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6th January 2021

Dear Sophie Woodruff

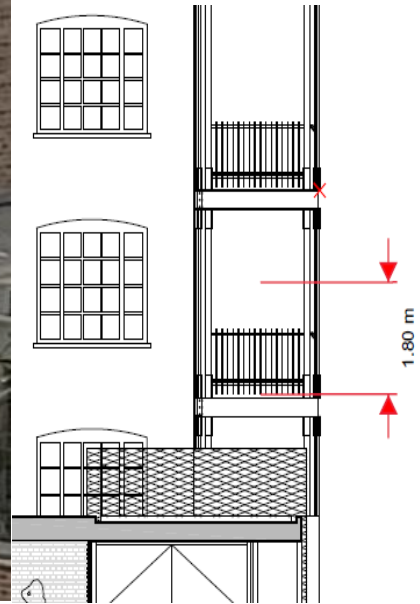
Site Address: 10a and 12 Belmont Street and Flat 5, 10 Belmont Street, London, NW1 8HH
Appeal Ref: APP/X5210/W/21/3282158

Thank you for your letter dated 29 December 2021 enclosing the local Planning Authority's (LPA's) statement to the above appeal.

In summary, a rebuttal to the LPA statement is largely provided in the appellant's appeal statement.

However, the appellant wishes to raise a further comment on the LPA's statement with regard to the bottom of page 8 and top of page 9. The LPA consider that '*the eye level on the balcony is above the party wall between the properties*'. The appellant considers that this is not the case as indicated in the extract below (taken from application 2019/1107/P for the terraces granted at 10 Belmont Street).

As can be seen below, the height between the balcony floor level and the surrounding brickwall to the proposed roof terrace is approximately 1.8m high. As such, the appellant maintains the position that the balcony space to flat 5 is already enclosed and whereby the outlook of residents will not be adversely affected.



View of the dropped level of balcony at Flat 5 No. 10 Belmont Street

I would be grateful if you would consider these comments in response to the LPA's statement.

Considering the comments above and the submitted appeal statement, the Inspector is respectfully requested to allow the appeal.

Yours sincerely

Stuart Minty
Director
SM Planning