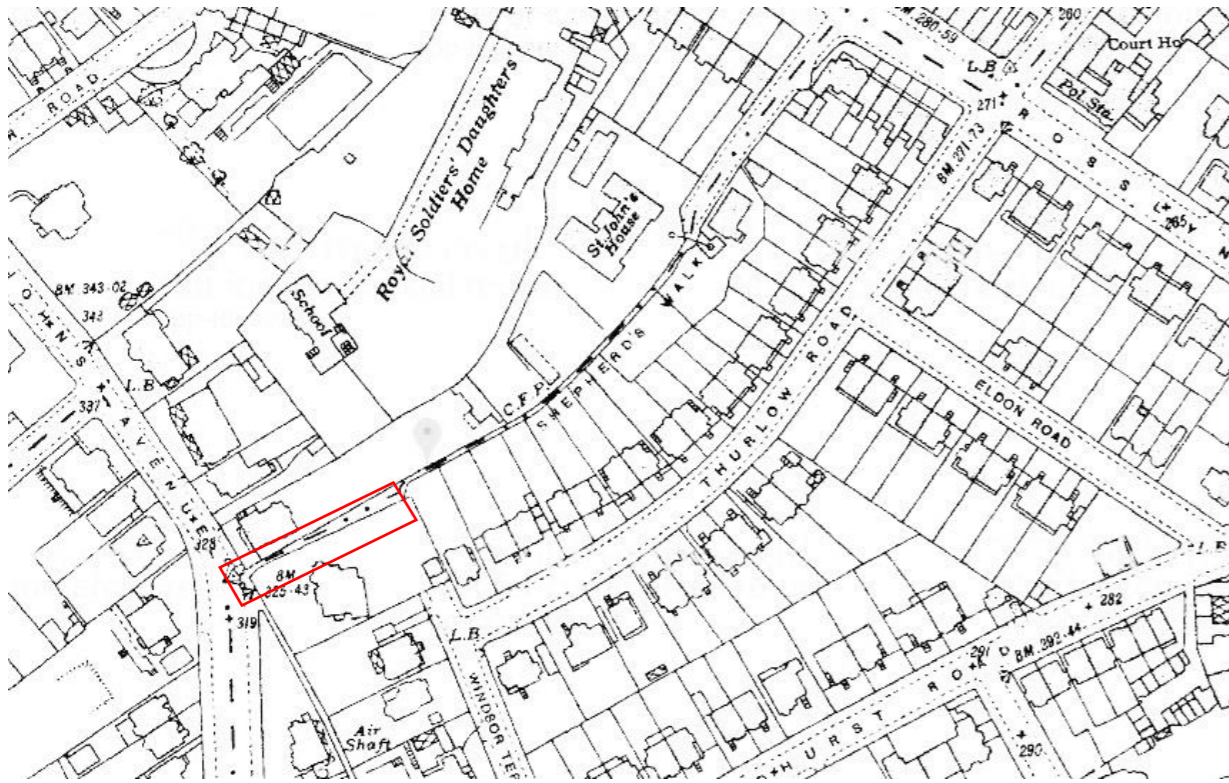


Figure 8: 1936 Map shows no change in the plan of the wall (area of subject application marked in red).

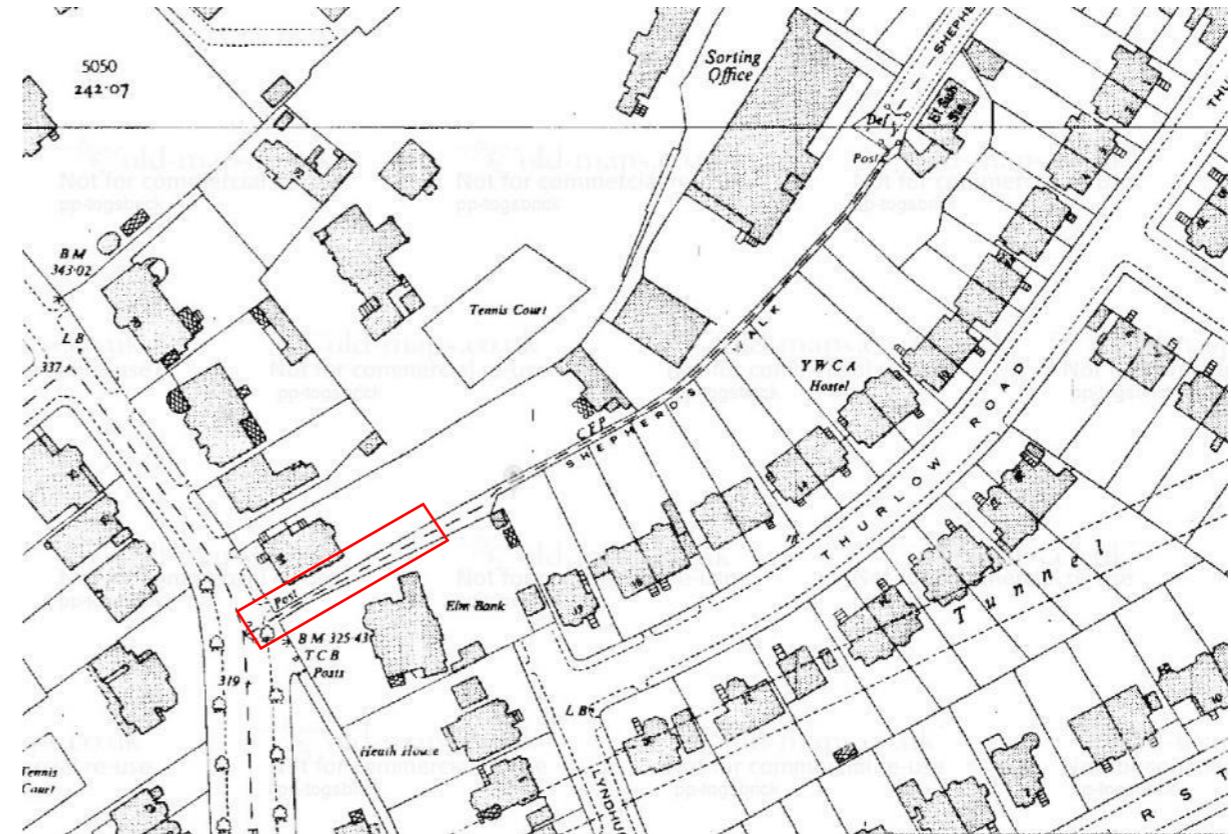


Figure 9: 1954 Map also shows no change in the plan of the wall (area of subject application marked in red).

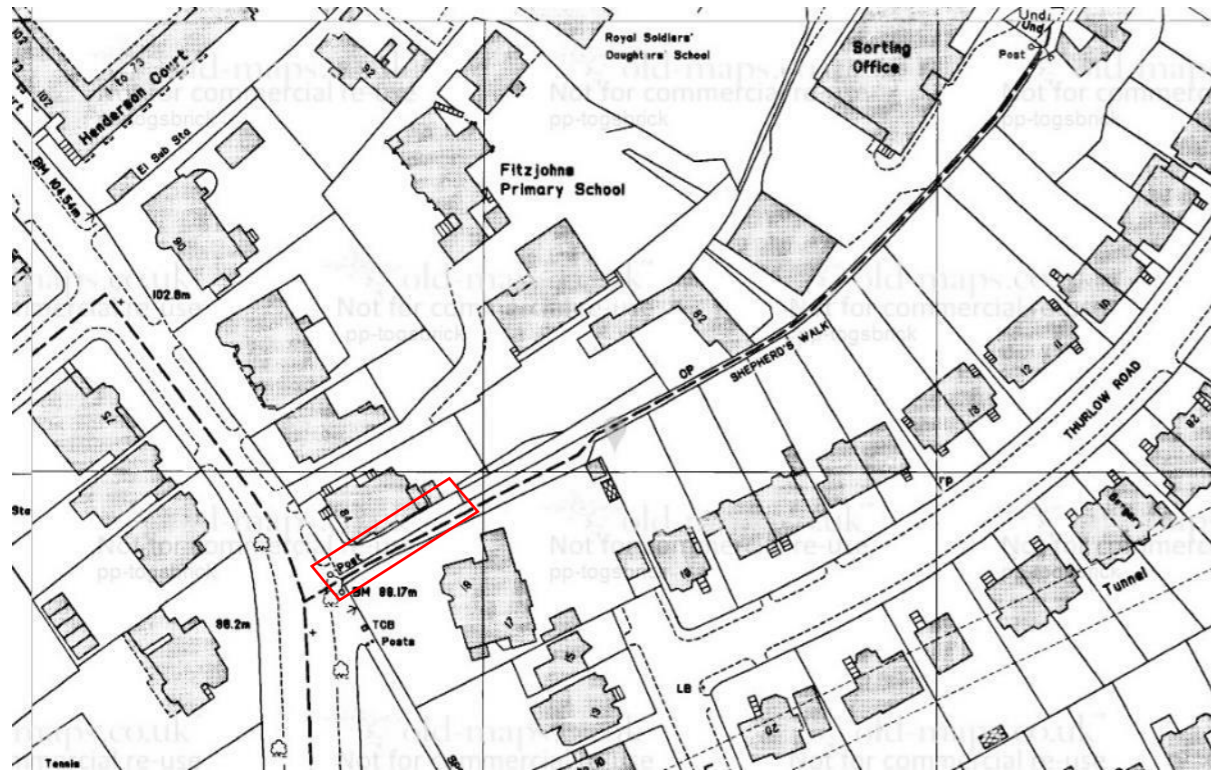


Figure 10: 1973 Map, shows no change to the plan of the wall, but to the north of wall, in front of no. 84 Fitzjohn's Avenue another wall is shown, curving to the north in front of the building, matching a section of low wall that exists today (area of subject application marked in red).

The documentary evidence set-out in the maps in this section, along with the visual inspections conducted on site have enabled us to draw conclusions about the likely history and development of the wall. This includes an estimated time period for the construction of the wall (1871 – 1896), pre-dating the construction date of either 82 or 84 Fitzjohn's Avenue. This has been concluded due to the change in shape of Spring Walk, as is visible in the 1896 map, where the form of Spring Walk resembles for the first time, the same form as it has today indicating that the walls were constructed at this date, fixing the plot boundaries between the properties and the passageway. Furthermore the use of stock brick on the wall is more in-keeping with the stock brick of the properties on Thurlow Road which the original southern wall acted as a boundary for and which pre-date nos 82 and 84 Fitzjohn's Avenue.

Whilst the plan of the wall does not visibly change in any of the maps following the 1896 map, it is presumed that the part of the wall that is later (adjacent to No. 84 Fitzjohn's Avenue) was re-built at a later date to match the style and appearance of the building. This will be expanded upon in a later section.

It is noted that the southern boundary wall on Spring Walk which borders Elm Bank and the other properties on Thurlow Road has evidently been altered in recent years so parts of the wall are now party fences rather than a consistent wall. It is presumed that this is likely to have been because of risk to the wall from the numerous mature trees which stand in the rear gardens of the properties to the south. The piers and footings of the wall have been retained or rebuilt in stock brick, presumably to match the original.

4 CHARACTERISATION APPRAISAL

4.1 Fitzjohn's and Netherhall Conservation Area

4.1.1 General Character, location and uses

The Fitzjohn's and Netherhall Conservation Area is a predominantly residential area which consists largely of late-Victorian buildings. The general character is provided by the topography, the architecture and the use of the buildings.

The Fitzjohn's and Netherhall Conservation Area Appraisal divides the area into two sub-areas. Sub-area 1: Fitzjohn's and Sub-area 2: Netherhall. This is based primarily on topography, layout and development phases, with Sub-area 1: Fitzjohn's having been developed over a ten-year period in 1870s – 1880s and due to the grid-like road layout. Sub-area 2: Netherhall, was developed between 1860s and 1880s with a more 'intimate' character, with a higher proportion of buildings exhibiting a finer urban grain. This Characterisation Appraisal considers both sub-areas together, due to the fact that the built form, plot size and architectural style intersects these two sub-areas with numerous examples of differing plot size, urban grain and architectural style found in both.

4.1.2 Architectural interest and built form

The architectural language of the Conservation Area varies with buildings of Victorian Gothic, Italianate, Arts and Crafts and Queen Anne Revival Styles all showcased here. Some houses are clearly in single ownership, whilst others are flats, with half levels and raised entrances.

Townhouses

There is a great variety of architectural styles in the Fitzjohn's and Netherhall Conservation Area, particularly considering that the area was subject to a relatively swift development. Amongst the variety it is possible to discern and an overriding building form, namely; detached or semi-detached buildings with an overall vertical profile. Within this group there is some variety, but there is sufficient commonality to be able to group these today, as they are easily identifiable as grand, late-Victorian townhouses.

Fine examples of these detached and semi-detached villas found on Maresfield Gardens (Figure 11) and Lyndhurst Gardens (Figure 12) and at frequent intervals on Fitzjohn's Avenue. Design and execution vary, with some particularly exceptional experimental examples at 24 and 26 (both grade II listed) by Harry Measures (c. 1886). No. 24 features Arts and Crafts style protruding gable with timber study and pitched roofs and clay tile facings with red brick gothic, No. 26, a pointed gable in German Gothic style with an ornate classical, pedimented porch with cornice and bottle balustrade at second floor level.

Others, such as those on Belsize Lane are tall, echo the style in a somewhat less ornate and rectilinear form (Figure 13).

84 Fitzjohn's Avenue (Figure 16), the building which stands in front of the subject site, shielding it from view from the street, is of a similar overall form. It is detached, rather than semi-detached, probably due to the fact that it was built at a later date to those on the surrounding its streets, including its neighbours at Fitzjohn's Primary School, yet it is very much in keeping with the buildings in the conservation area and conceals the, very divergent building of the subject site behind it.



Figure 11: Detached and semi-detached houses on Maresfield Gardens (source: Google)



Figure 13: Semi-detached houses, now largely flats, on Lyndhurst Road (source: Google)



Figure 12: Grade II listed buildings on Lyndhurst Gardens (source: Google)



Figure 14: A semi-detached pair of townhouses on Lyndhurst Road (source: Google)



Figure 15: Semi-detached Victorian Buildings in stock brick on Thurlow Road (source: Google)



Figure 16: 84 Fitzjohn's Avenue, red brick with classical features and tall, articulate gable forming a parapet (source: Google)

Suburban-style houses

The main characteristic shared by these buildings is their horizontal profile and overall substantial bulk and sizeable footprint. The horizontal profile stands in contrast to the vertical form of the town houses in the last section, with a large footprint relative to their height. The overall mass of these buildings is quite substantial, and most have two main storeys above ground level with a broadly consistent roofline, with some protruding elements such as chimneys, articulated gables, turrets and towers.

Despite their shared characteristic, the suburban style houses vary substantially in style. Some are typically Arts and Crafts movement, such as those on Lyndhurst Terrace (Figure 17), with clay tile façade and gables with steep, overhanging eaves. Others, such as 'Uplands' at 75 Fitzjohn's Avenue (Figure 18) display a north American Gothic style, with its steeply pitched roofs, decorative facias and partial veranda.

The Freud Museum, home to the influential psycho-therapist Sigmund Freud from 1938, is also an exception in terms of style. Constructed in the early 20th century, it has a confident Neo-Georgian, a style less commonly found than the large Arts and Crafts suburban-style houses, and the ornate Victorian townhouses (Figure 20).

More grandiose still, is the Old Conduit House, its bold presence representing something more akin to a civic or ecclesiastical building. The building features turrets of a circular and square form, lancet windows and polychromatic detailing with French medieval gothic overtones (Figure 19).



Figure 17: Corner of Lyndhurst Terrace and Akenside Road (source: Google)



Figure 19: Old Conduit House, or 1 and 3 Lyndhurst Road (grade II*) by John Burlison (source: Freud Museum)



Figure 18: 75 Fitzjohn's Avenue 'Uplands' by T.K Green (grade II)



Figure 20: The Freud Museum at 20 Maresfield Gardens (grade II) (source: creative commons)

Institutional buildings

In addition to the residential buildings which predominate in the conservation area, there are several institutional buildings Royal Free Hospital on Lyndhurst Gardens (the main Royal Free Hospital sits outside of the conservation area to the west of Rosslyn Hill) and St Mary's School Hampstead (Figure 22), Devonshire House school, and Fitzjohn's Primary School (Figure 21) all on Fitzjohn's Avenue (the latter sits next door to the subject site). Of these, Devonshire House and St Mary's School have a similar architectural vernacular to the residential buildings in the area, and match the larger footprints of the larger of the 'suburban-style houses' previously mentioned. Fitzjohn's Primary School, the site which stands to the north of the subject site, is more typical of a purpose-built Victorian school building, with a low profile, one main storey with some rooms at first floor in the Gothic style. What sets all of these buildings apart is the more generous plots which surround the buildings in use as playgrounds and sports courts.



Figure 21: School buildings at Fitzjohn's Primary School (grade II) which stand in the site next door to the subject site (source: Tmol42 via Wikimedia Commons)



Figure 22: St Mary's Convent School (grade II), Fitzjohn's Avenue (source: Taskspace)

Modern additions

Despite the vast majority of the buildings in the conservation area dating from the late Victorian period, there are some, largely infill buildings which date from the 20th century. The modern buildings vary in style, and those constructed in the late 20th century and early 21st century are generally more appropriate to the overall size and scale of the existing buildings, typically being constructed of red brick and standing at two main storeys over ground floor. Those dating from the mid-20th century are less appropriate, such as the single storey house and three storey block of flats on Lyndhurst Terrace, both in brown brick and with very blocky forms, devoid of references to the surrounding design language (Figure 23).



Figure 23: Modern houses on Lyndhurst Terrace (source: Google)



Figure 25: Modern house on south side of Lyndhurst Road (source: Google)



Figure 24: Henderson Court, 102 Fitzjohn's Avenue (source: Google)

Materials

Red brick predominates in the conservation area. Some houses have stucco dressings, such as those on Maresfield Gardens (Figure 11) and others experiment with detailing in clay tile, as found on the Arts and Crafts style houses like that found on the corner of Lyndhurst Road (Figure 17). Terracotta and even stud timber work are also experimented with, such as at Lyndhurst Gardens (Figure 12).

Some, such as those on Lyndhurst Road, are detached or semi-detached blocks in stock brick in Victorian Gothic and Italianate style with red brick and details and plaster work (Figure 14 and Figure 19). The houses in stock brick are typically fewer in number and generally less well conceived, with some exceptions, such as Old Conduit House (Figure 19).

4.1.3 Townscape Attributes

Topography

The topography of the area has a strong impact on the feel of the conservation area. The hill declines southwards along Fitzjohn's Avenue from Hampstead village. This incline, coupled with the sheltered feel of the street provided by the mature London Plane trees, help to provide this part of the conservation area with a calmer more suburban quality.

Greenery, openness and boundaries

There is a lot of greenery in the conservation area, provided by the street trees and aided by the foliage in the large plots which is visible above the walls and through the large gateways. This is most dominant on Fitzjohn's

Avenue, although other residential streets do not have as many large street trees offering visual amenity, and the sense of the area being an urban development is more keenly felt, as a result.

The conservation area is devoid of publicly accessible open spaces with the largest areas of land contained within the sites of the schools, blocks of flats and gardens of the houses with larger plots. The only openness comes from the long views down the wider streets such as Fitzjohn's Avenue and Rosslyn Hill.

There is some variety in plot size with some detached and semi-detached houses standing in generous plots behind mid-rise boundary walls (such as those shown on Lyndhurst Road Figure 14). Others, such as the houses on Maresfield Gardens (Figure 11) are more densely developed with smaller gaps between plots, and indeed the houses themselves. Boundaries with hedges help to contribute to the overall sense of greenery in the area. Some plot boundaries are higher (Figure 26), offering the passer-by glimpses of architectural flourishes on the buildings within.



Figure 26: Plot boundaries on Lyndhurst Road (above) and Fitzjohn's Avenue (below), both are typical of the area - mid-rise with hedges and foliage protruding above.

5 DESCRIPTION OF THE SITE

5.1 Boundary Wall at 82 Fitzjohn's Avenue

This description of the boundary wall is intended to provide a description that can inform an understanding of the significance of the wall in relation to the conservation area. Some references are made to the condition of the wall in places, but for a comprehensive understanding of the condition of the wall, please refer to the condition report prepared by Behan Chartered Surveyors, which accompanies this application.

The boundary wall at 82 Fitzjohn's Avenue runs from the west side of Fitzjohn's Avenue, just south of 84 Fitzjohn's Avenue, and marks the boundary between the properties and Spring Walk (eastern end) which runs westwards until it turns into Shepherd's Walk and meets Rosslyn Hill.

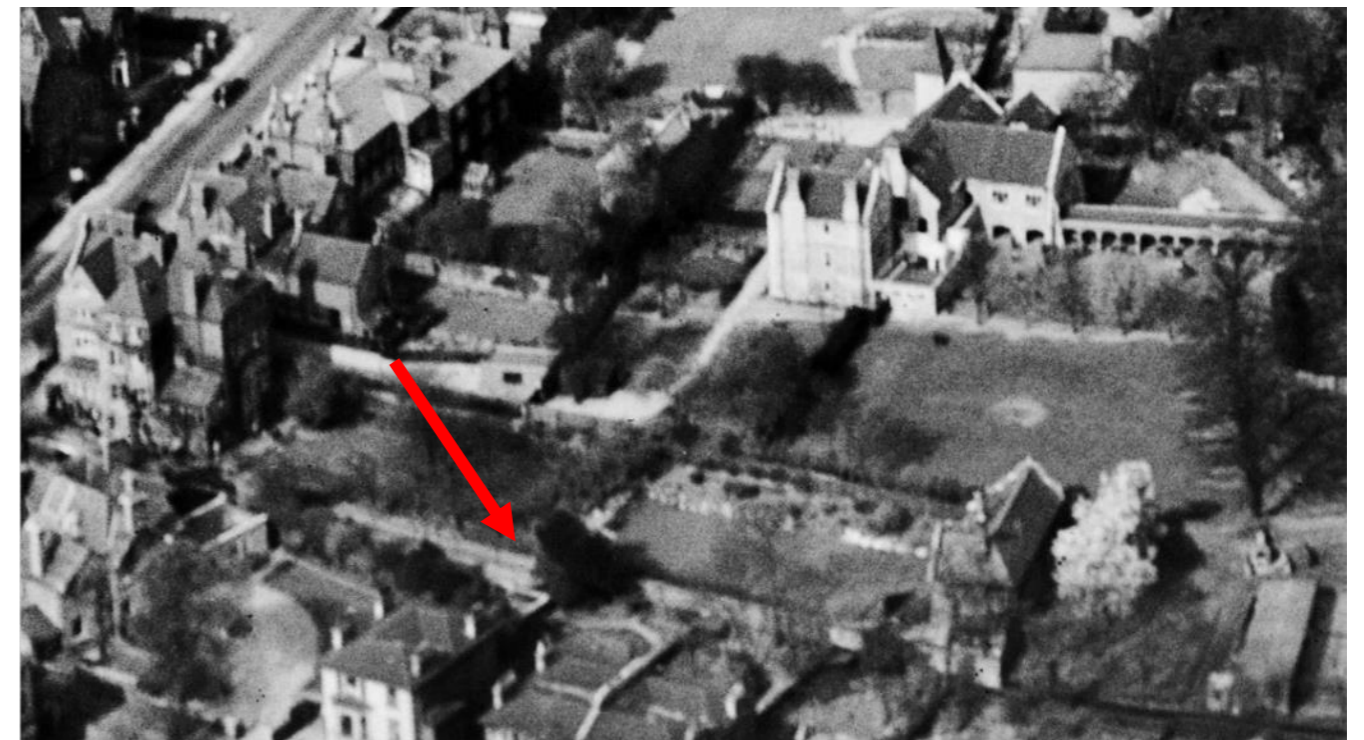


Figure 27: 1938 aerial photograph showing the subject with a visible boundary wall (source: Britain from above)

When walking from east to west the wall starts with some red brick footings with iron railings above before becoming full-height with a pier and a stone finial (Figure 28). Then a full-height wall in red brick with dark brick copings continues for a time before meeting a juncture where there was a former gateway which then becomes stock brick. The wall is one brick thick, the thickness of the coping, and is built-out at the piers on either side of the wall.



Figure 28: Boundary Wall viewed from Fitzjohn's Avenue (indicated with arrow), showing presumed 1970s extension at the front with stone finial, and the corresponding finial above the low curved wall de-marking the driveway entrance to 82 Fitzjohn's Avenue.



Figure 29: Section of the wall viewed from Spring Walk, No 84 Fitzjohn's Avenue is visible behind

The easternmost section of wall with railings appears to be a later addition to the wall, and may have been constructed at the same time that the low wall with matching pier and finial was built in the mid-20th century (as shown for the first time in the 1973 Map, Figure 10).

As described in the Map Regression in Section 3.2, it is thought that the red brick section of wall near 84 Fitzjohn's was built when the house was built at the turn of the 20th century. This part of the wall is in stretcher bond and steps-down consistently at certain junctures with piers supporting the wall at each step. There is one separate buttress which does not line-up with a step in the wall, and is thought to be a later addition. It appears as though the brick of the buttress has been built against the wall and not tied-in, it also seems to have been built with cement mortar.



Figure 30: Photograph of the additional buttress showing poor quality cement mortar that is beginning to fail, cement mortar has been poorly applied to the brickwork in the main wall also and there are signs of decay.

The stock brick section, which starts further east on the wall, is thought to be earlier, pre-dating both no. 82 and 84 Fitzjohn's Avenue. The stock brick section of the wall is in Monk Bond (two stretchers to one header in each course).



Figure 31: Area of the boundary wall that is thought to be more historic, constructed in stock brick in Monk bond with Staffordshire blue half round coping bricks.

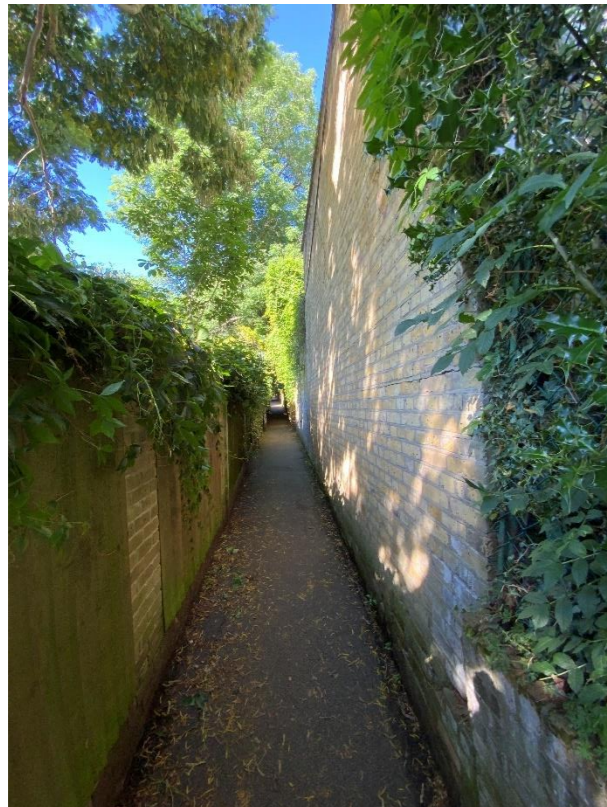
The exception to this is a section of stock brick which is built into the garage of No.82, this section is a later build (re-built when the garage was built) and has been built in English bond (alternate courses of header and stretcher). The other modern section of wall stands near the junction with the red brick wall and is an in-fill panel of new brick, blocking-up a former gate opening. This new section of wall has been constructed in stretcher bond (Figure 32). There is no evidence of an opening in the wall on the map regression, despite the remnants of gate posts still standing on the interior of the wall.



Figure 32: Point in the garden wall where the red brick meets the stock brick, and the location of a former gateway, now bricked-up. The replacement brick panel is in stretcher bond.



Figure 34: North elevation of the boundary wall taken from the driveway of 82 Fitzjohn's Avenue showing the wall covered in significant quantities of foliage. A defunct light and cabling dating from the middle of 20th century is visible.



On the northern elevation of the wall (Figure 34) (facing into 82 Fitzjohn's Avenue garden), the wall is largely featureless, with the exception of a hook attached to the wall which appears to be quite historic, possibly early 20th century and an old light and cabling, possibly mid-20th century. There is also significant amounts of foliage in places. The wall is in an overall moderate condition. For a more detailed assessment of the condition of the wall, please see the appended condition assessment.

Figure 33: Photograph (left) taken from narrowest point of Spring Walk, the wall on the right is replacement section of stock brick wall which forms part of the garage in 82 Fitzjohn's Avenue, on the left the wall consists of historic stock brick footings but modern piers and fencing. This section of wall is in English bond.



Figure 35: View looking west along Spring Walk towards Fitzjohn's Avenue, the view is taken from the widest point of the passageway with the boundary wall on the right of the image.

6 SIGNIFICANCE APPRAISAL

6.1 Introduction

The NPPF (Para 189) states that *"In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting [Our emphasis]. The level of detail should also be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on that significance."*

An assessment has been provided to ascertain the significance of the boundary wall and what kind of contribution it makes to the Fitzjohn's and Netherhall Conservation Area, and has been prepared with the level of detail that is proportionate to the level of significance of the wall.

6.2 Evaluation of significance

The key criteria for assessing the significance of a heritage asset has been recently updated by Historic England in 'Statements of Heritage Significance: Analysing Significance in Heritage Assets', published 21 October 2019. These definitions are in alignment with the NPPF definition of significance and are as follows:

- **Archaeological interest** – There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.
- **Architectural and artistic interest** – These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture.
- **Historic interest** – An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.

In order to determine the significance of a certain component of a heritage asset the sum of its archaeological interest, architectural and artistic interest and historic interest needs to be disaggregated and determined.

The grading of values is considered using three categories: **low**, **medium** and **high**

6.2.1 Archaeological Interest

Historic England's Greater London Archaeological Advisory Service (GLAAS) has undertaken an archaeological assessment of the London Borough of Camden, *London Borough of Camden Archaeological Priority Areas Appraisal*, published in October 2018. This assessment identifies archaeological priority areas and categorises them in order of importance; Tiers 1 – 3. Whilst LB Camden does have areas of archaeological importance in all

three tiers, none of these are in close proximity to the boundary wall. As we know that 82 and 84 Fitzjohn's Avenue were open fields up until the point that they were developed, and as these buildings and the boundary wall does not fall within one of the archaeological priority areas, it is unlikely that there is much potential for archaeological finds there. As a result, the archaeological interest is **low**.

6.2.2 Architectural and artistic interest

As has been demonstrated in Section 5.1, the boundary wall is made-up of an agglomeration of sections of varying ages and in variety of bonds. Furthest west is the red brick section, which features railings and finials that are thought to have been introduced in the 1970s, the rest of the red brick wall is thought to date from the turn of the 20th century and is in Flemish bond. Following this is the bricked-up gateway with stretcher bonded stock brick, following that is a stretch of original wall in Monk bond and following that the mid-20th century reconstructed section which makes up part of the garage at No. 82 Fitzjohn's Avenue, and is in English bond. The red brick part of the wall has red brick half rounded coping bricks, whilst the stock brick part of the wall has half round Staffordshire blue coping bricks.

The red brick section of wall presents more as an urban boundary wall and is largely unremarkable, particularly the most westerly section where the iron railings present a somewhat austere entrance way to Spring Walk.

The most attractive and historic part of the wall is the stock brick part in Monk bond, beyond the junction with the red brick section and before the garage of 82 Fitzjohn's Avenue. This area of wall (Figure 31) is relatively well preserved and the lighter tone of the stock brick has a softer material quality which melds well with the mature trees visible above it providing an authentic experience of a typical English walled garden. The stock brick and the earlier construction date give this part of the wall a strong association with some of the earlier buildings in the vicinity, such as those on Thurlow Road and Lyndhurst Gardens, which are also constructed in stock brick (refer to Figure 12 to Figure 14 in Section 4: Characterisation Appraisal). This section could be said to have some level of interest but, given the other replacement parts and the mismatched brick bonding, the boundary wall as a whole has **low** architectural and artistic interest.

6.2.3 Historic interest

In the Heritage Statement prepared for application 2021/1394/P, the historic interest of 82 Fitzjohn's Avenue was found to be low overall. As such the wall does not garner any historic interest by association with 82 Fitzjohn's Avenue. The only way in which there could be some historic interest, is in the wall's association with Spring Walk which is a route that pre-dates the buildings in the vicinity (as shown in the Map Regression in section 3.2). Yet Spring Walk is only a passageway and not of any particular importance in relation to the development of the area. As such, the historic interest of the boundary wall is considered to be **low**.

6.3 Summary of significance

As has been demonstrated in this section, the boundary wall is not of any significance and with **no archaeological** interest and no historic interest. The **architectural and artistic interest** has been considered in detail and was also found to be of **low**.

7 VISUAL IMPACT ASSESSMENT

7.1 Summary of proposed works

Drawings of the proposed works have been prepared by Charlton Brown Architects. Details from these drawings have been included here, but the full drawings should be considered alongside the summary in this section.

The proposals seek to dis-assemble a section of the boundary wall in order to mitigate any possible risk of structural damage to the wall during the period of construction for the works at 82 Fitzjohn's Avenue, and to re-construct this area of wall once construction work has concluded. The wall will be reconstructed with salvaged bricks, in particular the half rounded coping bricks will be re-used.

This is to eliminate any potential health and safety issues that damage to the structure of the wall might cause, details of this are contained within the structural engineer's report.

The area of wall proposed for disassembly and reconstruction is the red brick section of wall extending up to and including the bricked-up former gate opening (refer to Figure 38).

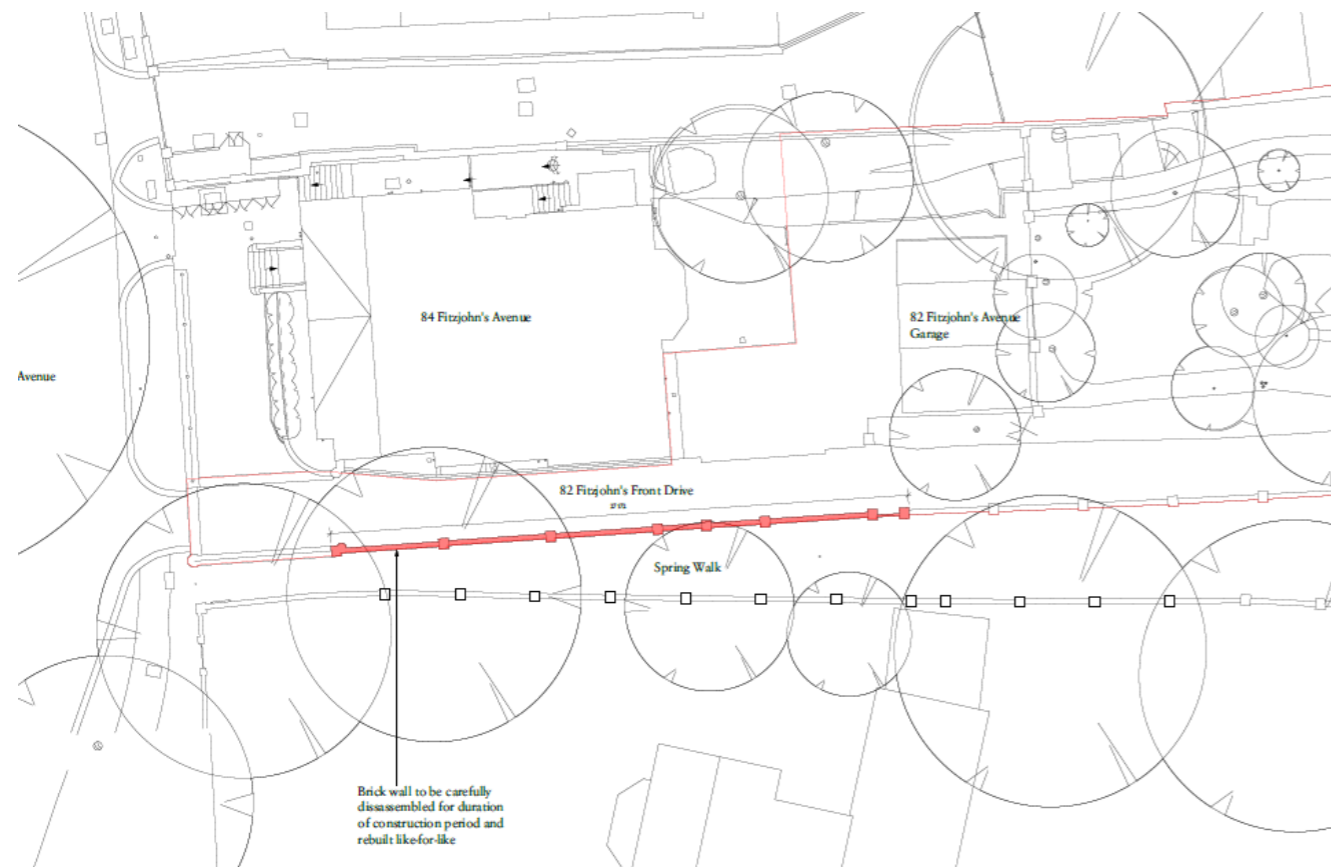


Figure 36: Excerpt from Drawing No. A-PL-00-701

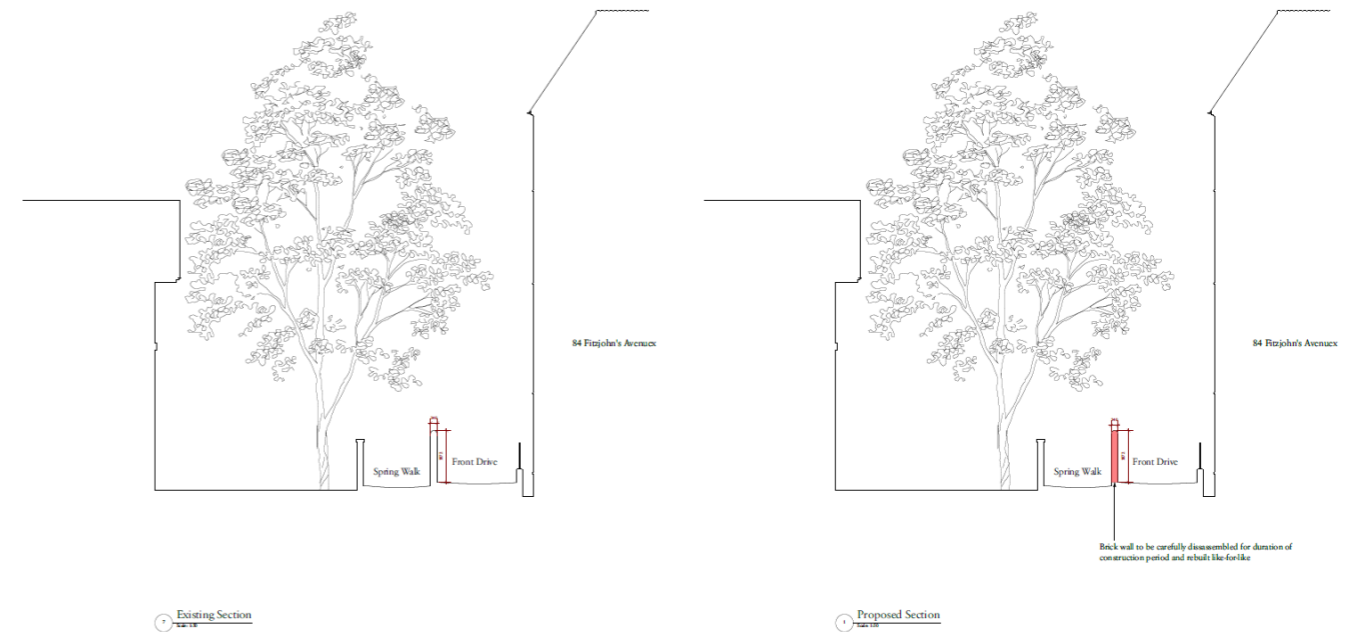


Figure 37: Excerpt from Drawing No. A-PL-00-702

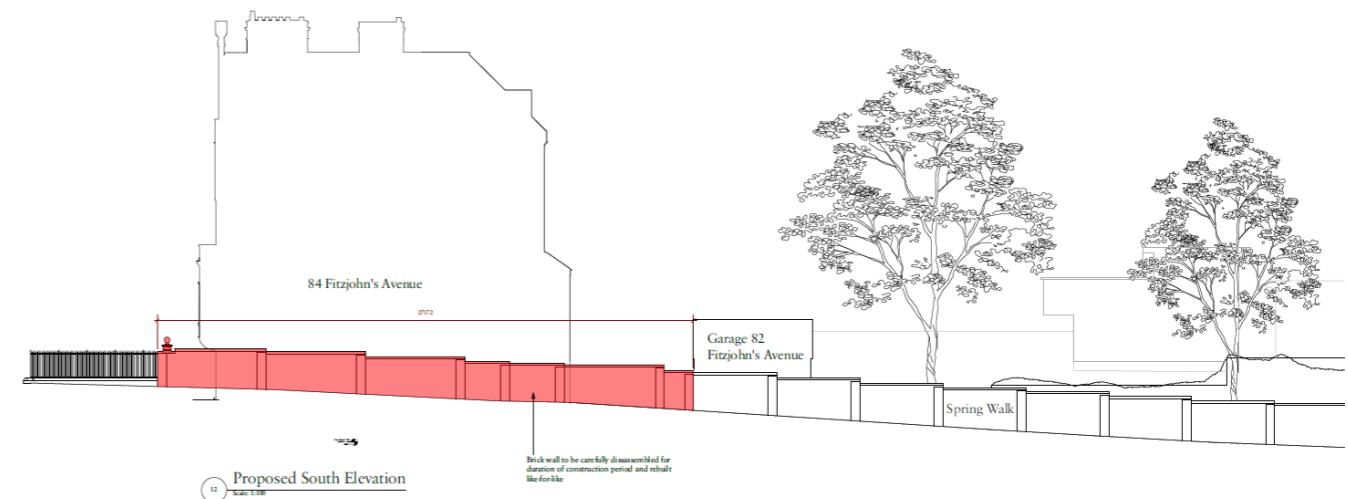


Figure 38: Excerpt from Drawing No. A-PL-00-703

7.2 Visual Impact Assessment Methodology

For the purpose of assessing the effects likely to result from the proposed development, established criteria have been employed. The impact of the proposal has been assessed against receptor sensitivities, ranging from:

- **Substantial (high) adverse:** a fundamental change in the appreciation of the resource and its historic context, or setting, involving the degradation of a cultural heritage site of national importance, or the demolition of any grade of statutorily listed building.
- **Moderate (medium) adverse:** a change that makes an appreciable difference to the ability to understand the historic context, or setting, resulting in extensive long-term change to the setting or structure of listed buildings.
- **Minor adverse:** effects which create dis-benefits to the historic fabric of an area but may also provide benefits. May involve demolition of an undesignated historic building, or, limited encroachment upon a conservation area, or historic parkland, where intrusive views are created or slight impacts upon its integrity would result.
- **Negligible:** the development would not materially affect the status quo.
- **Minor beneficial:** perceptible improvement in the setting of, or structural condition of, or character of listed buildings or conservation areas.
- **Moderate beneficial:** effects which help to explain the significance and history of the site and surrounding area; ensuring the long-term future of Listed Buildings and any other buildings of architectural significance, by providing viable and appropriate uses; resulting in the loss of less significant fabric in the Listed Buildings, but enabling a viable long-term use for the buildings.
- **Substantial beneficial:** effects which ensure the long-term future of the most significant historic fabric by providing viable and appropriate uses and, impacts which improve the setting of a Listed Building or historic parkland and, which repair and conserve the most significant fabric of the Listed Buildings.

7.3 Visual Impact Assessment



Figure 39: Photo looking eastwards down Spring Walk from Fitzjohn's Avenue, the boundary wall is annotated with a red arrow.



Figure 40: Photo looking westwards down Spring Walk towards Fitzjohn's Avenue. The red brick section of wall that is proposed to be dis-assembled and re-assembled is on the far right annotated with a red arrow.

As already demonstrated in the Significance Assessment in Section 6, the area of wall considered to be of somewhat greater interest is the stock brick part of the wall. The proposals seek only to remove the section of wall in red brick, which is the part of the wall that is not thought to be original, is of less architectural and artistic interest, and is in a relatively worse condition (refer to Condition Report for further detail) as well as the section which has already been altered between the former gate piers.

Furthermore, there are numerous other boundary and garden walls in the conservation area that make a much stronger impression and have a greater contribution to the conservation area, as set out in Figure 26 in Section 5: Characterisation Appraisal. When considering the boundary wall, in relation to these other walls it is evident that the boundary wall in question does not make such a strong contribution to the significance and special interest of the Fitzjohn's and Netherhall Conservation Area. As such the boundary wall makes a **neutral contribution** to the conservation area.

As shown in Figure 39 above, the wall is not highly visible from the main thoroughfare within the conservation area so the only people who will experience the wall are users of Spring Walk itself. The fact that the applicant proposed to carefully re-assemble the wall using salvage bricks will help to preserve the visual impression made by the wall and so the overall and lasting impact on the wall will be extremely minimal. The proposals will have an overall **negligible impact** and will cause **no harm** to the Fitzjohn's and Netherhall Conservation Area as a whole.

8 POLICY STATEMENT AND PRE-APPLICATION RESPONSE

8.1 Policy Statement

8.1.1 Planning (Listed Buildings And Conservation Areas) Act 1990

In relation to conservation areas it is stated in section 72 that there is a *“general duty as respects conservation areas in exercise of planning functions.”* In this clause it is said that *“special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.”*

8.1.2 National Planning Policy Framework (NPPF) (2021)

The NPPF is the principal policy guidance on the application of the 1990 Act, and the most relevant criteria for testing of applications for the development of heritages assets and other properties within the historic environment. As recommended by NPPF, proposals for the alteration or redevelopment of listed buildings or buildings within conservation areas should be considered and based on an understanding of their significance.

Para 189:

“Heritage assets range from sites and buildings of local historic value to those of the highest significance...these assets are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.”

Para 194:

States that ‘In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance’.

Para 195:

“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal.”

Para 197:

In determining planning applications, local planning authorities should take account of “...the desirability of new development making a positive contribution to local character and distinctiveness.”

Response:

It is considered that information provided with the application and in the above assessment is deemed to be proportionate to the significance of the Fitzjohn's and Netherhall Conservation Area and contribution that the subject site makes to their setting (considered to be a neutral contribution, at present). It sets out the appropriate level of detail sufficient to understand the potential heritage implications of the proposal in the above context, and in accordance with the proportionate approach advocated by national policy.

Para 203:

"The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset."

NPPF Para 206

"Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably."

Response: The proposal meets the criteria of these policies. The boundary wall is not of particularly high significance, nor does it make a particularly strong contribution to the conservation area. The proposal seek to disassemble and reconstruct a part of the wall and ask such no harm will be caused to the significance of the heritage asset (the conservation area). National Design Guide (2021)

8.1.3 The New London Plan (March 2021)

Policy D1: London's form, character and capacity for growth. Section A of this policy sets out guidance for councils to help define an area's character and states that; *"Boroughs should undertake area assessments to define the characteristics, qualities and value of different places within the plan area to develop an understanding of different areas' capacity for growth..."*

Point 7 states that when considering heritage in relation to local character states that area assessments must include: *"historical evolution and heritage assets (including an assessment of their significance and contribution to local character)."*

Response: The proposal meets the criteria of this policy and this report has considered the significance of nearby heritage assets and included a character appraisal which has helped to understand the relationship between the site and its surrounding context. There are only three listed buildings in the vicinity of the subject site none of which will be impacted by the proposals due to the isolated location of the subject site. Only the conservation area had any potential to be impacted by the change, and this has been assessed as being a **negligible impact** on the character and appearance of the conservation area which will cause **no harm** to the significance or special interest of the heritage asset.

8.1.4 Camden Local Plan (2017)

Policy D1 Design: *"The Council will seek to secure high quality design in development. The Council will require that development:*

- a. respects local context and character;*
- b. preserves or enhances the historic environment and heritage assets in accordance with Policy D2 Heritage;*
- c. is sustainable in design and construction, incorporating best practice in resource management and climate change mitigation and adaptation;*
- d. is of sustainable and durable construction and adaptable to different activities and land uses;*

e. comprises details and materials that are of high quality and complement the local character;

f. integrates well with the surrounding streets and open spaces, improving movement through the site and wider area with direct, accessible and easily recognisable routes and contributes positively to the street frontage..."

Response: The proposals seek to make a change that will have a negligible visual impact thus preserving the already insubstantial contribution that the red brick section of the wall makes to the conservation area, and thus meeting the criteria for this policy.

8.1.5 Hampstead Neighbourhood Plan (2018)

Policy DH2 Conservation areas and listed buildings:

"1. Planning applications within a Conservation Area must have regard to the guidelines in the relevant Conservation Area Appraisal(s) and Management Strategies.

2. In reference to NPPF paragraphs 131 to 136, the Plan provides further guidance on the application of these policies below.

3. New development should take advantage of opportunities to enhance the Conservation Areas by protecting and, where appropriate, restoring original architectural features, including walls, windows, doors, etc., that would make a positive contribution to the Conservation Areas.

4. Development proposals must seek to protect and/or enhance buildings (or other elements) which make a positive contribution to the Conservation area, as identified in the relevant Conservation Area Appraisals and Management Strategies (see Appendix 3)."

Response: It is not considered that the proposals constitute new development as they seek to re-construct a wall which has not been found to be of any significance and do not make a positive contribution to the conservation area and are thus compliant with this policy.

9 CONCLUSION

This Heritage Statement has undertaken documentary research and visual analysis of the boundary wall to the south of 82 Fitzjohn's Avenue, in the Fitzjohn's and Netherhall Conservation Area. The statement has ascertained the history, development and significance of the boundary wall, its contribution to the conservation area (which is considered to be **neutral**), and the potential impact of the proposals to disassemble and reconstruct a section of the wall.

As the section of the wall proposed to be reconstructed is not original, as it is of less interest than other areas of the wall, and because it is not highly visible from the conservation area outside of Spring Walk, it is considered that the proposals will have a **negligible impact** on the Fitzjohn's and Netherhall Conservation Area. As such, the proposals will cause **no harm** to the heritage asset (the Fitzjohn's and Netherhall Conservation Area). As such, it will preserve the character of the conservation area and is thus compliant with local and national planning policies.