

# Schedule of Alterations and Restoration REV 01

Accompanying a Listed Building Application

at 30 Leighton Road

Prepared by  
**KENNEDY WOODS**

December 2021

## Introduction

### Introduction

This Detailed Schedule of Alterations and Restoration has been prepared by Kennedy Woods Architecture on behalf of the applicant, N Family Holdings Ltd (trading as N Family Club) and is submitted in support of an application for Listed Building consent for the following development:

“Reconfiguration of room arrangements in the building in association with the use of the building as a Children’s Nursery (Class E). Extensions to create link corridors.”

The existing use of the building as offices falls within Class E so no change of use application is required.

This document details the works to be undertaken in each room of the building in order to demonstrate the care being taken to respect the heritage of the building, while making the building fit for purpose as a Nursery School. It should be read alongside the Design and Access Statement, Door Schedule and Servicing Strategy document, the submitted drawings, and the Heritage Statement.



## Structural Alterations Methodology

### **Structural Alterations - General Approach**

Where proposed, enlargement of any existing openings is to be carried out with the following methodology depending on the construction of the walls:

#### **For Masonry Walls**

Install steel needles through the existing wall over lintel level at approximately 600mm centres (reduce if distance to floor is <600mm) for the whole distance of the proposed opening. Once the needles have been installed they should be propped at either end (always carrying the load down to the foundations). When the props have been set in place the existing lintel can be removed and the proposed steel beam can be installed prior to the existing masonry wall being demolished such that the new opening is created.

#### **For Load bearing timber walls**

Prop the floor structure at each side of the wall (carrying the prop load down to the foundation) and once the whole floor is completely propped the stud wall can be replaced by the new stud work with the proposed size opening.

#### **For Non-load bearing timber walls**

Ensure the existing stud wall is non-load bearing prior to removing, if it is not carrying any vertical load then can be removed without further works needed.



## Servicing Strategy

### Servicing - General Approach

Existing mechanical and electrical items are poorly considered in their placement, of low quality and poor condition, and visually distracting from the character of the rooms.

For this reason, full replacement is proposed to the fittings, cabling and plumbing in order to meet regulations and provide a high-quality finished appearance.

All existing surface mounted trunking and conduit is proposed to be removed and cables will be recessed within walls and ceilings.

Where pipework is required to run vertically between floors, boxing in will be required. The locations of any vertical services and boxing has been carefully considered to minimise impact on the listed building. Boxing will be constructed in MDF and painted out to match the walls.

### Servicing Statement

The Mechanical and Electrical Engineer for the project has prepared a statement regarding the services approach which accompanies this report.



Low quality surface mounted lights



Existing exposed services adjacent to historic features

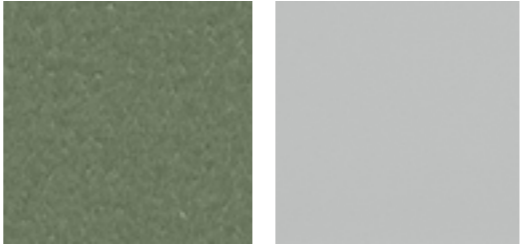





Existing trunking



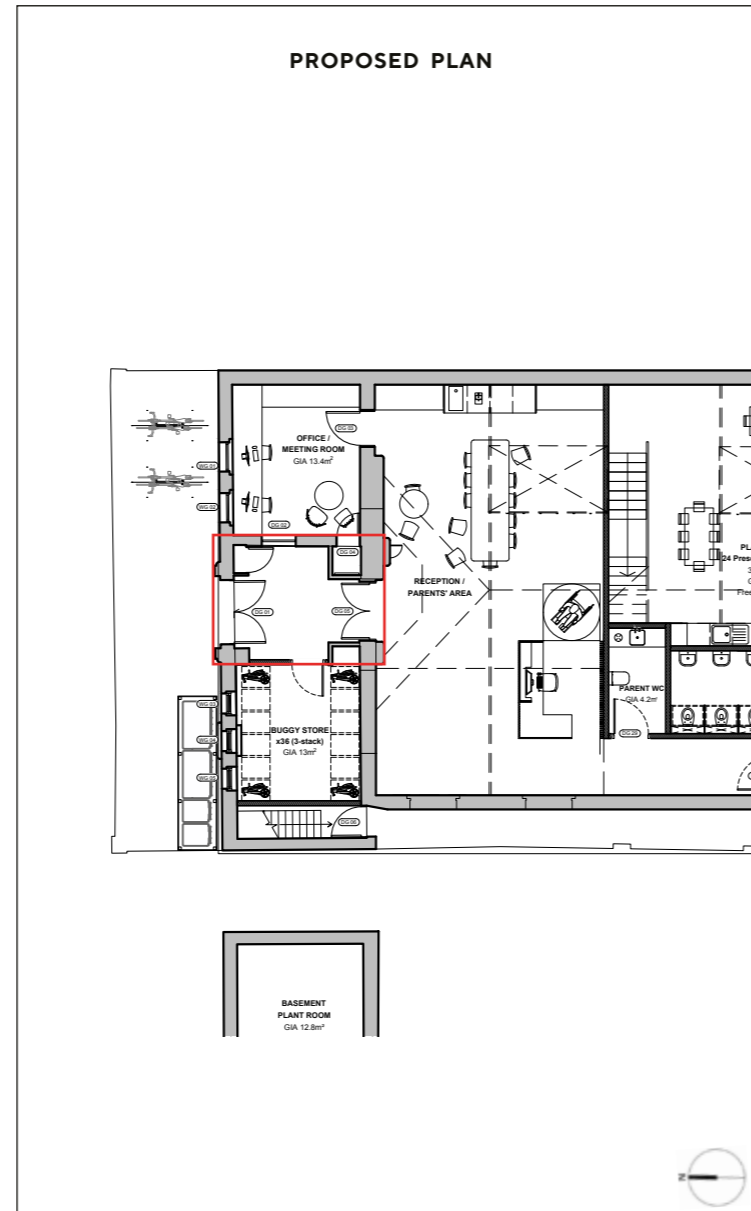
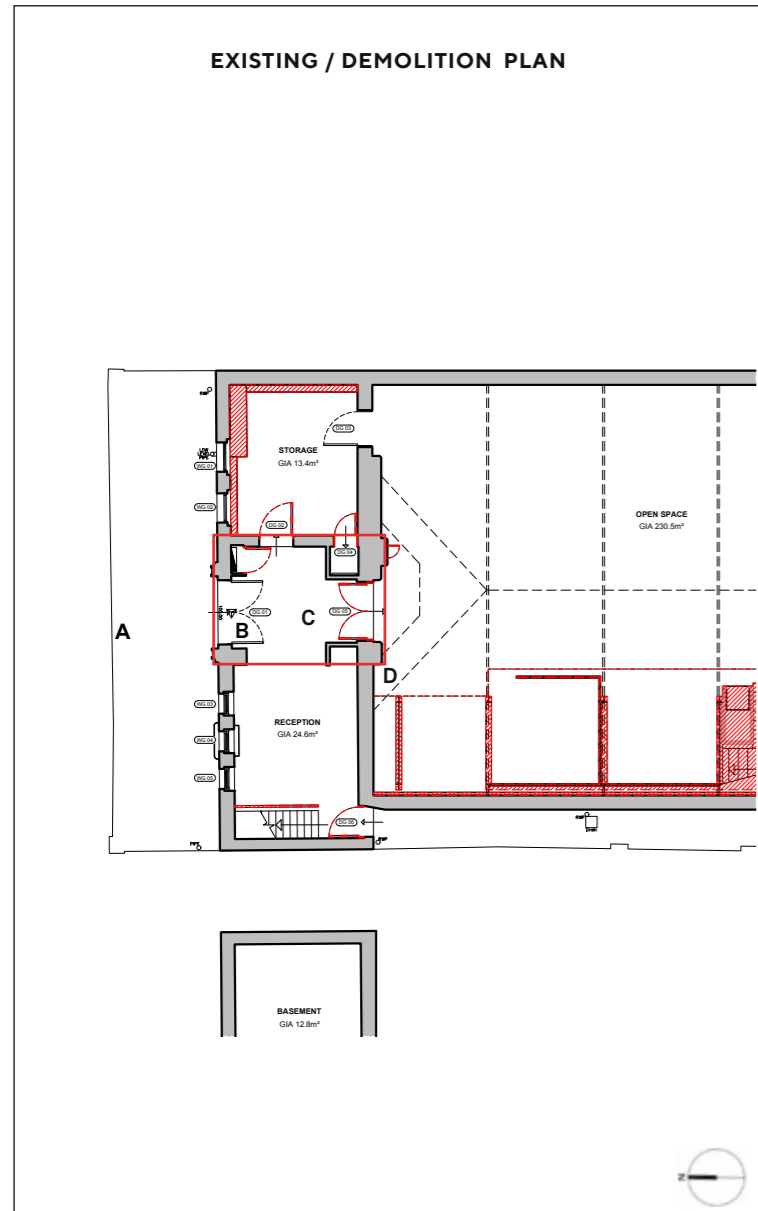
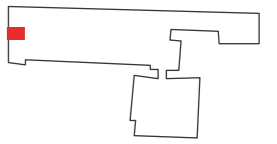
Existing radiators

General Specification Notes

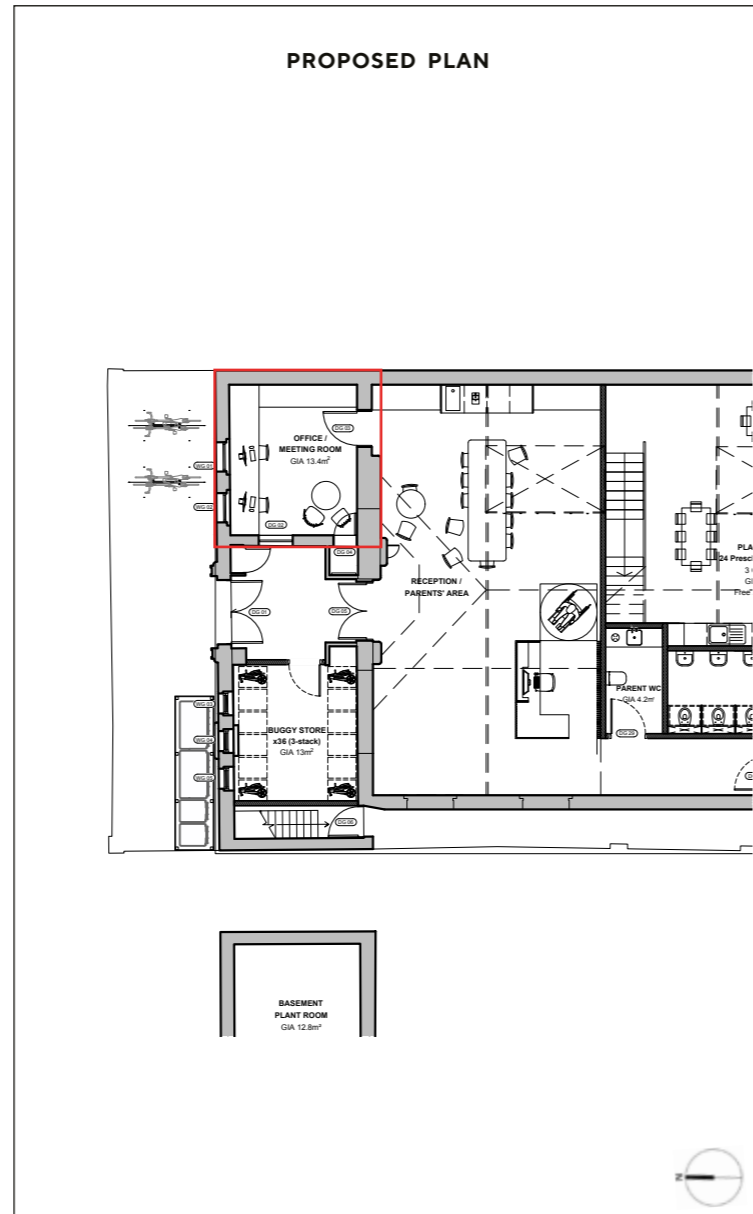
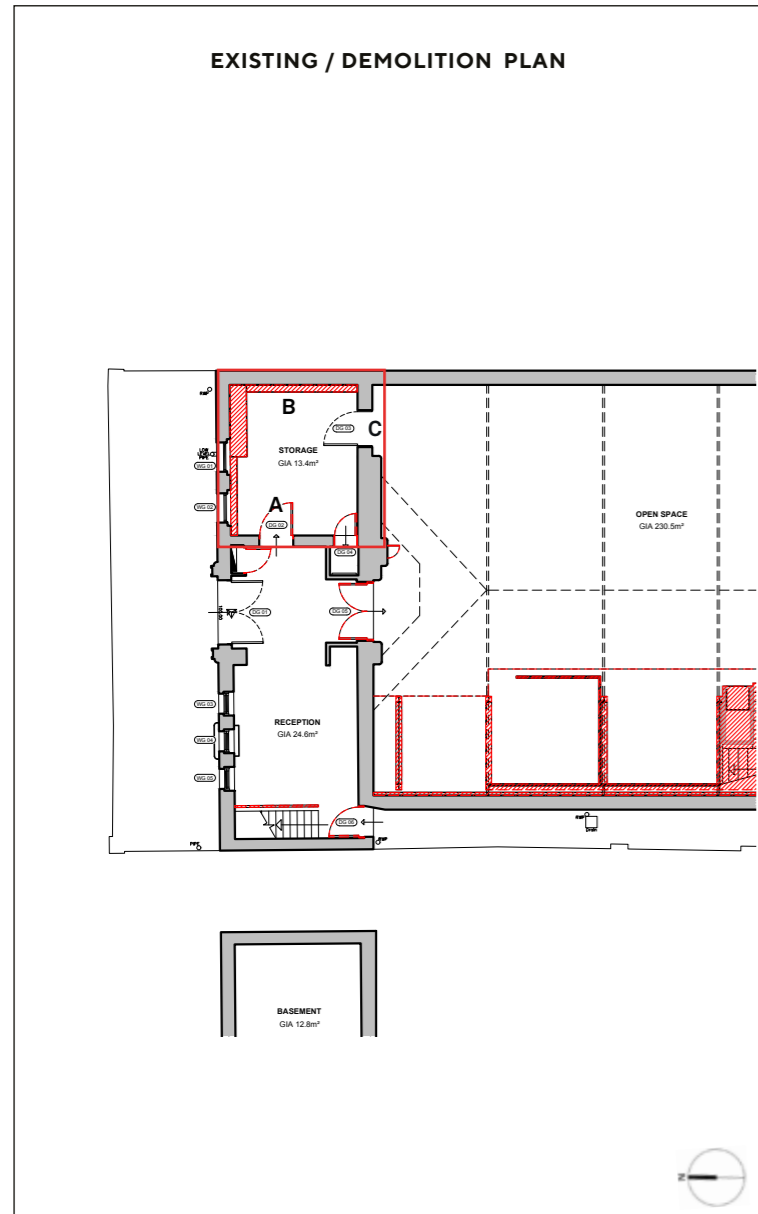
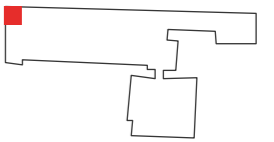
ITEM	DESCRIPTION	PHOTO
<p><b>VINYL FLOOR FINISH</b></p> <p>Used throughout all playrooms, staff rooms and communal areas unless noted otherwise.</p>	<p>Remove all existing floor coverings.</p> <p>Ensure that existing floorboards are in good condition. Lay 6mm plywood on top of floor boards to ensure no movement</p> <p>Or for solid ground floor slab, apply latex screed and Ardex feather finish to ensure level surface for application.</p> <p>Lay Rubber Flooring with F58 Rubber Floorcovering Adhesive</p>	
<p><b>SAFETY VINYL FLOORING</b></p> <p>Used in Kitchen and laundry</p>	<p>Remove all existing floor coverings.</p> <p>Lay 6mm plywood on top floor boards to ensure no movement</p> <p>Or for solid ground floor slab, apply latex screed and Ardex feather finish to ensure level surface for application.</p> <p>Lay Rubber Flooring with F58 Rubber Floorcovering Adhesive</p> <p>Colour: Pigeon / Supplier: Forbo, Sphera Energetic</p>	
<p><b>ACCESS CONTROL PANEL</b></p>	<p>Biometric Access Control Panel to every Education Room on site. These are fixed on the outside wall beside each classroom door, but will not be required on other non-education room doors.</p> <p>Supplier: Supremainc Suprema Bioentry R2</p>	
<p><b>AIR CONDITIONING CASSETTE</b></p>	<p>Wall mounted Air-Conditioning units at high level in classrooms or within roof voids as per M&amp;E proposals.</p> <p>These provide heating and importantly cooling to classrooms, which otherwise overheat in summer when full of active children.</p> <p>Corridor areas will not require cooling, and thus rely solely on radiators.</p>	
<p><b>RADIATORS</b></p>	<p>JAGA Low-surface temperature child-safe radiators. Wall mounted above skirting with pipes running up from below in order to avoid recessing into wall.</p> <p>White painted MDF boxing below with grille to allow airflow but protect children from hot water pipes. Boxing scribed around skirting to allow removal at later date with no damage to skirting.</p>	

ITEM	DESCRIPTION	PHOTO
<p><b>BLINDS</b></p> <p>Fitted to windows in playrooms only.</p>	<p>Manually operated roller blinds with cord on child safety catch. Fitted within reveal of existing window frames.</p> <p>Blackout blind with neutral grey-white finish.</p>	

# GROUND FLOOR



NOTES	
<b>STRUCTURE</b>	All existing structure to remain.
<b>WALLS</b>	All partitions to remain.
<b>WINDOWS</b>	None existing or proposed
<b>PERIOD DETAILS</b>	All details to be retained.
<b>JOINERY, FIXTURES</b>	To be retained.
<b>FLOOR</b>	Existing barrier matting to be removed and replaced with new matting.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-

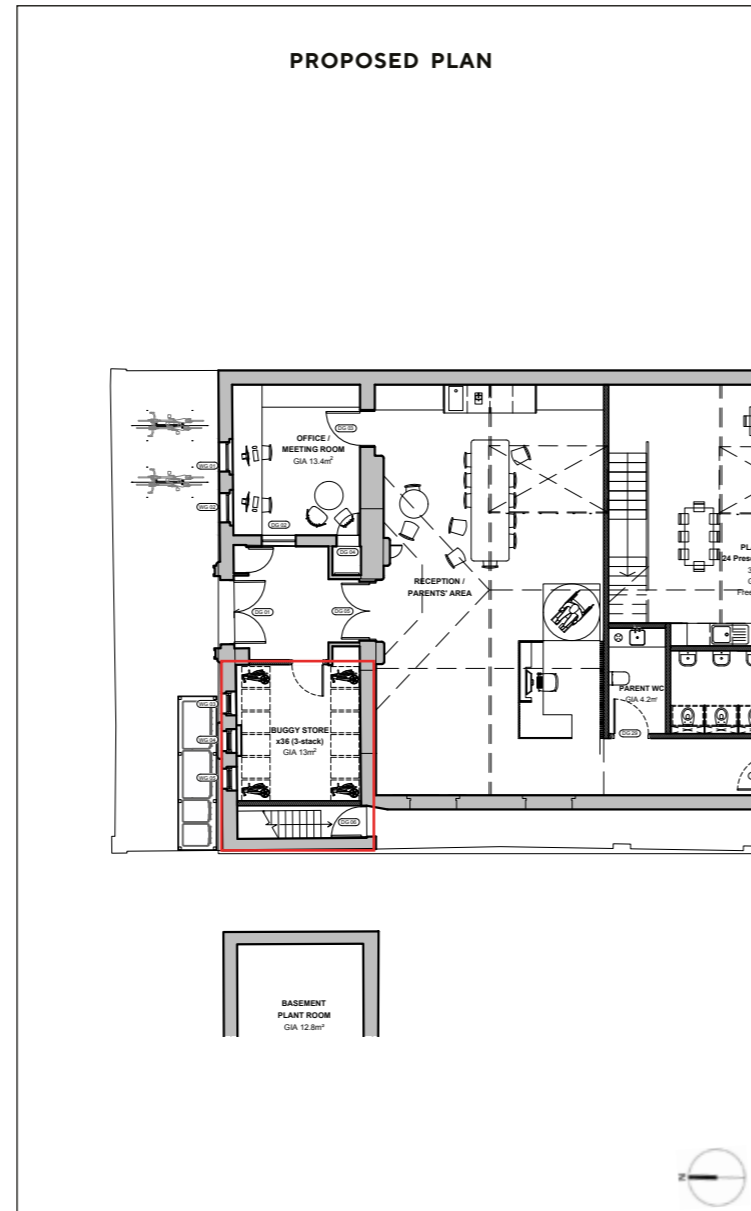
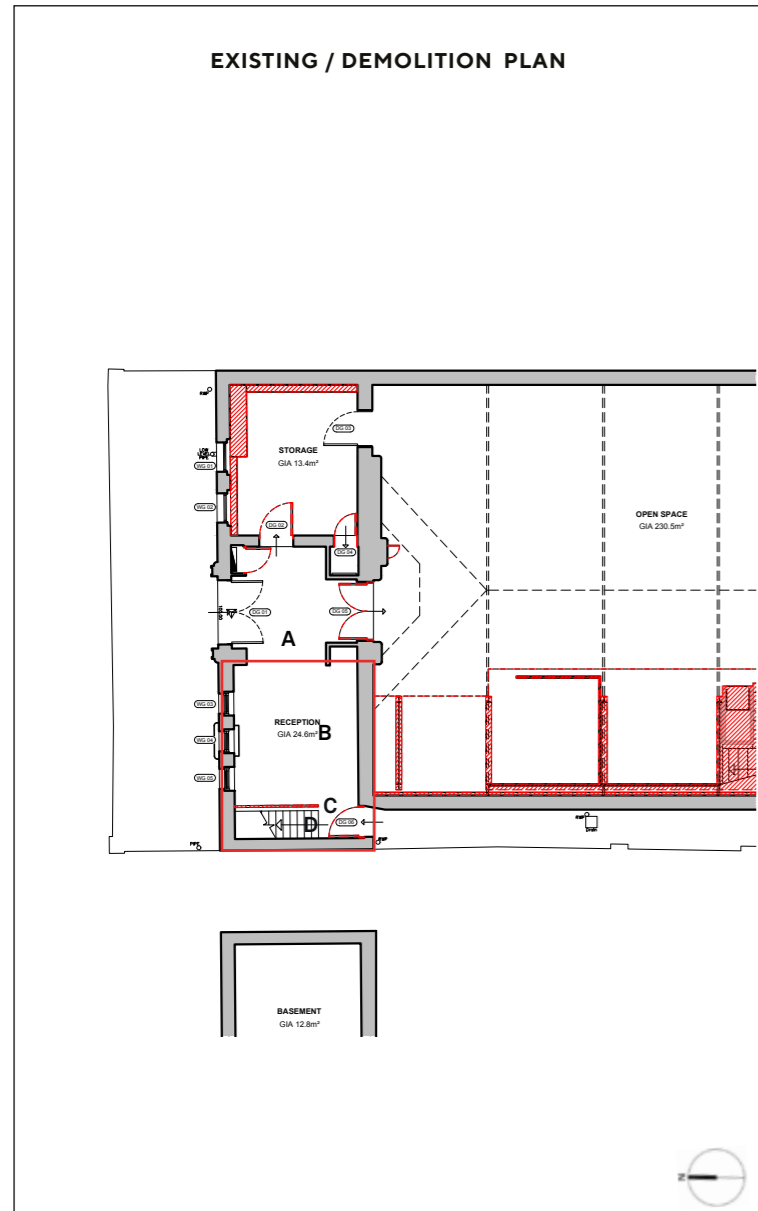
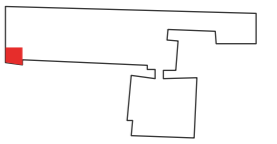


<b>NOTES</b>	
<b>STRUCTURE</b>	No changes proposed
<b>WALLS</b>	No changes proposed
<b>WINDOWS</b>	Windows to be retained and refurbished. Secondary glazing added to improve thermal performance of building. Any security bars to be removed.
<b>PERIOD DETAILS</b>	Historic skirting and corning retained wherever possible. Any new skirting and corning to match existing as closely as possible.
<b>JOINERY, FIXTURES</b>	Boxing-in below window to be removed. Freestanding office desks and storage added.
<b>FLOOR</b>	Vinyl flooring proposed as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-

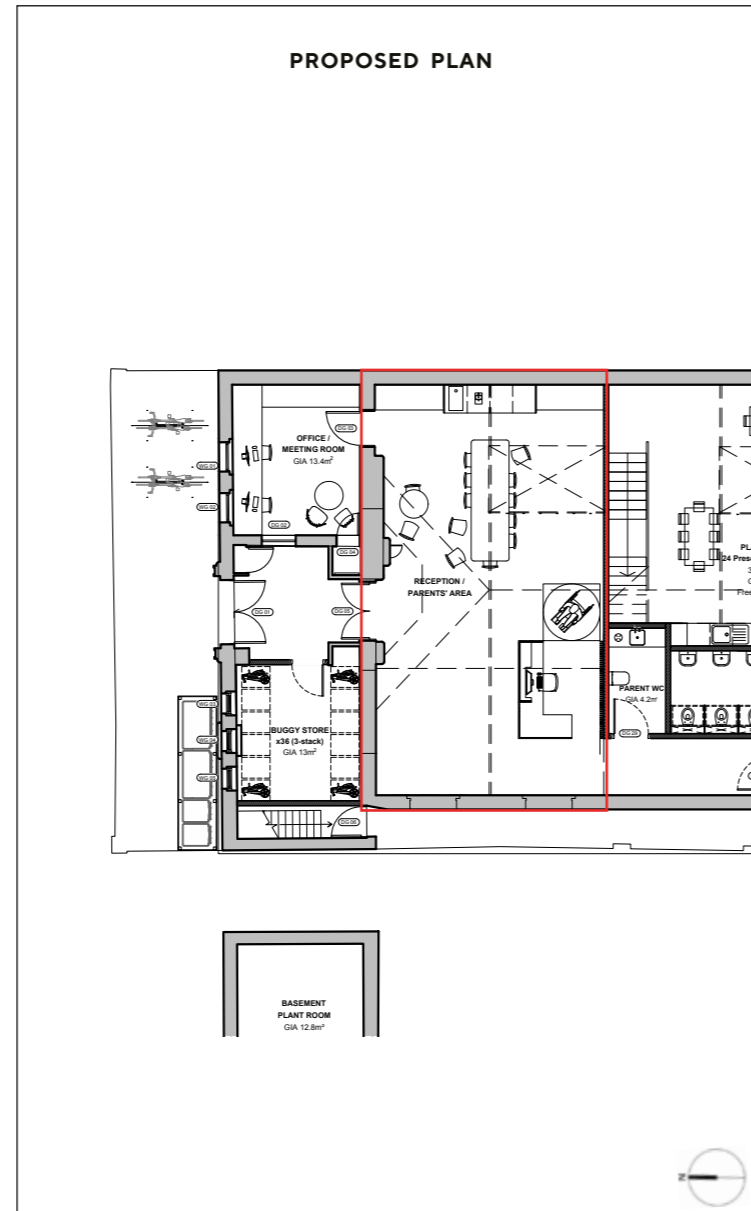
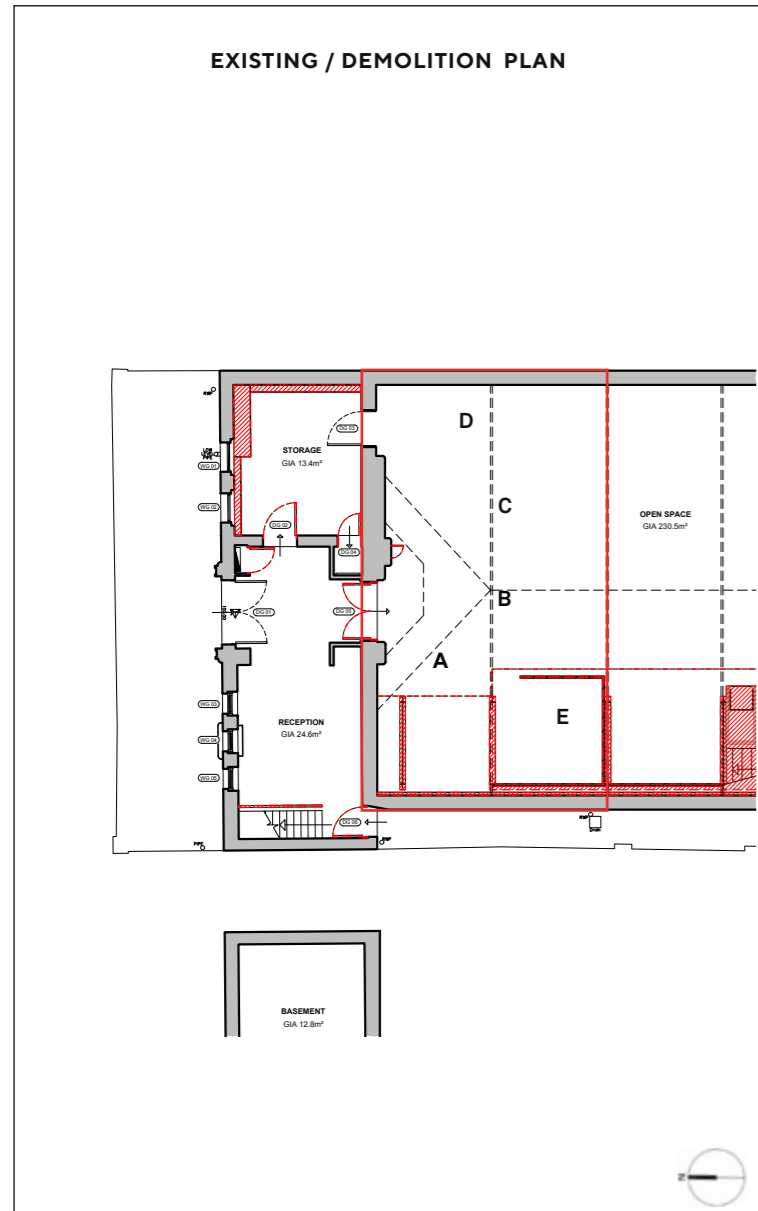
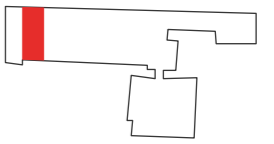


Ground Floor: Buggy Store

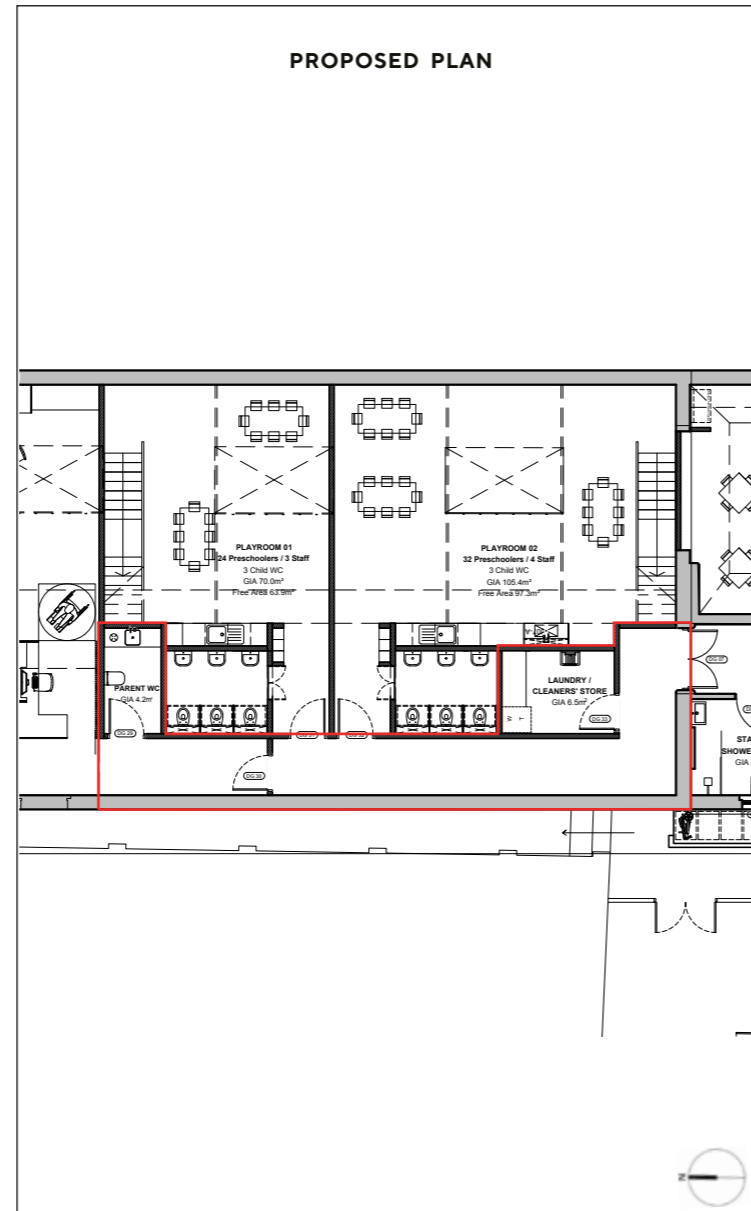
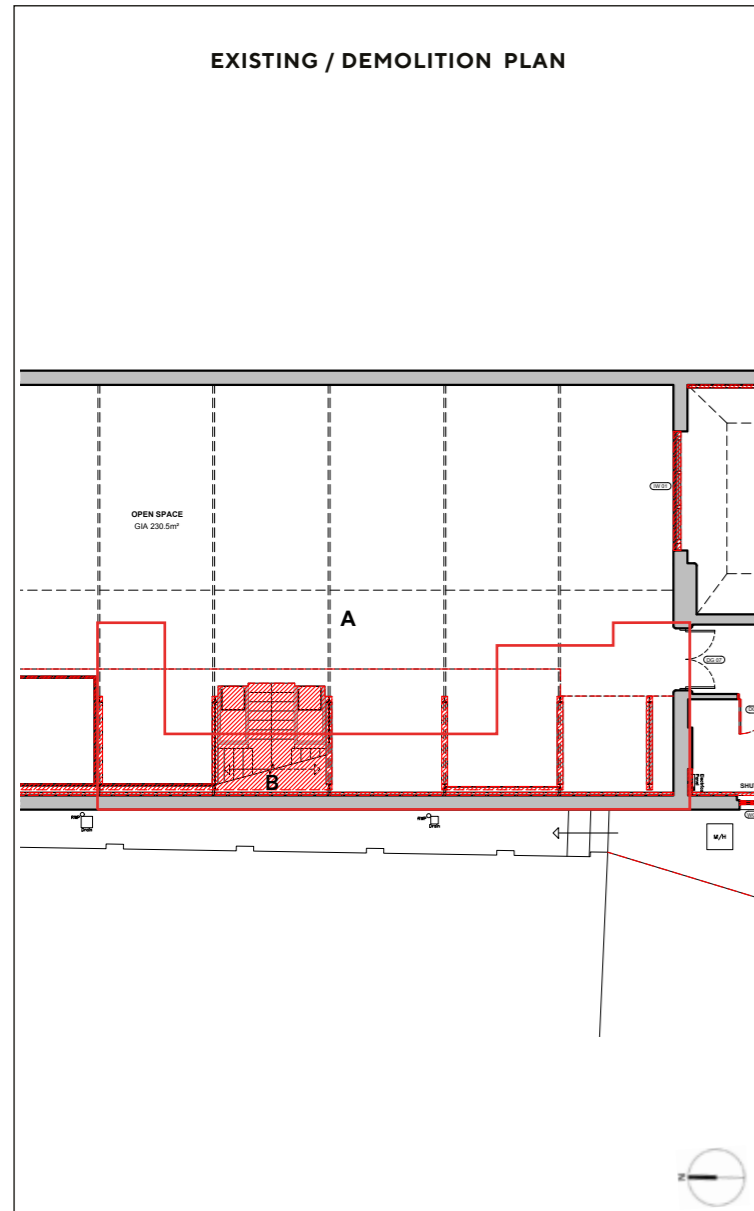
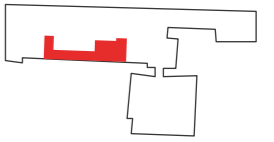
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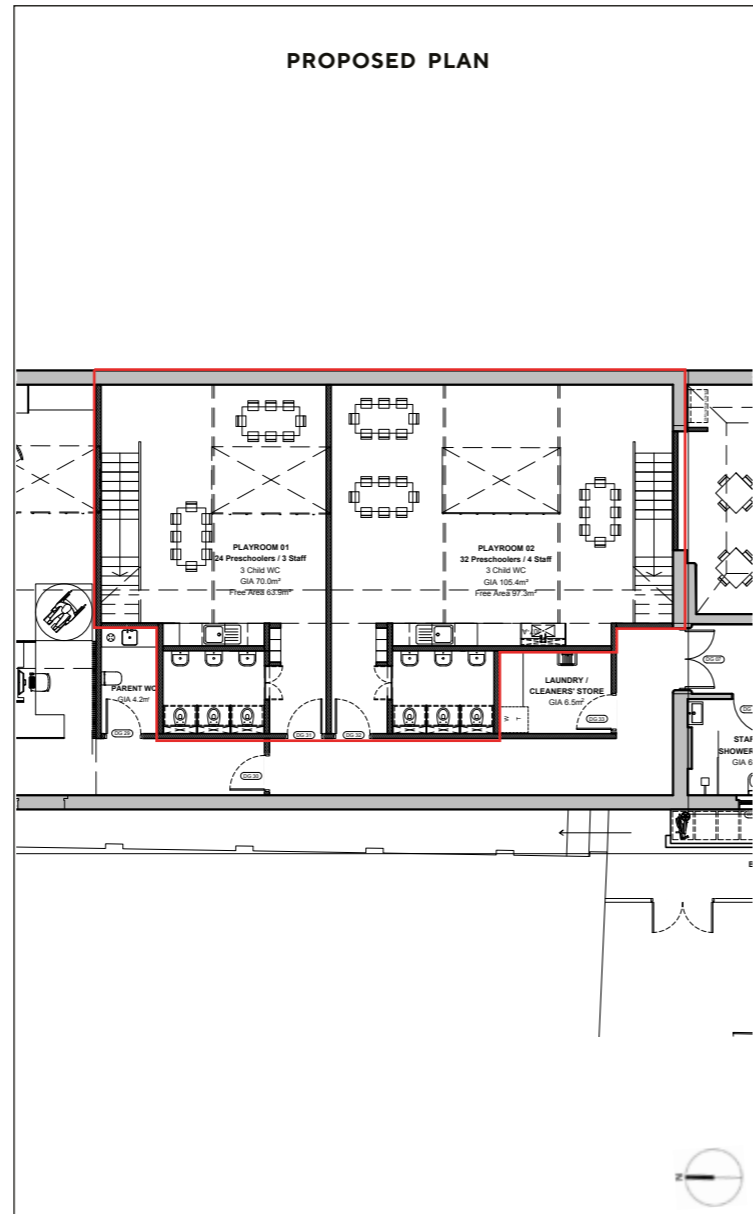
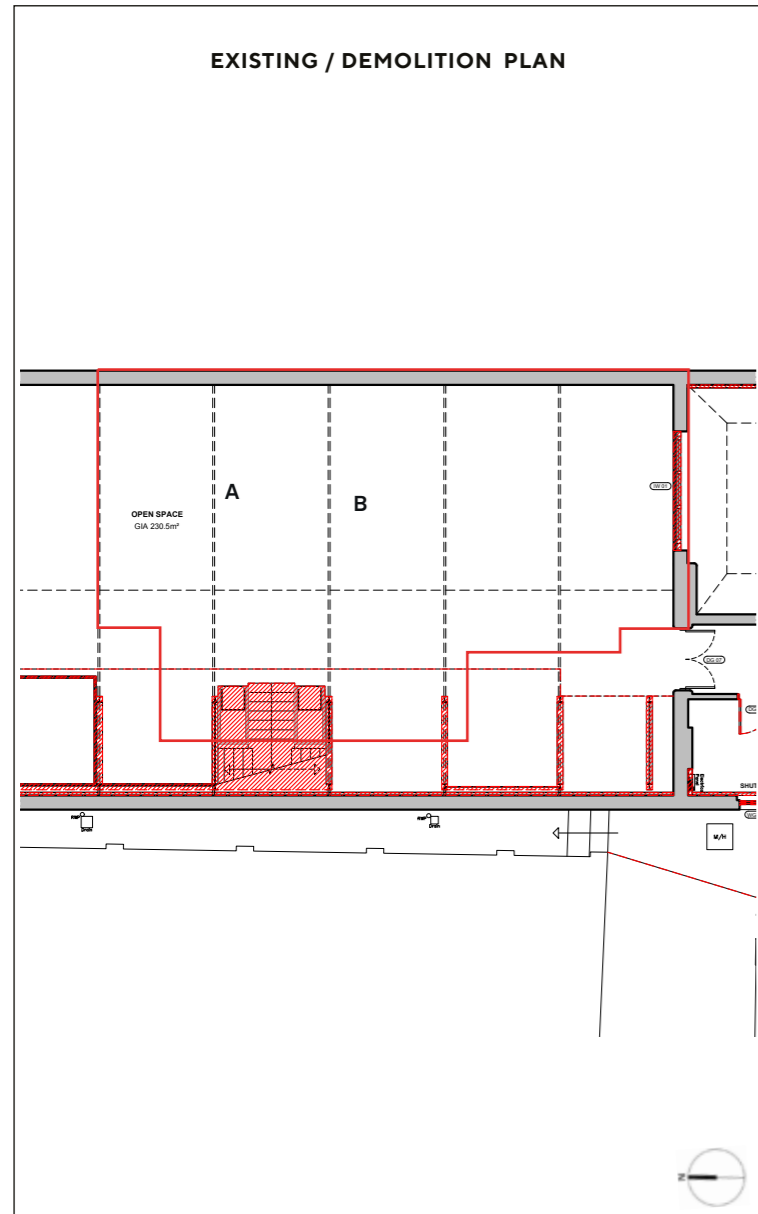
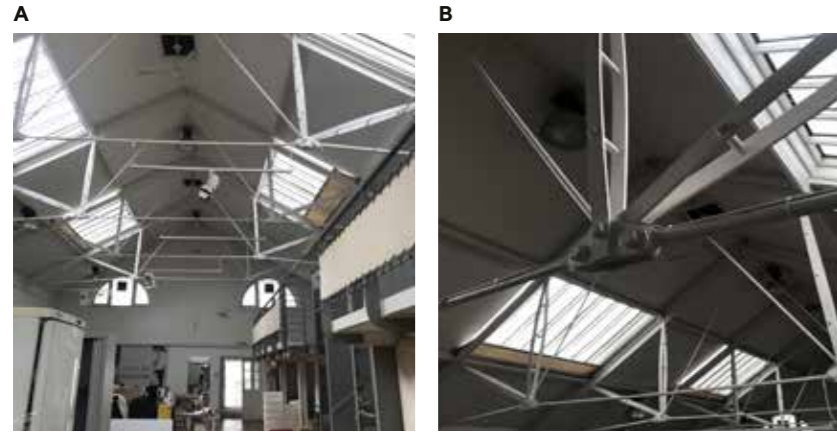
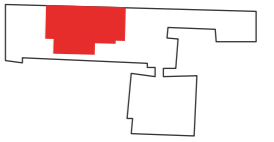
NOTES	
<b>STRUCTURE</b>	All existing structure to remain.
<b>WALLS</b>	3/4 height partition adjacent to stair to be removed. New fire-rated, full height partition to be added in its place. New fire-rated partition to separate store from entrance lobby.
<b>WINDOWS</b>	Windows to be retained and refurbished. Secondary glazing added to improve thermal performance of building. Any security bars to be removed.
<b>PERIOD DETAILS</b>	All details to be retained.
<b>JOINERY, FIXTURES</b>	Buggy / scooter storage shelving racks to be installed.
<b>FLOOR</b>	Vinyl flooring proposed as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-



NOTES	
<b>STRUCTURE</b>	Mezzanine structure to be removed. Look-out structure and ladder access retained.
<b>WALLS</b>	New full-height partition to separate reception area from Playroom 01 and Parent WC. Glazed section at top of partition to provide views through to trusses and ceiling details. Partition to be erected with no physical harm to the building and be completely removable in the future. Partition set behind truss to retain view of truss.
<b>WINDOWS</b>	Secondary glazing to windows to improve thermal performance of building.
<b>PERIOD DETAILS</b>	Historic skirting and corning retained wherever possible. Any new skirting and corning to match existing as closely as possible.
<b>JOINERY, FIXTURES</b>	Cubbies removed. Freestanding reception desk, breakfast bar and storage added.
<b>FLOOR</b>	Vinyl flooring proposed as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-



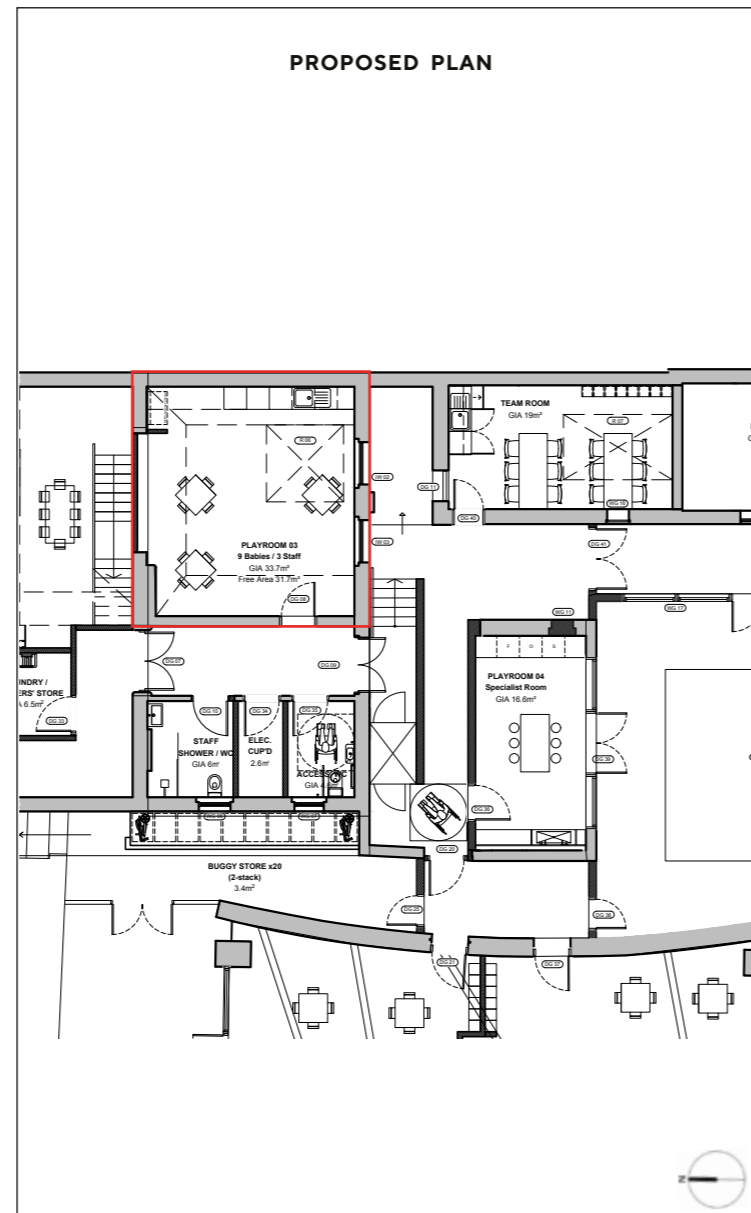
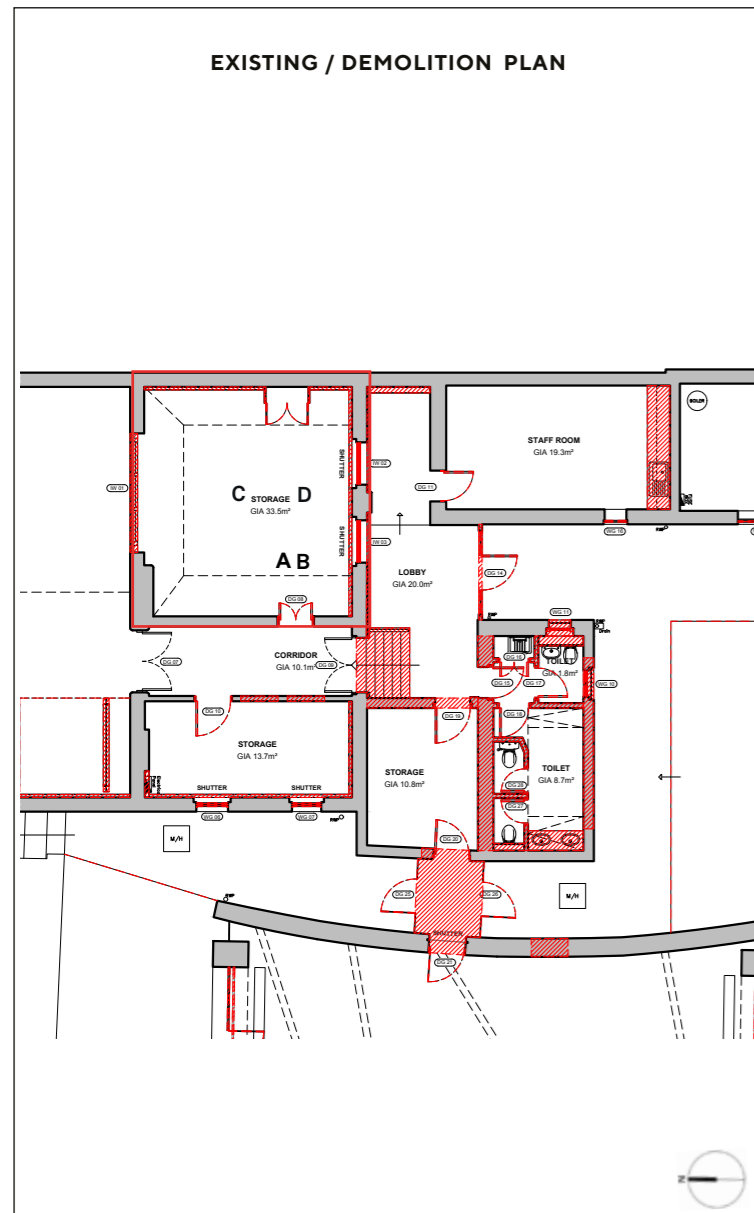
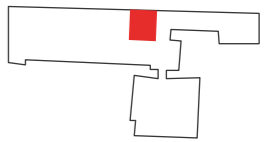
NOTES	
<b>STRUCTURE</b>	Mezzanine structure and access stair to be removed.
<b>WALLS</b>	New full-height partition to separate Playroom 01 and Playroom 02. Partition to be erected with no physical harm to the building and be completely removable in the future. Partition set behind truss to retain view of truss. New partitions to create corridor, parent WC and laundry / cleaners' store.
<b>WINDOWS</b>	Secondary glazing to windows to improve thermal performance of building
<b>PERIOD DETAILS</b>	Historic skirting and cornicing retained wherever possible. Any new skirting and cornicing to match existing as closely as possible.
<b>JOINERY, FIXTURES</b>	WC, basin and vanity unit to Parents' WC. Cleaner's sink, washing machine and tumble-dryer to laundry
<b>FLOOR</b>	Existing finishes removed and replaced with vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-



**NOTES**

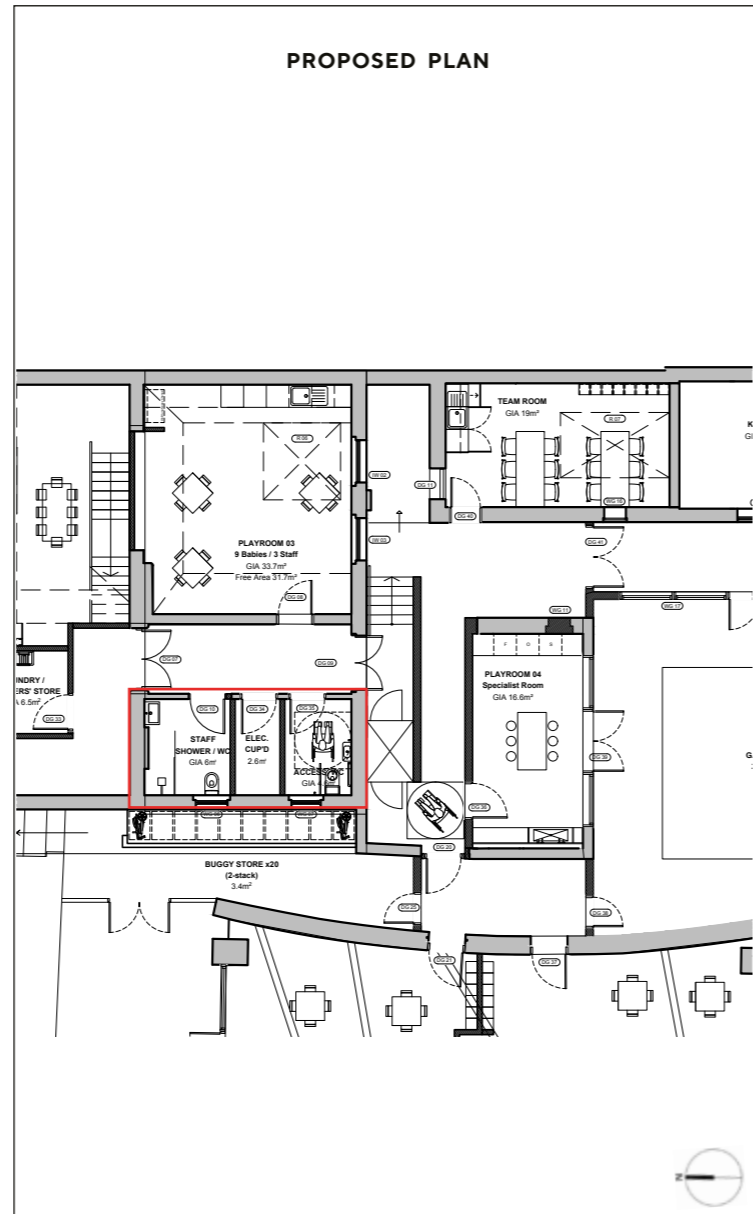
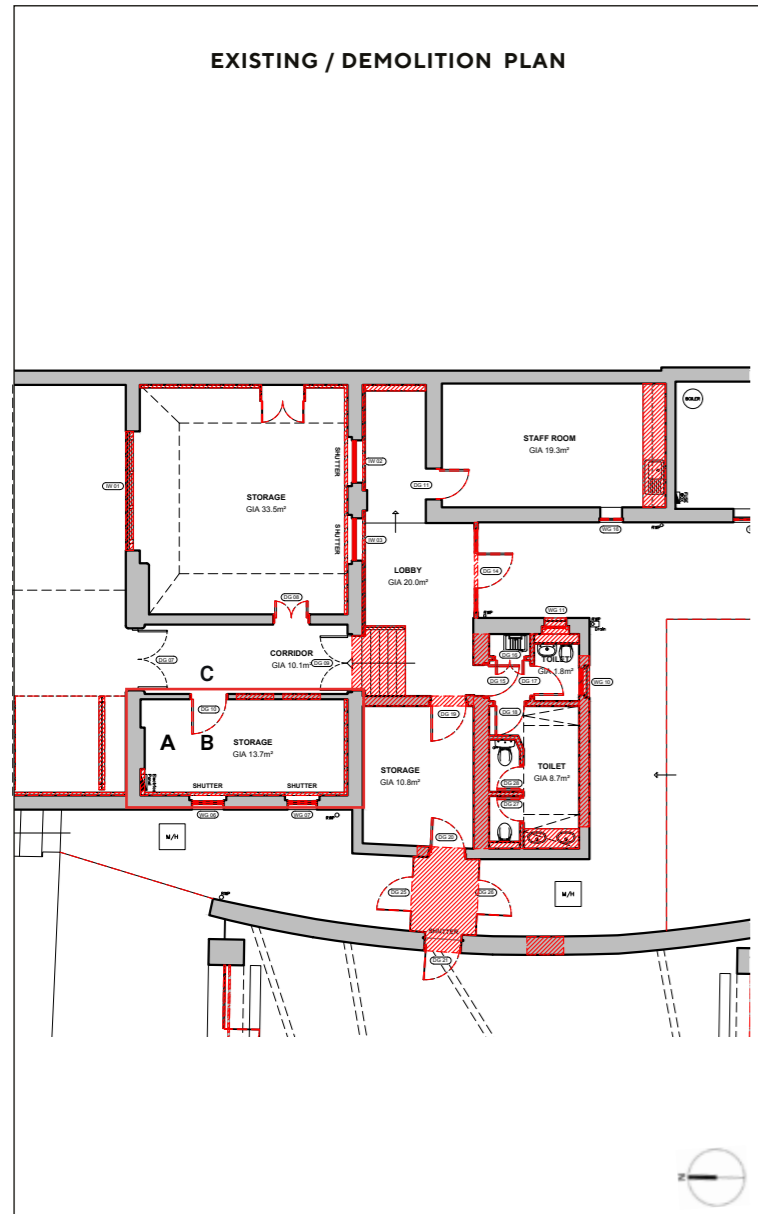
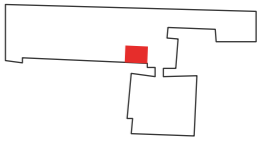
<b>STRUCTURE</b>	Existing mezzanines and access stairs removed. New mezzanines and stairs (with child and adult-height handrails) to playrooms. Existing roof trusses retained.
<b>WALLS</b>	Addition of full-height partitions to create playrooms and children's WCs. Partitions set behind truss to retain view of truss.
<b>WINDOWS</b>	New double-glazed opening rooflights to match style and size of existing. Roller blinds added as per general specification note. Secondary glazing to existing high level windows to improve thermal performance of building.
<b>PERIOD DETAILS</b>	Historic skirting and cornicing retained where present. Any new skirting and cornicing to match existing as closely as possible.
<b>JOINERY, FIXTURES</b>	Joinery run including kitchenettes and washbasins. New child WCs.
<b>FLOOR</b>	Existing finishes removed and replaced with vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-



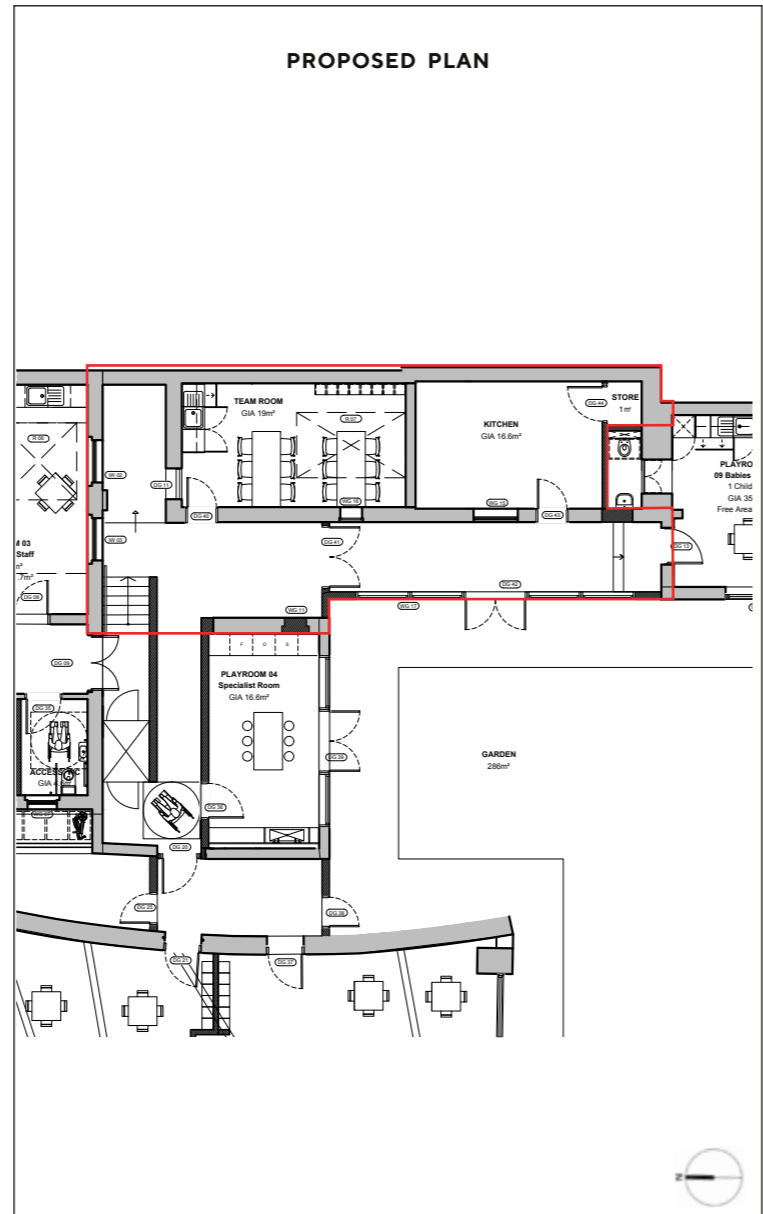
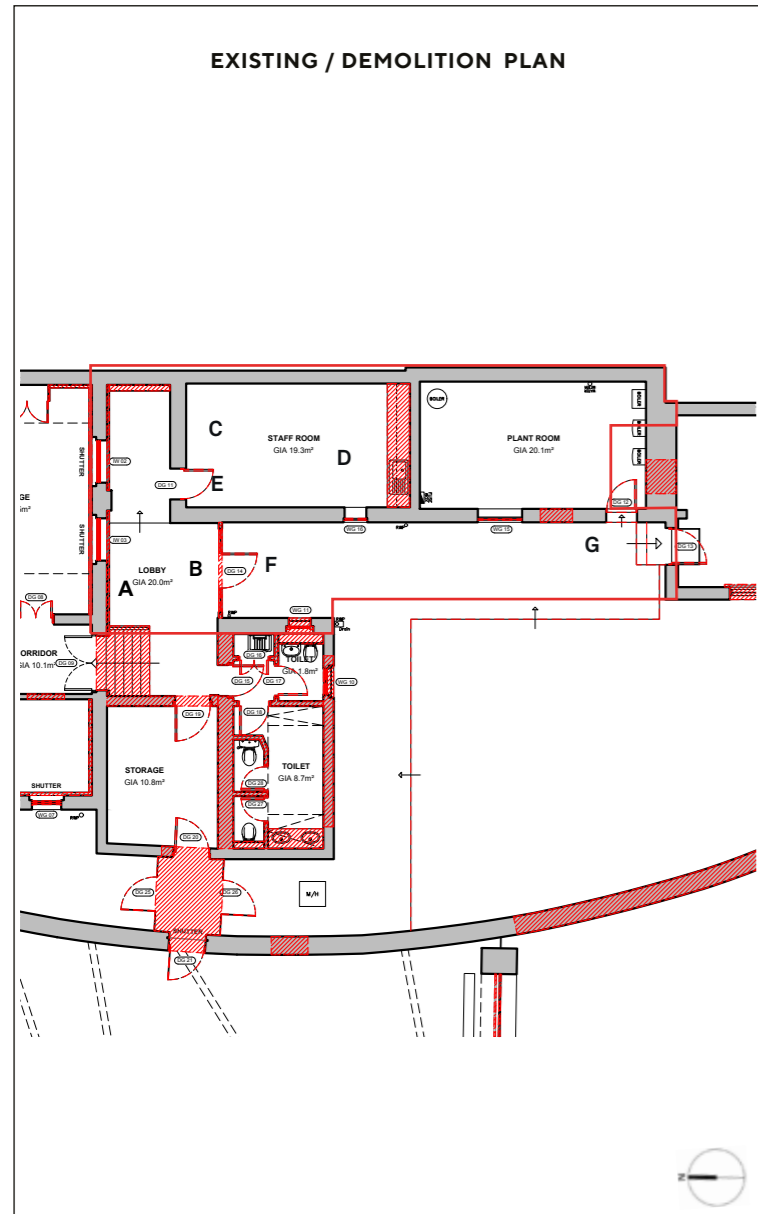
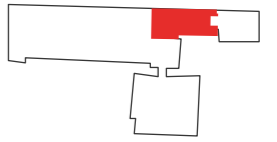


NOTES	
<b>STRUCTURE</b>	No changes proposed.
<b>WALLS</b>	New partition to replace existing glazed partition (C.) New low level partition to screen nappy change unit.
<b>WINDOWS</b>	Existing internal windows retained with shutters removed. New opening, double-glazed rooflight. New blinds as per general specification.
<b>PERIOD DETAILS</b>	Historic skirting and cornicing retained.
<b>JOINERY, FIXTURES</b>	Joinery run including kitchenette and washbasin to be added. Wall mounted nappy change.
<b>FLOOR</b>	Existing finishes removed and replaced with vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-





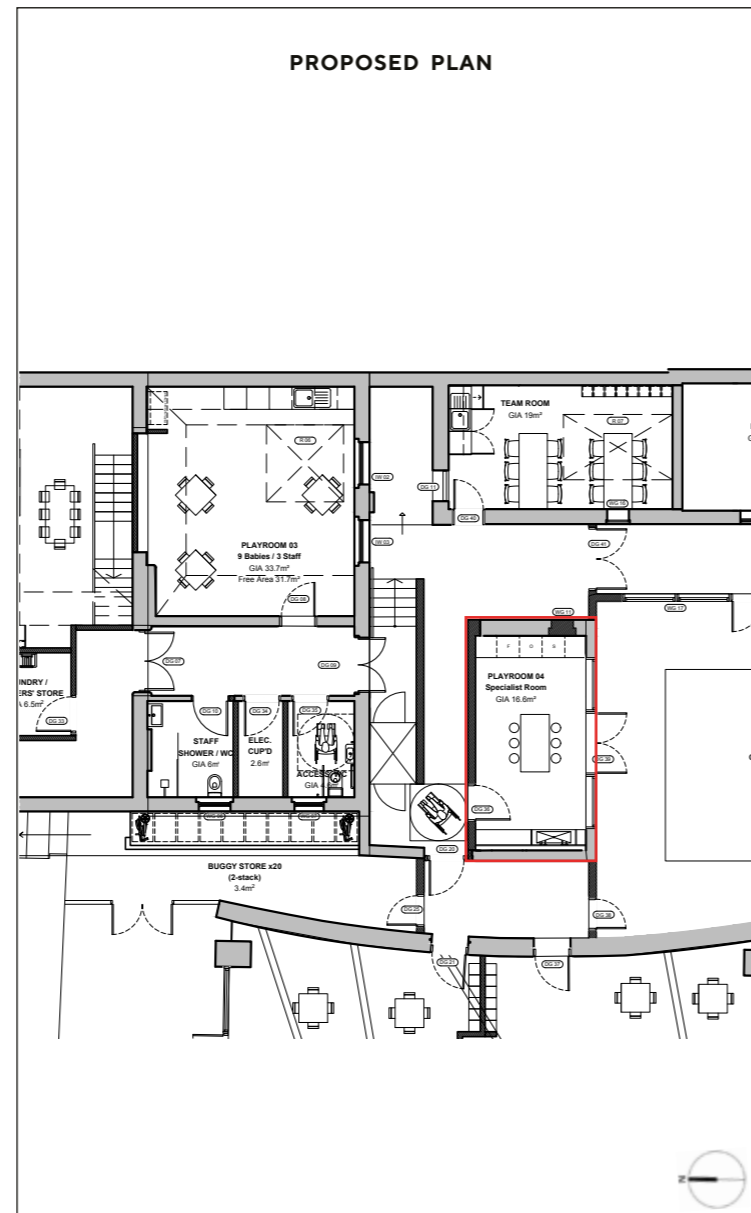
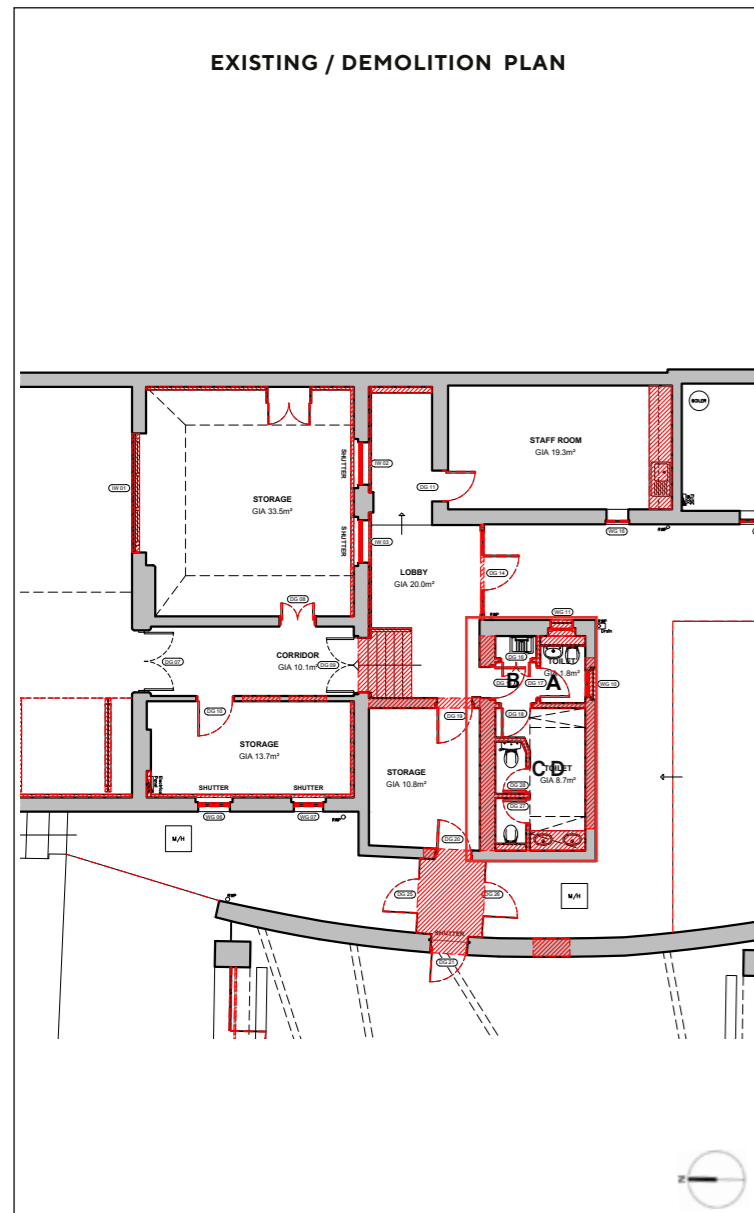
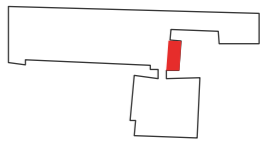
NOTES	
<b>STRUCTURE</b>	Two new openings for new doors in existing wall.
<b>WALLS</b>	New partitions to separate staff shower / WC, store and accessible WC. Tiling to WCs as per general specification note.
<b>WINDOWS</b>	Windows to be replaced with double-glazed, clear units in style to match existing. Security bars to be removed. Privacy film applied internally.
<b>PERIOD DETAILS</b>	New skirting to match existing where required.
<b>JOINERY, FIXTURES</b>	WC, shower and washbasin to staff shower room. WC, washbasin and Doc M rails to accessible WC
<b>FLOOR</b>	Existing floor finishes removed. Anti-slip safety vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-



NOTES	
<b>STRUCTURE</b>	Existing stairs removed. New stair and platform lift proposed to corridor. Extension proposed to create enclosed corridor. New steps to Playroom 04 within corridor.
<b>WALLS</b>	Wall adjacent to existing stair to be removed. Glass brick wall to be removed. New external masonry wall proposed to create corridor to Playroom 04, with windows and double doors to garden.
<b>WINDOWS</b>	Existing rooflight to team room to be removed and replaced with solid ceiling. New double-glazed opening rooflight to team room. Privacy film applied to window to team room. Window to new kitchen retained. Glazed roof to be replaced with double-glazed roof to match existing.
<b>PERIOD DETAILS</b>	New skirting, where required, to match existing as closely as possible.
<b>JOINERY, FIXTURES</b>	Existing kitchenette to be removed. New kitchenette to team room. New platform lift to corridor.
<b>FLOOR</b>	Existing finishes removed and replaced with vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-

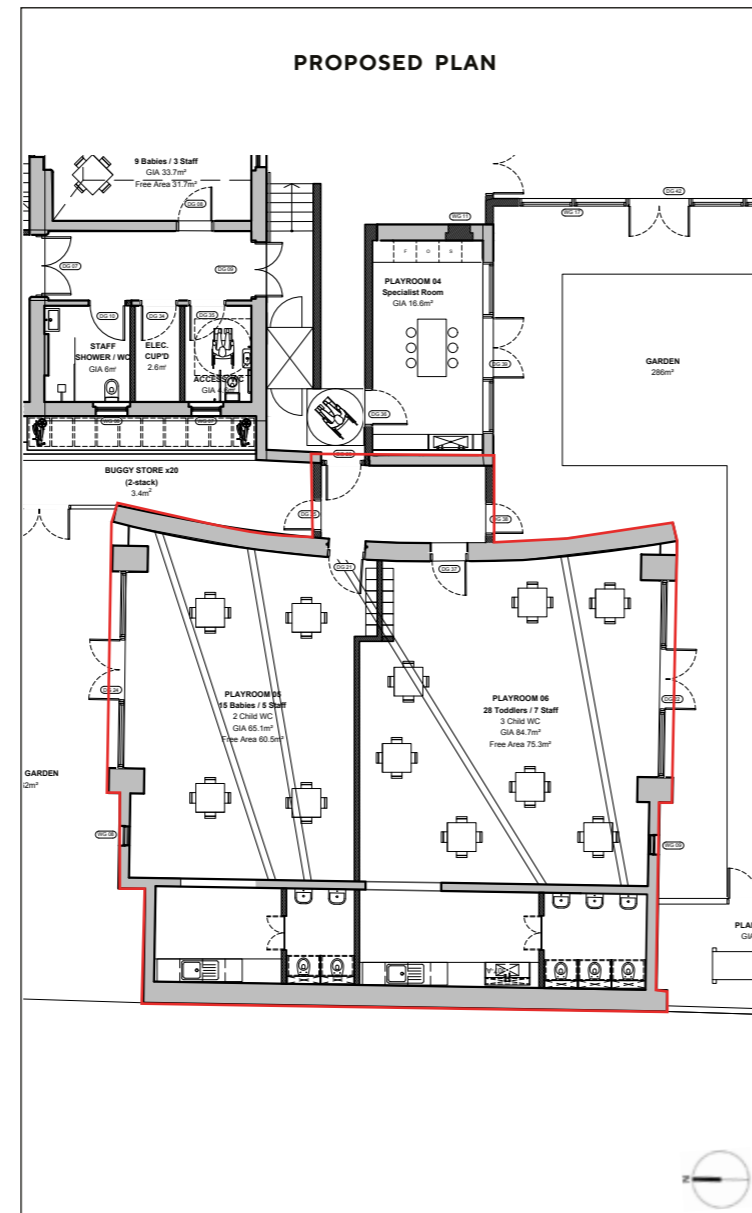
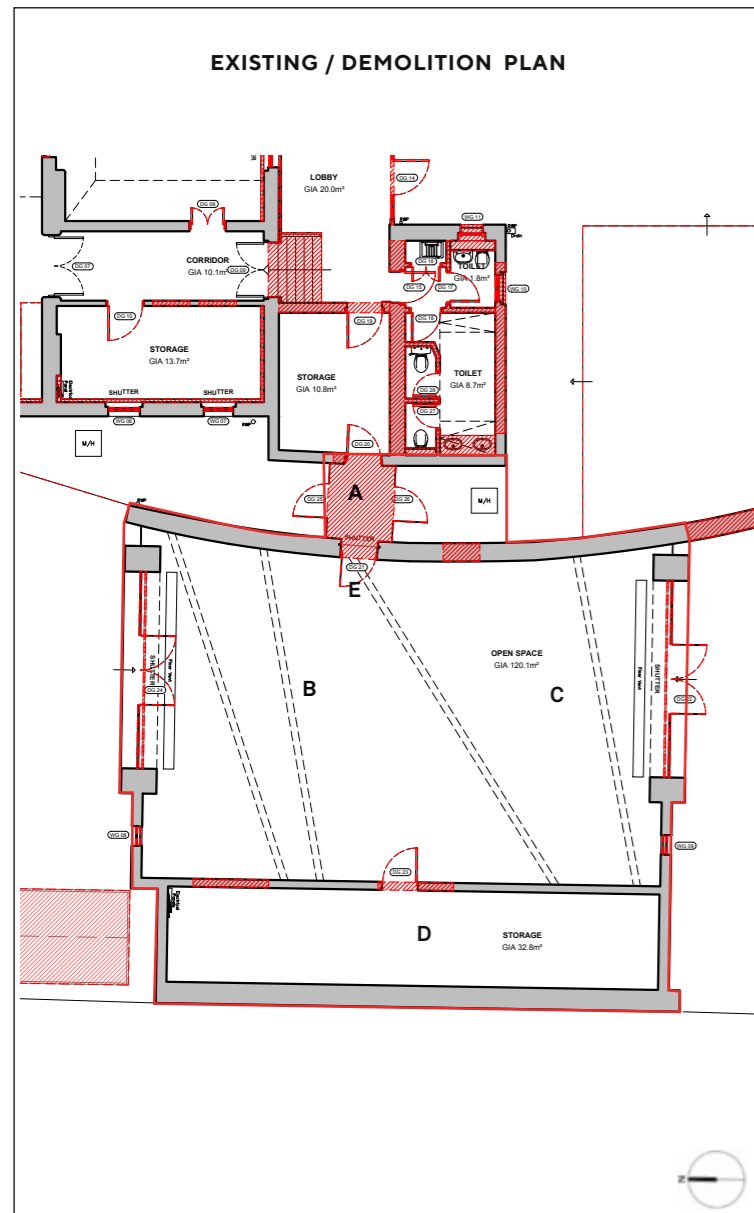
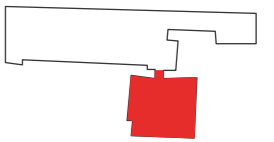
Ground Floor: Playroom 04 (Specialist Room)

KEY

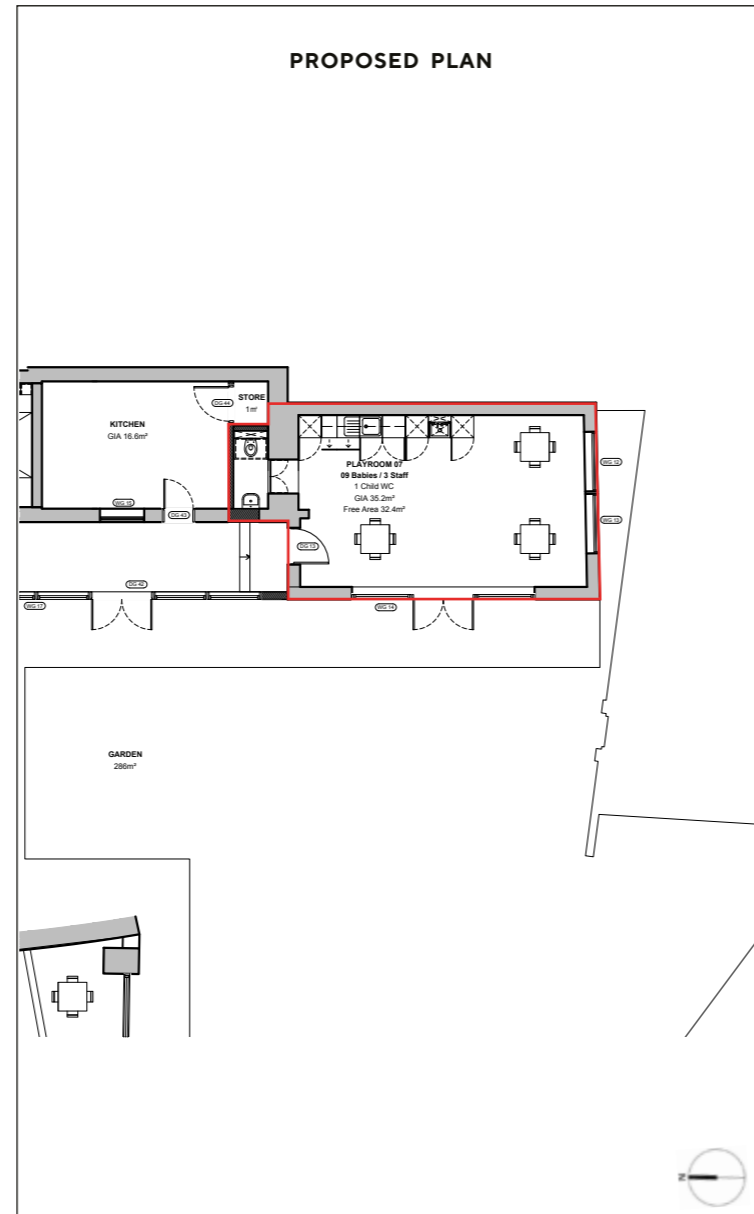
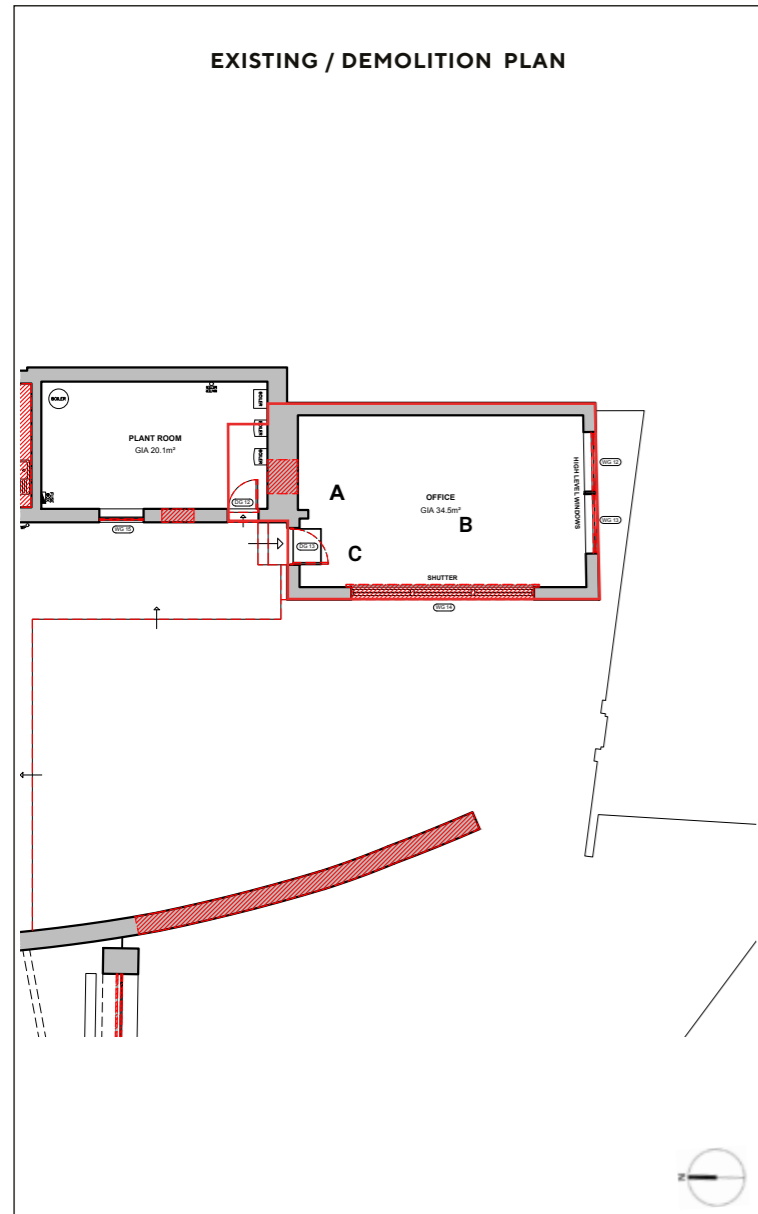
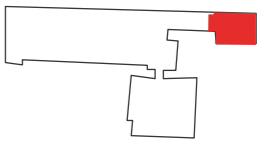


NOTES	
<b>STRUCTURE</b>	No changes proposed
<b>WALLS</b>	Northern wall replaced with internal partition. Removal of toilet and store partitions within room. New opening for glazing and double doors to garden.
<b>WINDOWS</b>	Eastern window blocked up. Southern window removed (new glazing to this wall.) Dormer windows at high level replaced with clear, double-glazed windows to match existing.
<b>PERIOD DETAILS</b>	None
<b>JOINERY, FIXTURES</b>	Panelling removed. New kitchenette, washbasin and storage.
<b>FLOOR</b>	Vinyl flooring proposed as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-





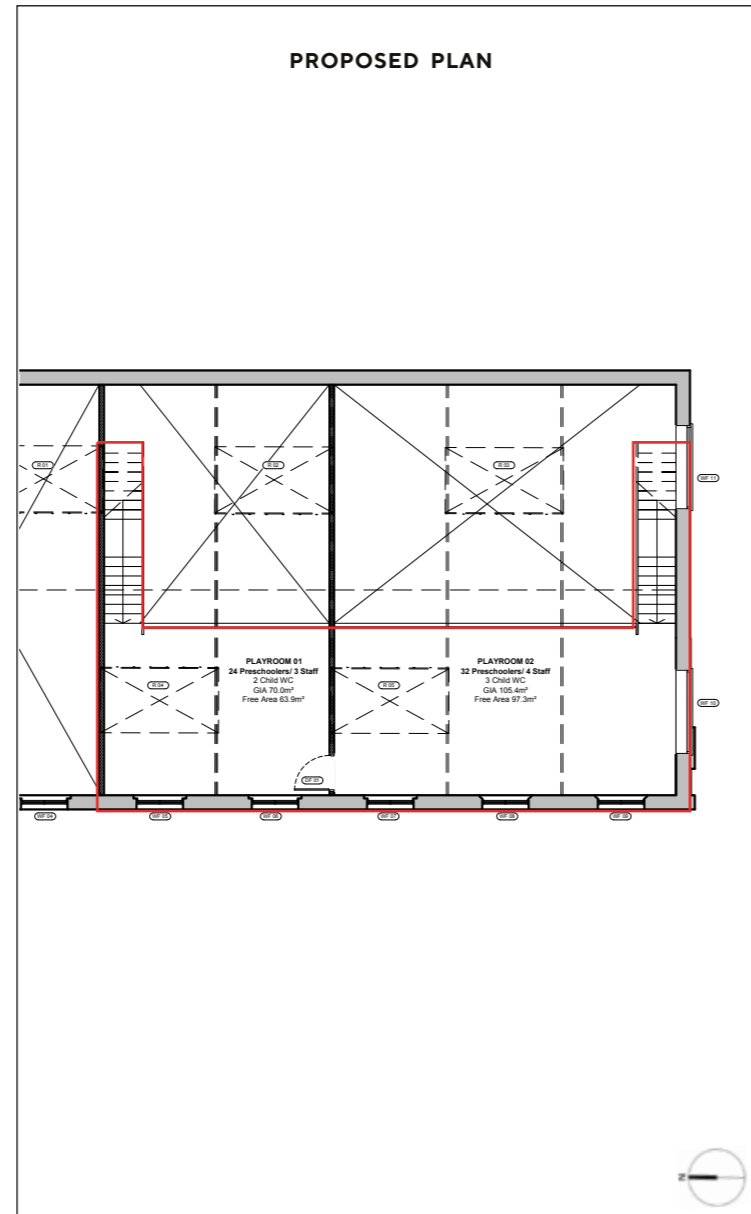
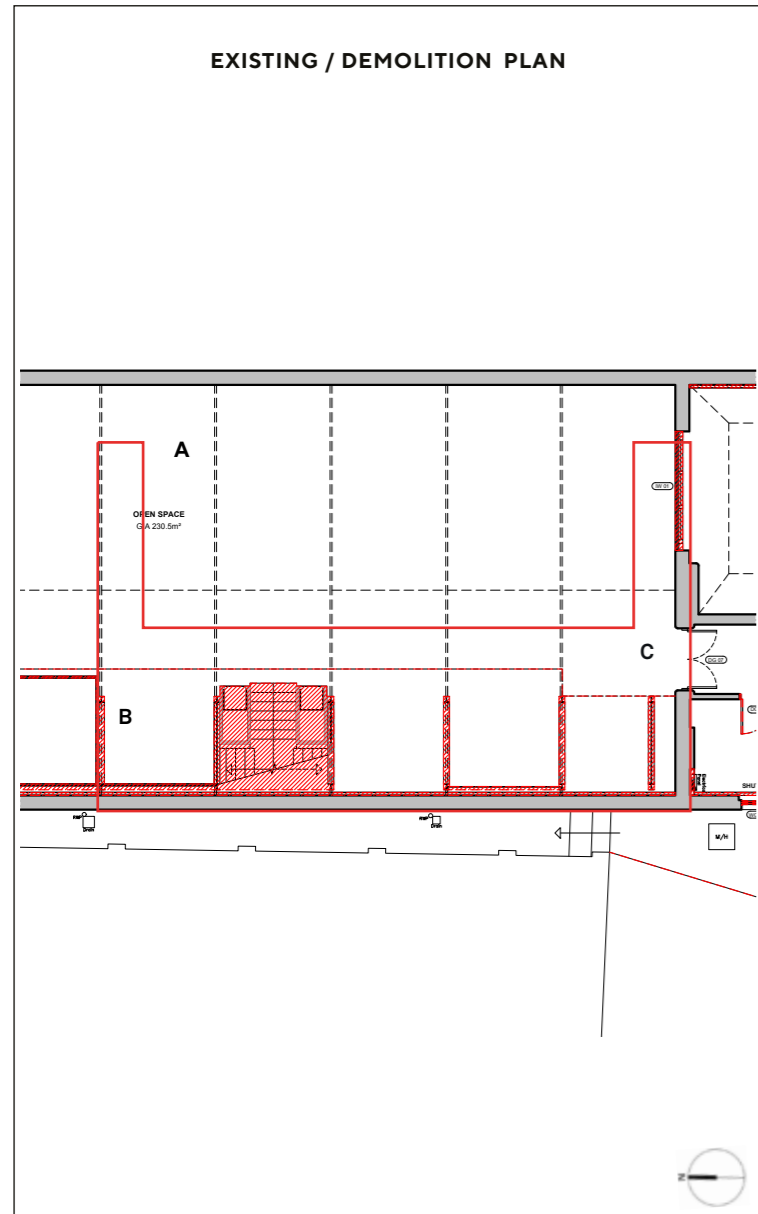
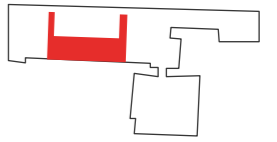
NOTES	
<b>STRUCTURE</b>	Existing glazed link removed. New link corridor proposed with doors either side to garden. New opening for door into Playroom 06. New opening into kitchenette for Playroom 05. Enlarged opening into kitchenette for Playroom 06.
<b>WALLS</b>	New partition between Playroom 05 and Playroom 06. New partitions to enclose child WCs.
<b>WINDOWS</b>	Existing glazing and doors to Playroom 05 and Playroom 06 to be replaced with new double-glazed units and doors.
<b>PERIOD DETAILS</b>	None
<b>JOINERY, FIXTURES</b>	Joinery run including kitchenettes and washbasins added along western wall. New child WCs to each playroom.
<b>FLOOR</b>	Existing floor finishes removed. New vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-



NOTES	
<b>STRUCTURE</b>	New structural opening to form doorway to child WC.
<b>WALLS</b>	Existing glazing and shutter removed and replaced with double-glazed units and double doors to garden.
<b>WINDOWS</b>	High level windows replaced with double glazed units.
<b>PERIOD DETAILS</b>	None
<b>JOINERY, FIXTURES</b>	Joinery run including kitchenette and washbasin added along eastern wall.
<b>FLOOR</b>	Existing floor finishes removed. New vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Surface mounted lighting and radiators removed. Refer to general services statement.
<b>OTHER</b>	-



# MEZZANINE



<b>NOTES</b>	
<b>STRUCTURE</b>	Existing mezzanines and stairs removed. New mezzanines and stairs to Playroom 01 and Playroom 02
<b>WALLS</b>	New joinery wall (height to align with cill of high level arched windows) as balustrade to mezzanines
<b>WINDOWS</b>	Secondary glazing to high level windows to improve thermal performance of building. Rooflights to be replaced with fixed, double-glazed units.
<b>PERIOD DETAILS</b>	Roof trusses retained
<b>JOINERY, FIXTURES</b>	Child and adult-height handrails to new stairs
<b>FLOOR</b>	Vinyl flooring as per general specification note.
<b>CEILINGS</b>	No changes proposed.
<b>DOORS</b>	Refer to accompanying door schedule.
<b>SERVICES</b>	Refer to general services statement.
<b>OTHER</b>	-

**n.  
family  
club**

**PREPARED BY**

**KENNEDY  
WOODS**

STUDIO

Unit B3.2, Bussey Building  
133 Copeland Road,  
Peckham, London, SE15 3SN

ENQUIRIES

0207 993 8205  
[hello@kennedywoods.co.uk](mailto:hello@kennedywoods.co.uk)